


Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: March 10, 2025

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A 4. County: Santa Fe Parcel # 10468150
5. Property Type: <input checked="" type="checkbox"/> Buildings: dwelling and garage <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: February 27, 2025		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: No: <input checked="" type="checkbox"/>		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.689145,-105.9446937		
10. Photo Information: John W. Murphey, photographer. Photo 1: View of south elevation. Camera facing northeast.		
11. Brief Description of the Property: An old adobe building is located north of West San Francisco and hidden from public view. The central core of the building and its most important feature may date to the 1880s. Lower rooms are attached to the central block, some complementary, others distracting. Including the central core, the building holds four rooms arranged in a line, made of adobe, hollow clay tile, and frame construction. In total, the building encloses approximately 1,093' of heated space. Most of the fenestration was replaced in the early 1990s during renovation. This work also changed the internal configuration of the central core and added a ramada across the façade. The property includes a post-1948 garage. Currently, the dwelling and the garage are designated Non-Contributing to the Downtown and Eastside Historic District. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Date: Central Block, potentially 1880s, with subsequent additions. <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: historic maps, Sanborn Fire Insurance maps, aerial photographs		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
 Blue parcel lines are not accurate; adjusted with lines

17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com

For: The Yarrell 2021 Management Trust

18. Owner (if known) and other knowledgeable people:

Current owner: The Yarrell 2021 Management Trust
 N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing: house and garage No Status
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																			
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco <input checked="" type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		7. Number of Stories: _____ N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: _____ N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: _____ Stone Other: Notes 9. Roof: _____ N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																																	
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Hung</td><td>Wood</td><td>1/1</td><td>2</td></tr> <tr><td>Single-Hung</td><td>Vinyl</td><td>1/1</td><td>2</td></tr> <tr><td>Single-Hung</td><td>Vinyl</td><td>3/1</td><td>2</td></tr> <tr><td>Fixed Sash</td><td>Wood</td><td>6</td><td>2</td></tr> <tr><td>Casement</td><td>Wood</td><td>1-1</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>6-1</td><td></td></tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Wood	1/1	2	Single-Hung	Vinyl	1/1	2	Single-Hung	Vinyl	3/1	2	Fixed Sash	Wood	6	2	Casement	Wood	1-1	1	Casement	Wood	6-1		11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>15-light</td><td>Wood</td><td>2</td></tr> <tr><td>Single-Leaf</td><td>4-light over 2-panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>4-light over 3-panel</td><td>Wood</td><td>1</td></tr> <tr><td>Garage</td><td>Outswing</td><td>Wood</td><td>2</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	15-light	Wood	2	Single-Leaf	4-light over 2-panel	Wood	1	Single-Leaf	4-light over 3-panel	Wood	1	Garage	Outswing	Wood	2
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14. Other Significant Features N/A																																																			
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications <u>#1 Date: Pre-1930, west addition to central block; Sanborn maps</u> <u>#2 Date: 1930-1948; west and east additions to central; Sanborn maps and aerials.</u> <u>#3 Date: c.1990s; replacement of windows and doors and introduction of ramada-style porches; construction photos and material evidence.</u>																																																			

16. Primary Architectural Style Not Applicable

- | | | | | |
|---|----------------------------|-----------------------------|------------------------------|------------------------------------|
| <u> </u> Art Deco/Streamline Moderne | <u> </u> Gothic Revival | <u> </u> Mission Revival | <u> </u> Pueblo | <u> </u> Spanish-Pueblo Revival |
| <u> </u> Bungalow/Craftsman | <u> </u> International | <u> </u> Neo-Classical | <u> </u> Queen Anne | <u> </u> Territorial |
| <u> </u> Colonial Revival | <u> </u> Italianate | <u> </u> Northern NM | <u> </u> Ranch | <u> </u> Territorial Revival |
| <u> </u> Folk Victorian | <u> </u> Mediterranean | <u> </u> Prairie | <u> </u> Spanish-Colonial | <u> </u> Tudor Revival |
- Notes: Other: Vernacular

17. Documents Available and Their Locations

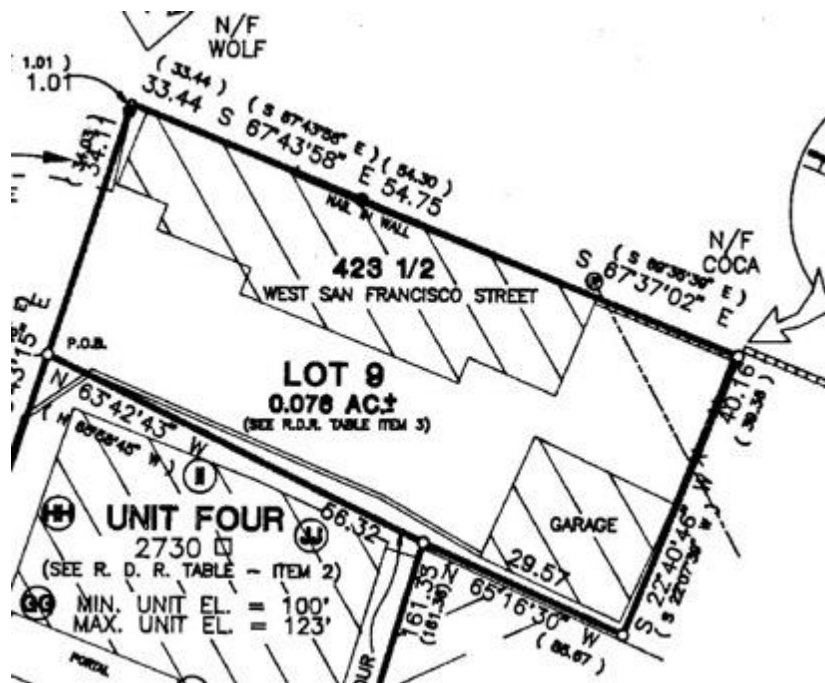
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
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SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: Portion of 1995 survey plat. Courtesy of Rick Chatroop.



