



**Building Design**  
P.O. Box 4

**Permit Services**  
Ojo Caliente, NM 87549

**Interior Consultation**  
505-919-9744

**Construction Management**  
redc52@gmail.com

July 21, 2025

Paul Duran  
Senior Planner  
Historic Preservation Division  
Planning & Land Use Department

RE: Historic Districts Review Board  
Renovations, Additions & Alterations  
219 – 219A Washington Avenue, Santa Fe, NM

Dear Paul,

On behalf of the Owner, who I am representing before the Historic Preservation Division, we request a review of the proposed renovations, additions and alterations to 219 Washington Avenue. The address is the New Tract B-2, “Lot Line Adjustment” of Tract B-2 and B-1A, recorded on December 23, 2016, in the records of Santa Fe County attached to this application.

My client at this time proposes improvements for the property designated as a contributing structure at 219 Washington Avenue in the Downtown and Eastside Historic District.  
The proposed improvements include:

Building 219 Renovations were previously approved **Case No. 2024-007814-HDRB**

- a. North Façade includes the introduction of (4) new windows (wood divided lite) to provide additional natural light and a second means of egress, in the event of fire, required for the proposed sleeping rooms. **Exception approved Case No. 2024-007814-HDRB**
- b. West Façade includes the removal of an existing door and the introduction of a new entrance door in the enlarged existing opening. **Exception approved Case No. 2024-007814-HDRB**
- c. South Façade includes the removal of an existing door and the introduction of a new entrance door in the enlarged existing opening. Introduction of a new window to provide additional natural light to the proposed sleeping room.  
**Exception approved Case No. 2024-007814-HDRB**
- d. East Façade includes removal of the existing north door and introduction of a new entrance door in the enlarged existing opening. Introduction of a new window in a previous center door opening to provide additional natural light to the proposed sleeping room. The existing opening will be reduced in size. Introduction of a new window in the existing south opening to provide additional natural light to the proposed bathroom.  
**Exception approved Case No. 2024-007814-HDRB**

**Addition – Renovations – New Building**

**PROPOSED NEW CASE HDRB**

1. Construct a proposed rear addition (219A) to the East rear façade of Existing building 219  
The addition will be designated for:
  - Laundry – 92 SF
  - Unit 4 Portal – 51 SF
  - Unit 4 bathroom – 40 SF
    - The existing rear one-story Storage area (100 SF) will be rebuilt in the same location, to introduce a new Laundry area and a bathroom for Unit 4.

- A new one-story portal addition (51 SF) will provide egress for Unit 2 and connect with the Laundry room.
  - Unit 4 – Basement – 352 SF (Mechanical & Utility Room + Storage)
  - Unit 4 – 445 SF
  - **TOTAL = 628 SF**
- 2. Construct a new two-story addition will provide Unit 4 (445 SF) on the first floor and Unit 5 (284 SF) on the second floor. Access to Unit 5 on the second floor will be provided by a covered exterior stairway to a roof deck on the first floor below. Access to Basement will be provided by a covered exterior stairway below. Second floor is not allowed within 10 feet of property line.
- 3. Construct a new two-story addition will provide Units 6 (464 SF) & 7 (459 SF) on the first floor and Units 8 (369 SF) & 9 (369 SF) on the second floor. Access to Units 8 & 9 on the second floor will be provided by a covered exterior stairway to a roof deck on the first floor below. Access to Basement will be provided by a covered exterior stairway below. Second floor is not allowed within 10 feet of property line.
- 4. No work is proposed for Building 215 Washington Ave. The renovation for this building was previously approved on October 22, 2019, Case no. 2019-000994-HDRB.