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Architectural Description Continued

Setting

The subject building, recognized in this survey as the Rosina Chavez House (Fig. 1) is located on the north side of West Santa Francisco Street, near its intersection with North Guadalupe Street. It is situated down a 170' long gravel driveway and is out of view (Photo 2). It is surrounded by a mix of buildings that are both historic and modern. Some of these tie directly to its genealogy; others are recent and removed contextual buildings associated with the house.

Starting at the street is the renovated Erwin residence, which is contemporaneous with the core block of the subject dwelling, but altered (Photo 3). Further down the driveway on the right (east) is a line of apartments constructed in the 1940s (Photo 4). On the left (west) are modern buildings operated by Zona Rosa Vacation Rentals. At the end of the driveway is a recent structure that destroyed the original Trinidad Chavez house, which was historically part of the subject property.

Dwelling

The subject building sits at the east end of the driveway along a narrow 0.08-acre parcel originally part of a larger lot fronting North Guadalupe Street (Photo 5). The building spans approximately 70' along the north lot line as a string of four volumes of different construction periods and materials. The oldest of these, Room 3, potentially dates to the 1880s and is the historical and most architecturally significant piece of the structure.

South Elevation and Interior (from west to east)

Room 1 – Bathroom

The building begins at the west end with Room 1, likely the youngest and least visually appealing addition (Photo 7). Constructed after 1948, this room is approximately 56 square feet and contains a bathroom. It is made of hollow tile construction (Photo 8) and was updated during the 1990s renovation. The room has a single opening with two replacement wood casement windows, each with six lights (Photo 9). The presence of two electric meter boxes suggests the building was once divided into two separate

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dwelling units. As with the rest of the house, the stucco has a brocade finish typical of the 1960s and 70s.

Room 2 – Bedroom

The next room to the east historically served as a kitchen during the Rosina Chavez period. This approximately 114-square-foot room is constructed of adobe and is depicted on the 1930 Sanborn Fire Insurance map, the first map to cover the area, as a small garage (Fig. 5). Its exterior features a doorway with an older four-light over two-panel wood door (Photo 11), which is visible in one of the pre-renovation photos when the space was still used as a kitchen (Photo 12). Adjacent to the east is a set of non-original wood casement windows with single lights. The room has clay tile flooring (Photo 13); its viga ceiling has plaster coving between the beams, which was likely added during renovation (Photo 14).

The threshold of the east door rises 7 1/8" to align with the floor of the central block, indicating that Room 2 was likely an addition.

Room 3 (Central Block) – Kitchen and Living Room

Projecting out approximately 4' from the kitchen, the central block is the building's oldest and most significant piece (Photo 15). It presents a strong example of late 19th and early 20th-century vernacular construction with its tall profile, adjacent doors, and what may be brick coping under built-up stucco. Its construction is of traditional adobe brick covered with multiple layers of stucco, suggesting an older vintage (Photo 16).

The façade features a pattern of alternating window and door openings, possibly reflecting its design as two separate dwellings (Photo 17). The doors installed during the renovation are 15-light units (Photo 18), while the windows are 1/1 replacement wood sash. The window openings have heavy lug sills, each having a depth of 7 1/2 inches. Photographs taken during the renovation show that entries originally had glass and wood panel doors. The 9 1/2" deep jambs suggest that the door openings may date from the historic period.

The interior, measuring 104 square feet, features an informal kitchen nook in the southwest corner created during the renovation (Photo 19). Historically consisting of

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two rooms, the central block’s interior was opened during the renovation to create a combined kitchen and living area (Photo 20).

The renovation included removing the interior dividing wall and ceiling (Photo 21). The vigas and rough-sawn boards were painted white, and skylights were added to the roof, resulting in a light, airy, and anachronistic sala-like space (Photo 22). The flooring consists of 3½” wood strips that change color at the point where the core was divided into two rooms (Photo 23).

Room 4 – Bedroom and Bath

The last room is set back 40” from the core block and has a lower roof height (Photo 24). Constructed after 1948, the volume appears to be made of concrete blocks. The entrance to the outside is through an older four-light, three-panel wood door, which is flanked by 1/1 vinyl sash windows (Photos 24 & 25).

An additional opening on the east elevation contains a 3/1 wood-hung sash window (Photo 26). Both this window and the units on the south elevation are flush with the wall, indicating non-adobe block construction. Its single room measures approximately 114 square feet and has wide board flooring (Photo 27). The southeast corner of the room is occupied by a corner bathroom addition which takes up a significant portion of the space.

North Elevation

The back side of the building faces a parking lot associated with North Guadalupe Street (Photo 28). None of the rooms have openings on this façade. The exterior walls of Rooms 3 and 4 are covered with murals (Photos 28 & 29). The remaining elevation is a solid painted wall facing a private residence (Photo 30).

Garage

Squeezed into the southeast corner of the property is a garage that, based on Sanborn maps, was erected after 1948 (Photo 31). It faces west with a low-pitch gable roof and is partially dug into the ground. It has two 48 ½” wide, outward-swinging, screw-

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assembled wood doors at the front. There are two 6-light sash windows separated by a mullion on the north elevation (Photos 32 & 33).

Historical Overview

A Rectangle on a Map

In 1884, a German-born engineer, Hugo Hartmann, sketched a rectangular building at the back of a long lot fronting Jefferson Street (Fig. 2). The name of the owner of the lot holding the house is hard to decipher but could be Jesus Lucero. The owner's name is immaterial, as the lot and its owner would change following the arrival of the Denver & Rio Grande Railroad three years later.

The new railroad, running down the center of Jefferson Street, transformed the landscape. Within a few years, the land fronting its tracks was subdivided into frontage parcels populated with new buildings. This appears to be the case of the rectangle Hartmann drew in 1884. Its lot was subdivided, with the possible Lucero home no longer having direct access to Jefferson Street. With this development, its orientation turned south, becoming a “back” house on West San Francisco Street.

Pino and Chavez

The first clear understanding of the house— possibly the rectangle shown on the Hartmann map — comes with the Norman King map of 1912 (Fig. 3). Here, the rectangle is accessed by a driveway off West San Francisco Street and is shown to be owned by Petrilino Pino. It is adjacent to land on the west owned by Trinidad Chavez. The two property owners shared something in common — a young woman named Refugio.

In 1902, Petrolino Pino, a railroad watchman, married Refugio Chavez, the oldest daughter of Trinidad and Candelaria Chavez. The couple established a home east of the Chavez property, presumably on the lot holding the subject building. The federal census of 1910 recorded Petrolino and Regufio residing in a separate household adjacent to the

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Chavez property. The census noted they had three children, but none were recorded as part of the household.¹

While no obituary was located, public records suggest Petrolino died before 1930. The census of that year documented Refugio in a household with her mother and an adopted child named Candelaria.² Refugio and her mother are shown to own separate homes, indicating they live adjacent to each other though they were counted as a single household. City directories begin to identify the subject property with the 425 West San Francisco Street address.

A Sanborn Fire Insurance map published in the same year as the census displayed the house but did not provide an address (Figs. 3 & 4). Based on the street addresses indicated on the map, the house would be presumably identified as "425," as this number is absent.

The insurance map captures the subject building in its clearest form to date. At the center is the core adobe block, a one-story building with windows facing south. Adjacent to the west is an adobe garage with windows facing west. A larger adobe garage with no windows is attached to the east, though sitting on a separate property, the land formerly owned by Lucero.

Refugio continued living on the property, which city directories identify as 425 West San Francisco Street. The 1940 census recorded her heading a household at this address.³ It included her adopted daughter, Candelaria, and three grandchildren, with the youngest being an infant. Candelaria worked as a housekeeper in a private home, with Refugio, now at age 59, presumably watching over the children during the day. The 1940 city directory listed Bernarda Archuleta, a widow, living as a renter at 425 ½ West San Francisco Street.⁴

¹ U.S. Census Bureau, Year: 1910; Census Place: Santa Fe Ward 3, Santa Fe, New Mexico; Roll: T624_918; Page: 9a; Enumeration District: 0225; FHL microfilm: 1374931.

² Ibid., U.S. Census Bureau, Year: 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 1A; Enumeration District: 0011; FHL microfilm: 2341134.

³ Ibid., Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 3B; Enumeration District: 25-18.

⁴ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1940* (El Paso: Hudspeth Directory Company, 1940), 333.

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At some point in the 1930s or '40s, a house and set of apartments were constructed on an empty lot south of what is assumed to have been Refugio's home. These appear on the 1948 Sanborn map as 425 and 425 ½ West San Francisco Street, with the subject house again shown without a street address (Figs. 6 & 7). This complicates understanding the property's lineage until Rosina Chavez acquired the subject home.

Rosina's Home

Rosina Chavez gained the subject property through marriage to Manuel Chavez, Refugio's younger brother.

Rosina was born in Galisteo in 1902 as Eutimia Chavez, the oldest daughter of Margarito and Maria Chavez. She grew up in the village where her father was a barber.⁵ After her mother's death, the family moved to the mining town of Cerrillos. Margarito initially worked as a shoemaker, subsequently opening a barber shop.⁶ Eutimia attended school and likely watched over her younger siblings. She later worked as a waitress at the town's hotel.

By the mid-1930s, Eutimia had married Manuel Chavez and moved to the property at 425 West San Francisco, presumably sharing the building with her sister-in-law, Refugio Chavez. They later moved to another property on Alto Street, where her father had relocated, but moved back to the Chavez property on West San Francisco Street by 1942.

The 1944 city lists Eutimia living alone at 425 ½ West San Francisco Street. She was now going by the first name Rosina. She worked in the laundry at Bruns Military Hospital on Cerrillos Road.⁷ Her husband, Manuel Chavez, a World War I veteran and carpenter, died four years later, on July 2, 1948.

⁵ U.S. Census Bureau, Year: 1910; Census Place: Galisteo, Santa Fe, New Mexico; Roll: T624_918; Page: 6b; Enumeration District: 0230; FHL microfilm: 1374931.

⁶ Year: 1920; Census Place: Cerrillos, Santa Fe, New Mexico; Roll: T625_1080; Page: 2A; Enumeration District: 133.

⁷ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1944* (El Paso: Hudspeth Directory Company, 1944), 99.

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The Sanborn map of the same year shows the evolution of property and the subject house. It has the same footprint as the building drawn eighteen years earlier, except for a frame extension made to the west side of the garage (Fig. 7).

Rosina remarried Alfonso Ruiz, a metal worker, in the early 1950s. Ruiz filed for divorce in 1955.⁸ City directories, however, suggest they remained married, living in the home at 425 ½ West San Francisco Street until the late 1950s.

An aerial from 1958 captures the house during this period (Fig. 8). By this time, the property boundary had extended eastward into the lot where the abutting garage once stood. This structure had been demolished and replaced by a small addition set back from the core block (Room 4). The west end of the house had received a small volume — the space now containing the bathroom (Room 1). In the southeast corner sat a separate building, now the garage.

Based on city directories, Rosina continued living on the property, changing her name back to Chavez. She worked in several cafeterias, including at Carlos Gilbert Elementary and Santa Fe High School. Toward the end of her career, she received training as a nurse’s aide, working in that position until the early 1980s.⁹

In 1986, at the age of 84, Rosina deeded her property to herself and her two nieces.¹⁰ The deed describes a three-room adobe house with a driveway, clearly identifying the property in question. Three years later, Rosina and her nieces sold the land to Dona Cost.¹¹ After the sale, Rosina moved to California to live with one of her nieces. Rosina Eutimia Chavez passed away in 1992 in Chico, California, at the age of 90. Her remains were returned to New Mexico, where she now rests in a white marble crypt at Rosario Cemetery overlooking U.S. Highway 285.