The allowable by Code is not to exceed 50% of the existing footprint (897 SF) or 448.5 SF.  
**Exception required for the additional square footage 189.5 SF,  
 Section 14-5.2(D)(2)(d) of the Santa Fe Land Development Code.**

For such an exception we must conclusively demonstrate, and the board shall make a positive finding of the fact that such exceptions comply with all the criteria listed as follows:

- (i) Does not damage the character of the District or impact the contributing status of the structures.  
**The new construction proposed is located in the rear of the property and not viewable from the street or adjacent properties.**
- (ii) Are required to prevent a hardship to the Owner or an injury to the public welfare.  
**The construction of the addition on 219 (Units 4,5) and the new building (Units 6,7,8,9) are requested for 219 Wahington Avenue for the development of individual rental units to meet the access, daylighting requirements and layout of the units interiors.**
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.  
**The new construction proposed will blend with the existing 219 and 215 structures.  
 Windows and doors will match the existing historic buildings  
 Portal design will match the existing 215 building  
 Exterior stairs will match existing stairs on 215 with white metal as specified.**

### **Height, Pitch, Scale, Massing, and Floor Stepbacks**

The allowable height by Historic Regulations is not to exceed 23'-6".

The proposed height for the new building (219A - Units 6,7,8,9,) is 24'6".

**The board may grant exceptions and impose conditions thereon to Subsection 14-5.2(D)(9) for height of structures within the historic districts as specified in Subsection 14-5.2(D)(9)(a). In order to approve an exception, the board shall make findings of fact that the applicant conclusively demonstrated that requested exceptions comply with all the criteria listed as follows: (Ord. No. 2023-27 § 1)**

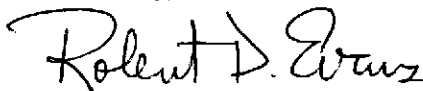
**Exception Criteria for Height: 14-5.2(D)(9) height.**

- (i) **Does not damage the character of the streetscape ;**  
The location of this structure (219A) is in the rear between the parking lot and the front 219 Building.
- (ii) **Prevent a hardship to the applicant or an injury to the public welfare;**  
The ceiling heights and parapets cause the Building height to exceed the allowable by 12". The Parking Garage on the property behind the East side of 219 prevents any additional detriment to the streetscape.
- (iii) **Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts;**  
The heights of the Existing Garage (on the property in the rear), the heights of the proposed structure 219A and the existing structure (219) step their max height in a gradual fashion towards Washington Ave.
- (iv) **Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape ;**  
Special conditions and circumstances are the 9' ceiling heights in 219A, which allow more volume in the units and balance the smaller room size with a higher ceiling. Also, the Planning & Zoning requirements allow a height of 24'-6".
- (v) **Are due to special conditions and circumstances which are not a result of the actions of the applicant ; and**  
Special conditions and circumstances balancing the heights of the existing buildings on the streetscape with the proposed building is a result of the existing building heights.
- (vi) **Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).**  
Keeping the heights of the proposed building (219A) in concert with the existing garage (property behind 219A) and the existing 219 w/additions will have the least negative impact on the streetscape.

It is our desire to have the Historic Districts Review Board (HDRB) determine the submission meets the standards of the district.

Thank you for your consideration of our request and please let me know if you require any further information.

Sincerely,



**Robert D. Evans**

Designer/Owner agent

D

# GENERAL NOTES

AMERICAN INSTITUTE OF ARCHITECTS Document A201, "General Conditions of the Contract for Construction," Latest Edition incorporated by reference into these documents.

1. ALLOWANCES: Allow sums appropriate to the quality of the project where called for by the Drawings. The cost of each item to be paid for out of the cash allowances shall be confirmed by Change Order including materials, labor, insurance, payroll taxes, bonds, transportation, equipment rental, etc. and an agreed percentage covering overhead and profit. Credit is drawn from this account only by Change Order. Any funds remaining at the close of project shall be credited to the Owner by Change Order. See AIA A201 Article 3 Contractor.

2. CONSTRUCTION STANDARDS: All construction and materials shall be as specified and as required by the current adopted editions of the IBC, IPC, IMC, NFPA, NEC, and all Local and State amendments to the above at the time of permit issue. All articles, materials and equipment shall be installed, applied, connected as directed by the manufacturer's specifications and instructions except where otherwise noted.