⁸ “Divorce Suits Filed,” *Santa Fe New Mexican*, May 3, 1955, 3.

⁹ This is based on a review of city directories, from 1963 to 1983.

¹⁰ Quitclaim Deed, Rosina Chavez (Eutimia Chavez) to Rosina Chavez, Irene Herne, and Mary T. Brandau, recorded June 6, 1986, Book 552/Page 905, Instrument # 594244, Santa Fe County, New Mexico.

¹¹ Warranty Deed, Rosina Chavez, Irene Herne, and Mary T. Brandau to Dona J. Cost, recorded September 27, 1989, Book 660/Page 391, Instrument # Instrument # 594244, Santa Fe County, New Mexico.

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Changes

Dona Cost had more in mind than buying a small adobe. The North Dakota native had also purchased properties holding the house fronting West San Francisco Street, which had been converted into a restaurant, as well as the line of apartments and the dwelling behind it. Cost renovated these acquisitions into vacation rentals.¹²

Photographs from this period show Rosina's old house undergoing significant renovations. The ceiling of the central room was removed, exposing the vigas, and the adobe walls were cut to accommodate new electrical conduit. A room that had previously served as the kitchen was converted into a bedroom. Older doors and windows were replaced with new ones, and a rustic ramada was installed across the façade of the main block.

In 1995, most of Cost's vacation homes were transformed into the Placita San Francisco Compound, a condominium complex. However, Rosina's former house, then addressed 423 ½ West San Francisco Street, was not converted.

In 2001, Cost transferred ownership of Rosina's renovated home to her daughter, Holly Cost, and her husband, José Gutierrez. The house was eventually sold outside the family.

Evaluation of Historical Status

Due to its hidden location, the Chavez house has been overlooked in previous surveys and has apparently never been recorded. However, applying the standard 50-year threshold for historic significance, the house qualifies as Contributing, as the current ground plan was in place by 1958. As such, both the house and the garage meet the criteria for Contributing eligibility.

When considering the appropriate primary façade for the house, a different threshold applies. Given that the central block may date from the 1880s and represents a building

¹² Amy Cost, telephone conversation with John W. Murphey, February 27, 2025.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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form and door and window pattern typical of that period (Fig. 10), it seems fitting to designate the south elevation of this section (Room 4) as the primary façade.

While the lesser appendages are of age and reflect accretive growth, they do not hold the same level of significance as the central block.

The garage’s primary façade seems logically to be the west elevation.

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Illustrations



Figure 1: Undated (likely late 1980s) photograph of Rosina Chavez. Courtesy of Ellen Yarrell.

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Figure 2: Hugo Hartmann, "Map of the City of Santa Fe, N.M.," 1884. Highlighted building may be the subject structure.

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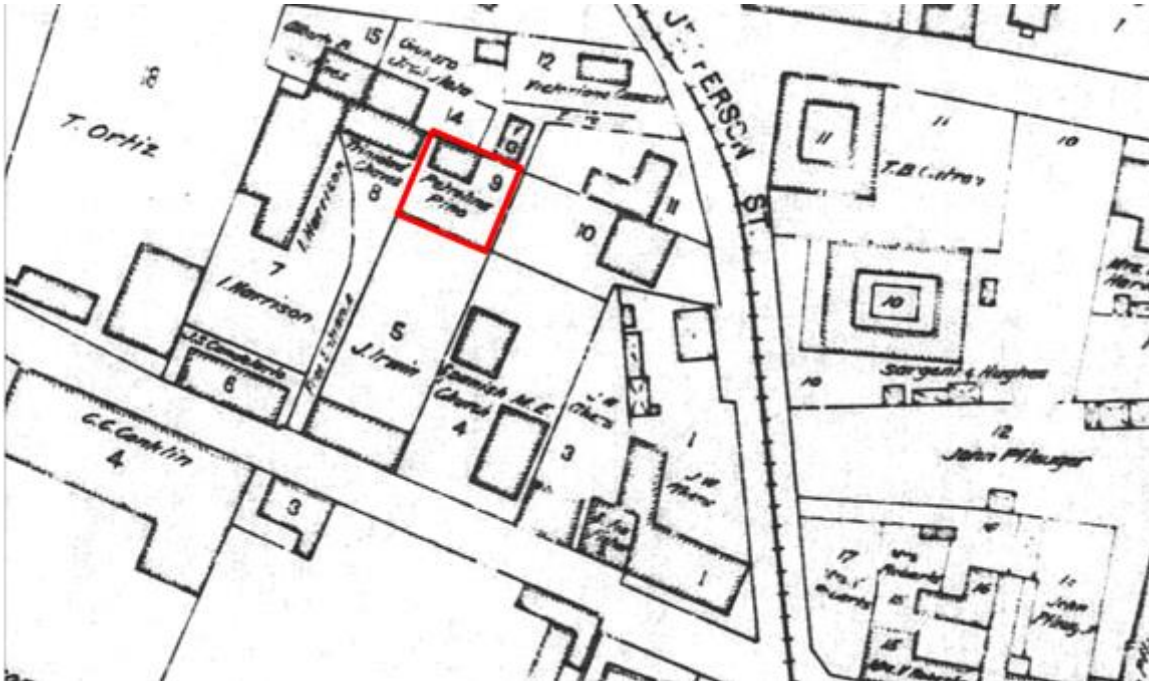


Figure 3: N. L. King, "Map of the City of Santa Fe," 1912. Highlighted lot and house indicated to be owned by Petrilino Pino. Note Trinidad Chavez property stood adjacent to the west.

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Figure 4: 1930 Sanborn Fire Insurance map. Subject property highlighted. The property was owned by Refugio Chavez during this period.

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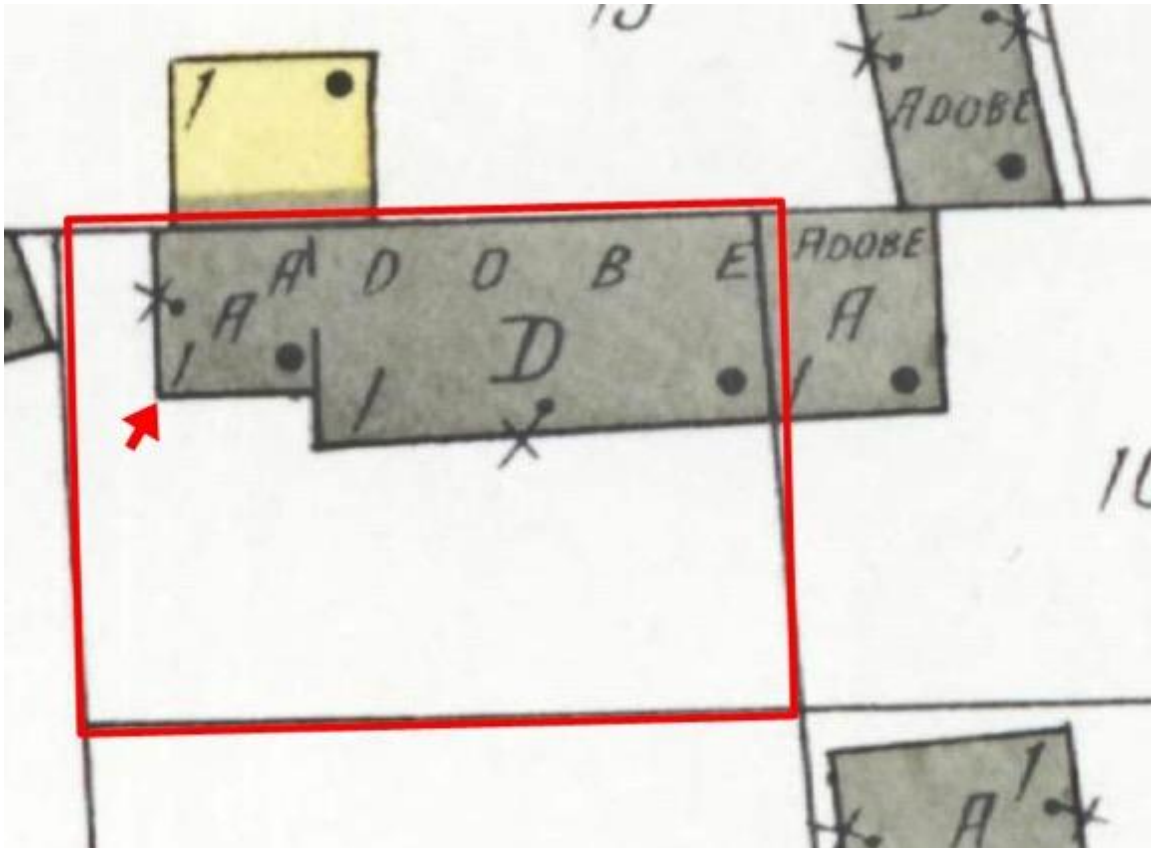


Figure 5: 1930 Sanborn Fire Insurance map. Subject property highlighted. Note what is assumed to be Room 2 was a garage.

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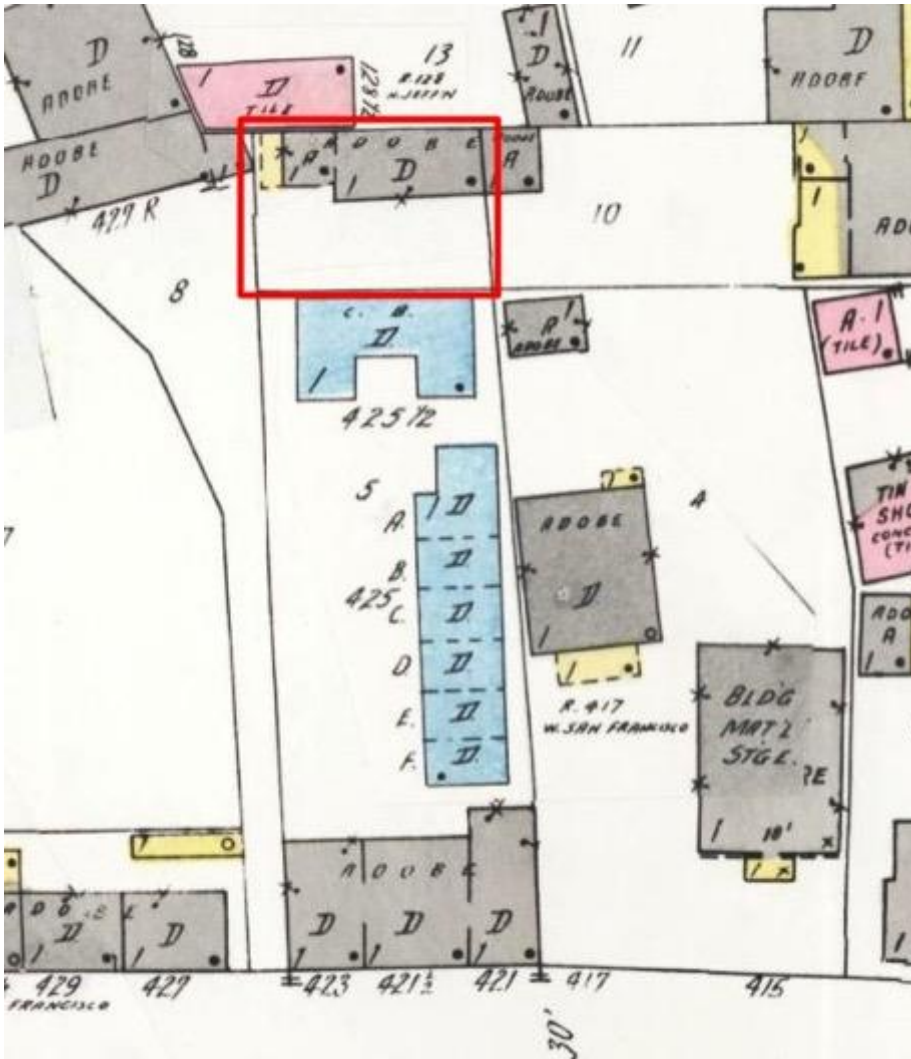


Figure 6: 1948 Sanborn Fire Insurance map. Subject property highlighted. Note development of the of the residence and apartments to the south.