3. COORDINATION: All work to be provided by Owner, (N.I.C., Not in Contract) shall be coordinated by Contractor in order to assure proper interface with the work in the Contract. Notify Owner of any conflicts which exist or delays in work which may result.

4. DEMOLITION: Demolition work shall be executed in an orderly and careful manner with due consideration of Owner's property. Contractor shall exercise care to protect any new construction or existing construction adjacent to the demolition work. Contractor shall be responsible for the protection of uncovered utilities. Contractors to field measure and confirm all dimensions in their individual trades. All work to be demolished shall be removed from the property except salvage materials directed by the Owner or Architect.

CAUTION: Electrical contractor shall be responsible for insuring that each and every abandoned wire is permanently and effectively electrically dead. At no point (along its length) shall the abandoned wire remain physically connected to a device or other electrical equipment or to any remaining active circuit.

5. DIMENSIONS:  
 a. Do not scale off drawings; where inadequate dimensional control information provided in drawings contact Architect.  
 b. All dimensions in remodel work are to the face of existing finish.  
 c. All dimensions in new work are to face of concrete/sheathing or face of studs unless otherwise noted.

6. EROSION CONTROL: (See civil plans and specifications)

7. GUARANTEE: The Contractor shall unconditionally guarantee all work performed and materials and equipment furnished under the Contract against defects in materials and workmanship for a period of one year from the date of final acceptance of the completed work by the Owner. Extended guarantees on specific items as noted in plans and specifications. See AIA 201 Article 3 Contractor.

8. INSURANCE: The Contractor and each Subcontractor shall provide Certificates of Insurance prior to commencing work. Coverage limits and types shall be verified with Owner. See AIA A201 Article 3 Contractor.

9. ORGANIZATION OF WORK: Contractor shall perform and organize work sequence so as to minimize wherever possible any disruption and inconvenience to existing facilities. A construction schedule shall be provided to the Owner and Architect.

10. PERMITS: Permits and inspections required shall be obtained and paid for by Contractor and billed at direct cost to Owner. See AIA A201 Article 3 Contractor.

11. REPORTS: All work shall be conformance with reports, studies and calculations prepared for the project including, but not limited to geotechnical, energy compliances and structural analysis.

12. SAFETY: The Contractor shall be solely responsible for the safety of all persons on the site and shall comply with all local, State and Federal safety standards. See AIA A201 Article 10. Including but not limited to the following. All scaffolds, hoists, stays, ladders, support, or other mechanical contrivance erected or constructed for use in the work and all temporary shoring, forming, bracing, etc. shall be constructed in accordance with all applicable Federal, State, and local laws, regulations, and ordinances. The design, safety and legal compliances shall be the exclusive responsibility of the contractor who, when necessary to ensure such safety and compliance, shall retain and pay for the services of a registered Structural Engineer to provide the design and details necessary for such construction or contrivance at no additional cost to the owner.

13. SECURITY: The Contractor shall be responsible for coordination of any temporary security measures required. Security methods shall be approved by the Owner.

14. SHORING: It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, etc., during demolition and construction.

15. SIMILAR CONDITIONS: Conditions which are not detailed shall be similar in nature to other project details. Details noted typical shall apply to similar conditions.

16. SITE CONDITIONS: Construction access shall be through areas of the site designated as a construction unloading and storage area. Protection of existing construction and clean-up requirements apply to these areas. Remove all trees, shrubs, grass and weeds including stumps and roots in their entirety. Felling of trees shall be done in a manner to avoid any damage to improvements, (including adjacent public and private property), survey stakes, utilities and trees scheduled to remain. Remove all materials from site (no burning on site allowed), leaving site clean, neat and ready for subsequent work. The job site shall be maintained in a clean, orderly condition free of debris and litter, and shall not be unreasonably encumbered with any materials or equipment. Each Subcontractor immediately upon completion of each phase of his work shall remove all trash and debris as a result of his operation. Verify location of trash containers and parking areas to be used with Owner and local regulatory agencies having jurisdiction. See AIA A201 Article 3 Contractor.

17. STORAGE: All material stored on the site shall be properly stacked and protected per manufacturer instructions to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

18. STRUCTURAL INTEGRITY: There shall be no alteration of any existing or new structural component of the building without prior written approval of the Architect. If such work takes place, the Contractor shall make good any structural defect or corollary damage incurred to the satisfaction of Architect.

19. SURFACE ACCEPTANCE: Surfaces previously installed or prepared by another trade shall be inspected carefully before applying subsequent materials or finishes. If an unsatisfactory condition to receive finish exists, notify the General Contractor and Architect in writing, immediately, otherwise assume full responsibility for resulting appearance and condition of finished surface.

20. SUBMITTALS: No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been reviewed by the Architect. Six (6) copies of submittals are to be provided for review in the following areas of work: Appliances, bath accessories, cabinets, doors, floor coverings, hardware, HVAC systems, light fixtures, paint/stain finishes, plumbing fixtures, roofing, sealants, stucco finish, waterproofing systems, windows and alternate products. See AIA A201 Article 3 Contractor.

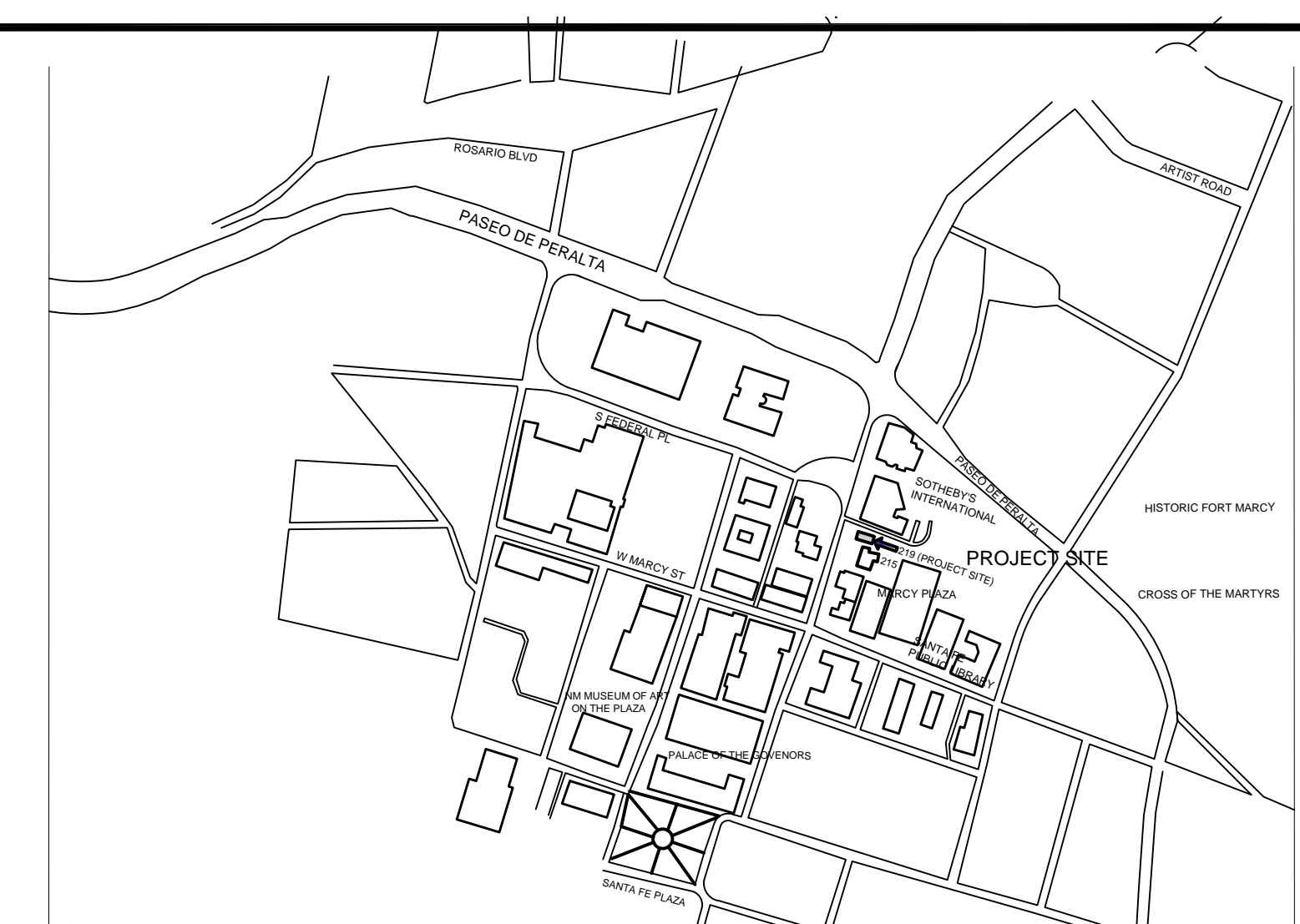
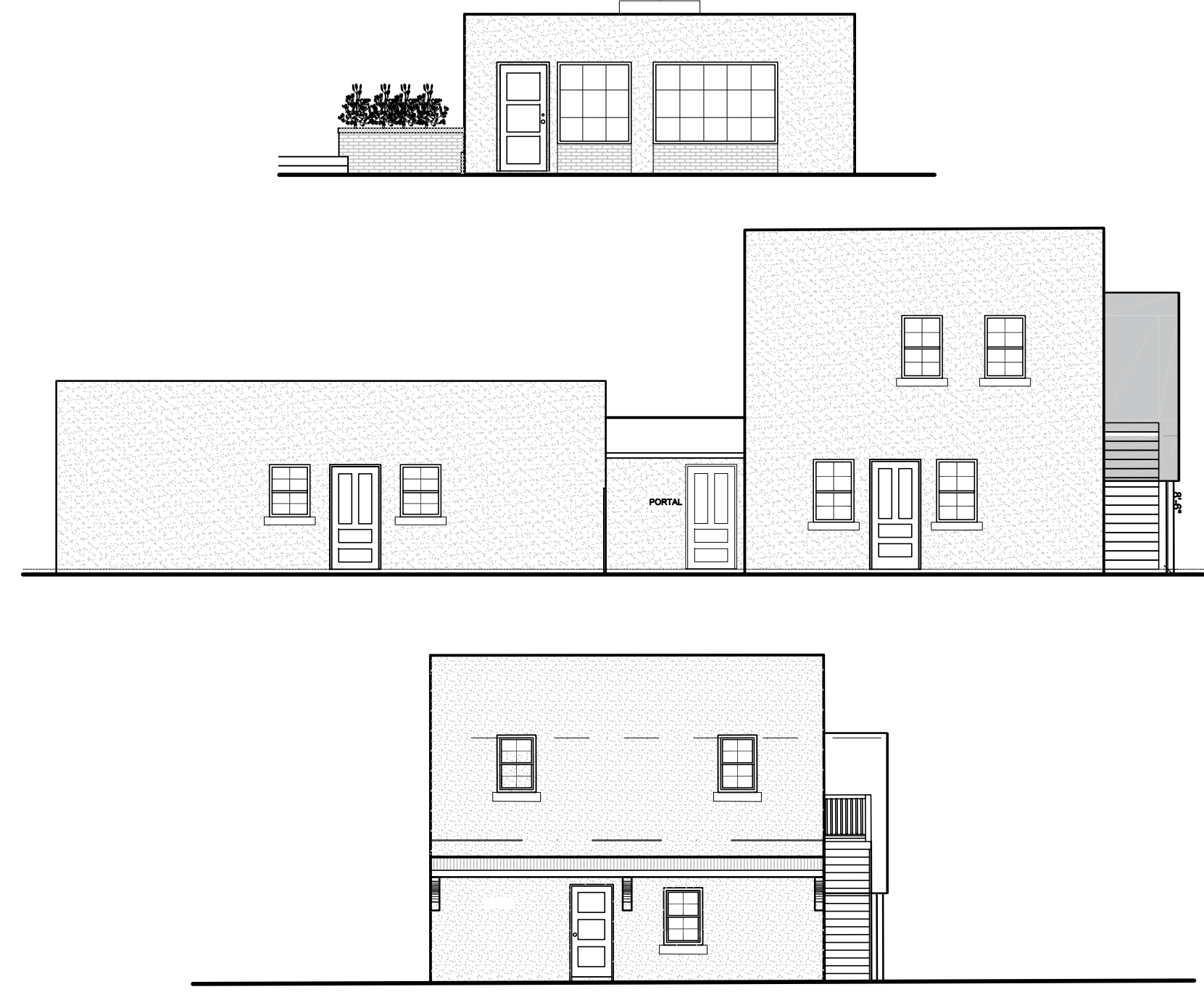
21. SUPPORTS: Provide all necessary blocking, backing and framing for light fixtures, electrical devices and all other items requiring support.