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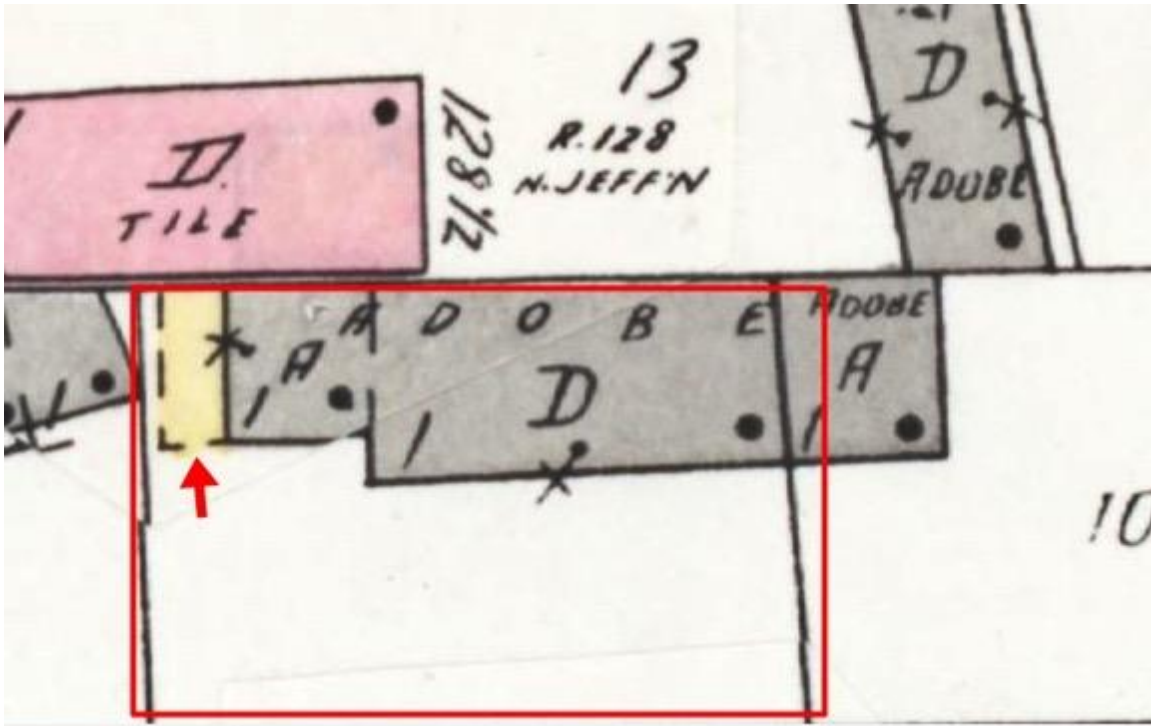


Figure 7: 1948 Sanborn Fire Insurance map. Note frame structure where Room 1 stands today.

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Figure 8: November 10, 1958, aerial photograph.
The current building footprint appears to be in place by this time.

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**Figure 9: September 11, 1978, aerial photograph.
Reverse direction perspective of property.**

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Figure 10: Copy of photograph of what has been described as the original Trinidad Chavez House. Courtesy of NMCRIS.

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Survey Photographs

(All images taken by John W. Murphey on February 27, 2025)



Photo 2: View down entry drive. Subject property not visible. Camera facing north.

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Photo 3: Altered former Erwin House, also attributed as the Trinidad Chavez House, although this does not appear to be accurate. Camera facing northeast.

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Photo 4: Residence and apartments constructed between 1930 and 1948. Camera facing northeast.

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Photo 5: Subject property. Camera facing northeast.

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Photo 6: West end of subject building, holding Rooms 1 and 2. White building to the left, replaced the Trinidad Chavez House. Camera facing north.

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Photo 7: Room 1. Camera facing north.

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Photo 8: Room 1. Interior showing tile construction behind the plumbing access door.

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Photo 8: Room 1. Window. Camera facing north.

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Photo 10: Room 2. Camera facing north.

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Photo 11: Room 2. Door and window. Camera facing north.

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**Photo 12: Room 2. 1990s renovation photograph. Camera facing west.
 Courtesy of Heidi Cost.**

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Photo 13: Room 2. Interior. Camera facing west.

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Photo 14: Room 2. Interior, ceiling.

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Photo 15: Room 3 (Central Block). Camera facing northeast.

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Photo 16: Exterior exposure of Room 3 at east wall, showing multiple layers of stucco and plaster.