22. UTILITIES: Notify Owner 48 hours prior to commencing any work that may require temporary disconnect of any utility service.

23. VERIFICATION: The Contractor shall verify all dimensions and site conditions before commencing work. Should an error or discrepancy appear in the Contract Documents, notify the Architect at once for instruction on how to proceed. If the Contractor proceeds with the work affected without instructions from the Architect, the Contractor shall make good any resulting damage or defect to the satisfaction of the Architect. See AIA A201 Article 3 Contractor.

24. WORKMANSHIP: The Contractor shall do all cutting, fitting or patching of his work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, excavating or otherwise altering the total work or any part of it. Contractor shall exercise care to protect any existing construction scheduled to remain or new construction so that integrity and finish is not impaired. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces. See AIA A201 Article 3 Contractor.

# ADDITIONS & RENOVATIONS to 219 - 219A WASHINGTON AVE. Santa Fe, NM



VICINITY MAP NTS

<b>ARCHITECTURAL</b>	<b>MEP</b>
PADILLA ASSOCIATES P.O. BOX 692 SANTA FE, NM 87506 505-660-2192	HIGGINS ENGINEERING, LLC 88 MOLINA ROAD PERALTA, NM 87042 505-269-7298
<b>L+R DESIGN SERVICES</b> P.O. BOX 4 OJO CALIENTE, NM 87549 505-919-9744	<b>FPE</b> ACCENT FIRE SAFETY ASSOC. FIRE SAFETY ASSOC. P.C. P.O. BOX 16175 SANTA FE, NM 87592-6175

## DESIGN TEAM

<b>ARCHITECTURAL</b>	
AC	COVER SHEET/PROJECT INFO
SP-1	EXISTING SITE PLAN
SP-2	PROPOSED SITE PLAN
FP-B	PROPOSED FOUNDATION/BASEMENT PLANS
FP-1	PROPOSED FIRST FLOOR PLANS & SCHEDULES
FP-2	PROPOSED SECOND FLOOR PLANS & SCHEDULES
A-1.4	EXISTING/DEMOLITION & PROPOSED ROOF PLANS
A-2	UNITS 1,2,3 EXISTING/DEMOLITION ELEVATIONS
A-2.1	UNITS 1,2,3 PROPOSED ELEVATIONS
A-2.2	UNITS 4,5 PROPOSED ELEVATIONS
A-2.3	UNITS 6,7,8,9 PROPOSED ELEVATIONS