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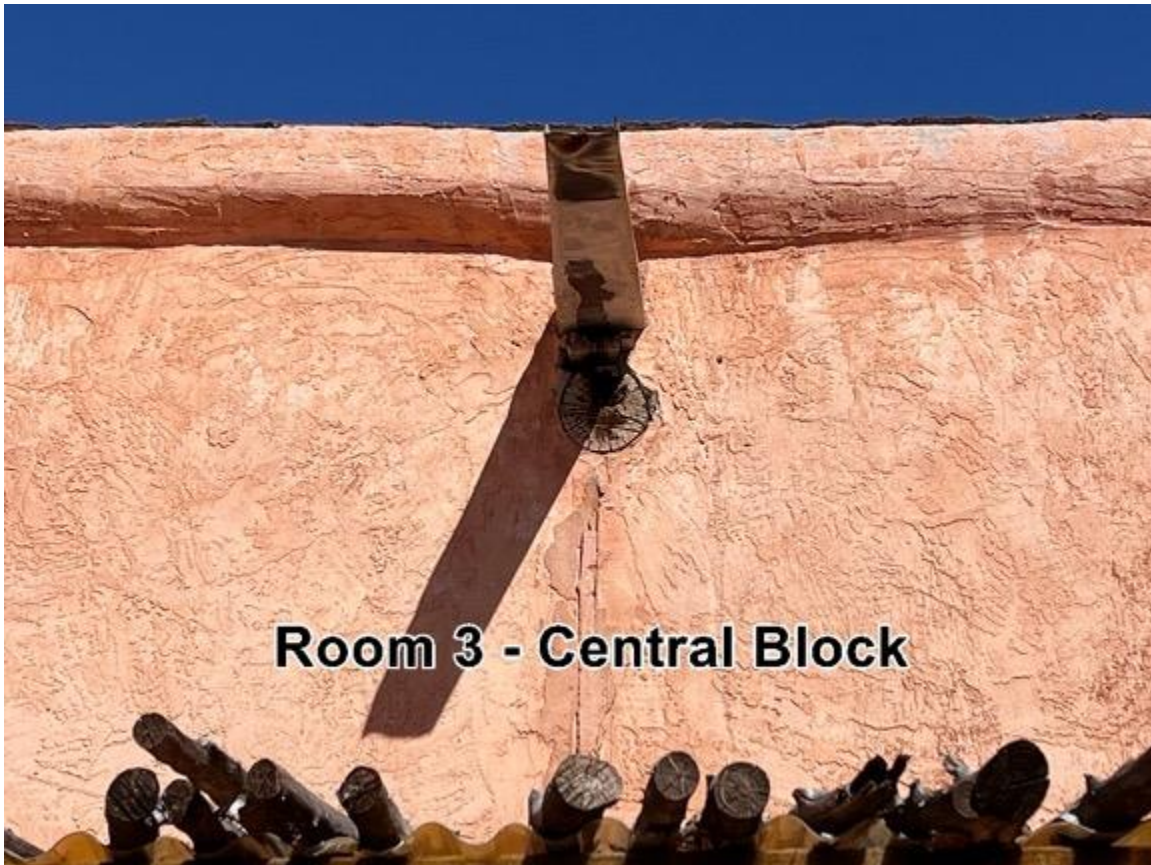


Photo 16: Room 3. Tin or galvanized metal *canale*.

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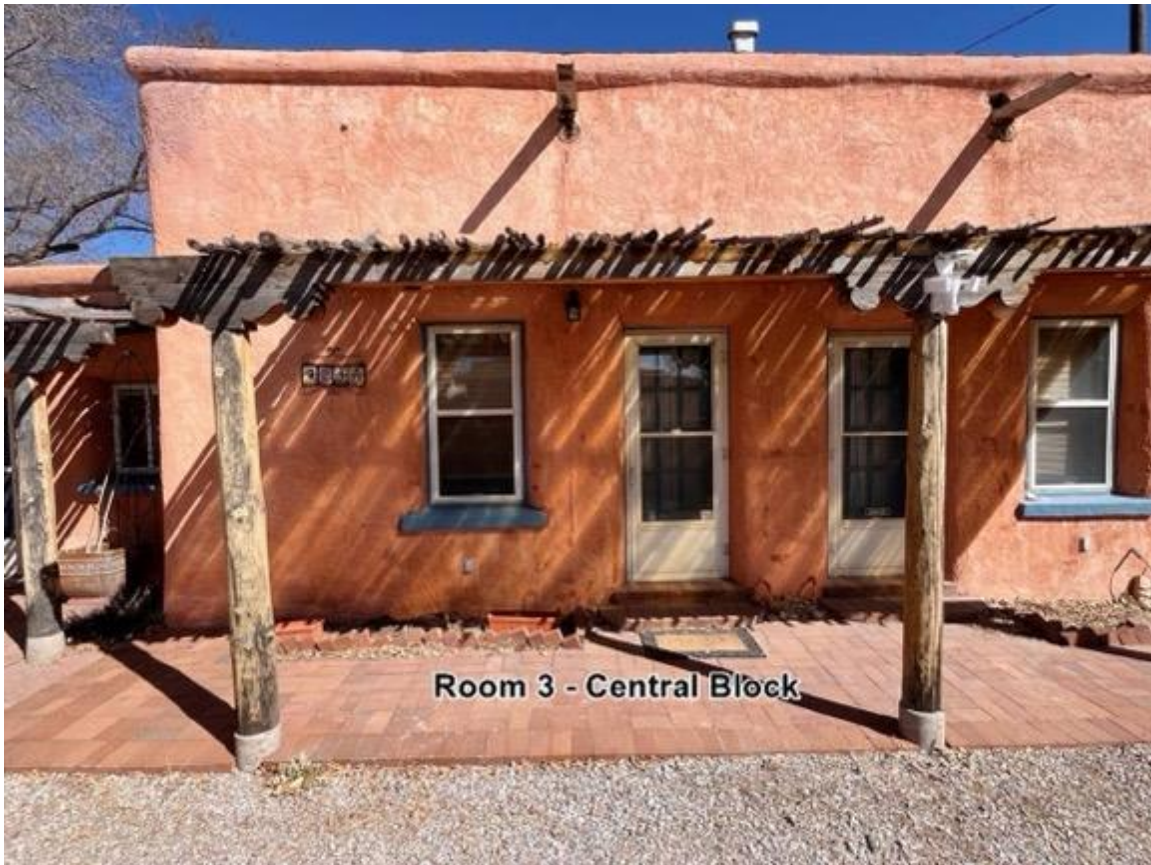


Photo 17: Room 3. Fenestration pattern. Camera facing north.

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Photo 18: Room 3. West door. Camera facing north.

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Photo 19: Room 3. Interior. Camera facing east.

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Photo 20: Room 3. Installation of kitchen at southwest corner. Camera facing southwest. Courtesy of Heidi Cost.

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Photo 21: Room 3. 1990s renovation photograph. Camera facing southeast. Note conduit cuts in the adobe walls, removal of ceiling, and older window and door. Courtesy of Heidi Cost.

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Photo 22: Room 3. Interior ceiling.

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Photo 23: Room 3. Interior, change of floor coloring and shoe molding.

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NRHP _____ SRCP _____					
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			



Photo 24: Room 4. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			



Photo 25: Room 4. Door. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property:	2. Location:	3. Local Reference Number:			
Rosina Chavez House	423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			



Photo 26: Room 4. East elevation. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			



Photo 27: Room 4. Interior, frame bathroom enclosure. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			



Photo 28: Subject building. North elevation at North Guadalupe Street parking lot. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			

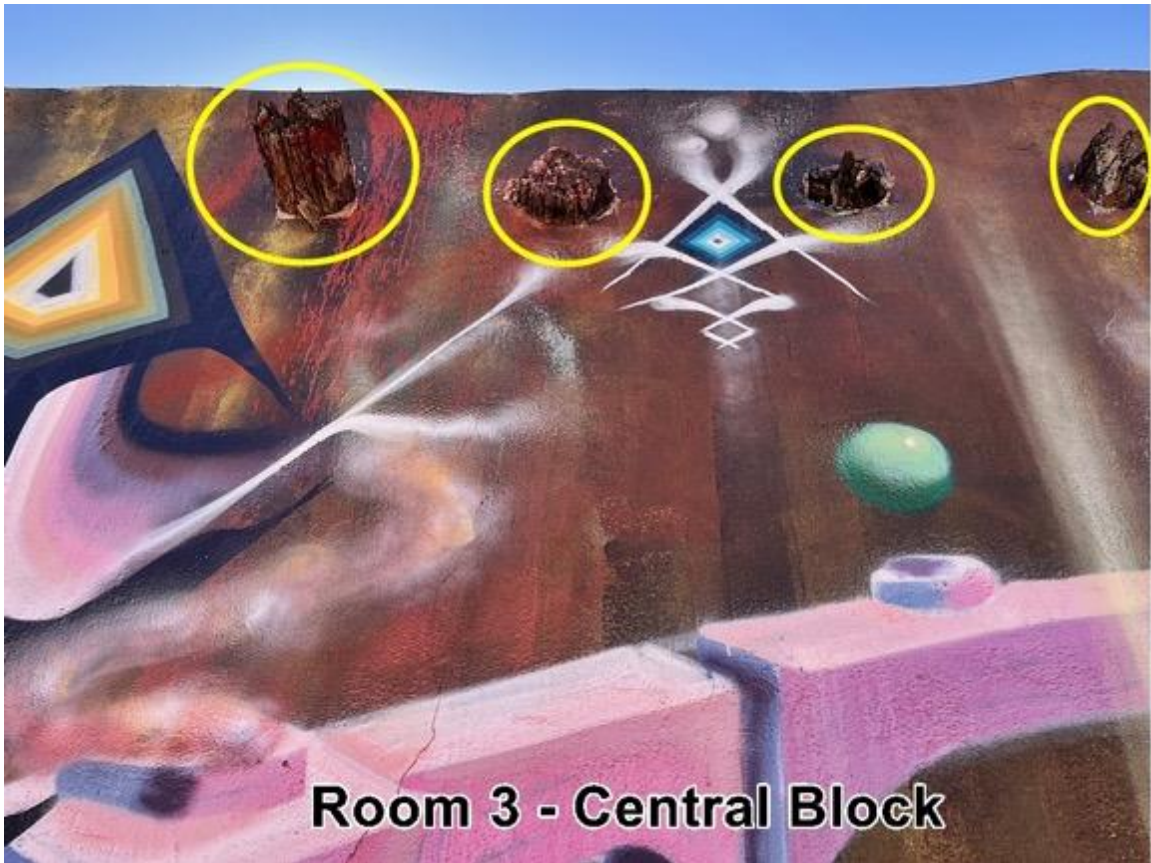


Photo 29: Room 3. North elevation, viga ends highlighted.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A
		4. County: Santa Fe
		5. Date of Survey: February 27, 2025



Photo 30: Room 2. North elevation. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			



Photo 31: Garage. West elevation. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A		
		4. County: Santa Fe		
		5. Date of Survey: February 27, 2025		



Photo 32: Garage. North elevation. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rosina Chavez House	2. Location: 423 A West San Francisco Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: February 27, 2025			



Photo 33: Garage. North elevation. Window. Camera facing south.



Figure 2. Primary Façade Diagram: 423 A W. San Francisco Street

Primary: —

Non-primary: —



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2025-010102-HDRB, 423 W. San Francisco St. ½ Unit: A, Downtown and Eastside Historic
DESC: District, Non-contributing. Ellen Yarrell, owner, requests status review and primary façade designation(s) if applicable.

CASE NUMBER: 2025-010102--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 423 W SAN FRANCISCO ST A 1/2
Santa Fe, NM 87501

CONTACTS: Applicant	Ellen A Yarrell	719 Bomar St. 719 Bomar St. ST Houston, TX 77006
Property Owner	Ellen A Yarrell	719 Bomar St. 719 Bomar St. ST Houston, TX 77006

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Apr 08, 2025. The decision of the Board was to designate the main structure as contributing with the southside and eastside being the primary facades excluding any non-historic material and also designate the garage as contributing with the west and north facades as primary.

For further information please call 505-955-6605.

Sincerely,

Paul Duran

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**