<b>EXISTING BUILDING</b>	BUSINESS GROUP - B			
<b>FULLY SPRINKLED</b>				
<b>ONE STORY (EXISTING)</b>				
<b>USE AND OCCUPANCY</b>	2021 IBC CHAPTER 3 SECTION 303 - RESIDENTIAL MOTEL R-1 (TRANSIENT IN NATURE)			
<b>ALLOWABLE BUILDING AREA</b>	2021 IBC CHAPTER 5 (TABLE 506.2)			
<b>ALLOWABLE AREA FACTOR</b>	TYPE V-B = 6000 SF.			
<b>REQUIRED SEPARATION</b>	(RESIDENTIAL UNIT WITH AUTOMATIC SPRINKLERS)			
R-1 (UNIT SEPARATION)	1 HOURS (TABLE 508.4)			
<b>TYPE OF CONSTRUCTION</b>	2021 IBC CHAPTER 6			
<b>SECTION 602</b>	TABLE 601			
<b>TYPE V-B</b>	BEARING WALLS 0 HRS.			
	NON BEARING WALLS 0 HRS.			
	INTERIOR WALLS 0 HRS.			
	FLOOR CONSTRUCTION 0 HRS.			
	ROOF CONSTRUCTION 0 HRS.			
<b>FIRE PROTECTION</b>				
<b>PROPOSED SPRINKLERED</b>				
<b>PORTABLE FIRE EXTINGUISHERS</b>	2021 IFC			
<b>TABLE 906.3 (1)</b>				
<b>LIGHT (LOW) HAZARD</b>	2-A/3000 SF (MAX) / 75 FEET MAX. TRAVEL DISTANCE			
<b>MEANS OF EGRESS</b>	2021 IBC CHAPTER 10			
<b>TABLE 1004.5</b>	MAX FLOOR AREA ALLOWANCE PER OCCUPANT			
<b>PROPOSED USE</b>	<b>EXISTING FLR. AREA</b>	<b>TOTAL AREA</b>	<b>LOAD FACTOR</b>	<b>OCC LOAD</b>
(R-1) UNITS 01-03	890 SF GROSS	890 SF GROSS	150 GROSS	6
(R-1) UNITS 4,5	461 SF GROSS	461 SF GROSS	150 GROSS	3
(S-2) LAUNDRY/MECH	99 SF GROSS	99 SF GROSS	300 GROSS	1
(R-1) UNITS 6,7,8,9	900 SF GROSS	900 SF GROSS	150 GROSS	6
				16
<b>MEN = 8</b>	<b>WOMEN = 8</b>			
<b>NUMBER OF EXITS</b>	<b>SECTION 1006 NUMBER OF EXITS AND EXIT DOORWAYS</b>			
	TABLE 1006.3.3			
	OCCUPANT LOAD = 16			
	NUMBER OF EXITS REQUIRED - 1			
	NUMBER OF EXITS PROVIDED - 1			
<b>MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES</b>	2021 IBC CHAPTER 29			
<b>PLUMBING SYSTEMS</b>	TABLE 2902.1			
<b>CLASSIFICATION:</b>	ASSEMBLY GROUP A-3			
<b>TOTAL OCCUPANTS = 16</b>	MENS = 8 WOMEN = 8			
<b>NUMBER OF FIXTURES REQUIRED</b>	<b>REQUIRED</b>	<b>PROVIDED</b>		
(R-1 RESIDENTIAL UNIT) 1 BATH IN EA. UNIT				
<b>MEN WC = 1/150</b>	1	1		
<b>WOMEN WC = 1/75</b>	1	1		
<b>MEN LAV = 1/200</b>	1	1		
<b>WOMEN LAV = 1/200</b>	1	1		
<b>DRINKING FOUNTAIN SERVICE</b>	0	0		
<b>SINK = 1</b>	1	1		

**ADOPTED BUILDING CODES**

THE CITY OF SANTA FE HAS ADOPTED THE FOLLOWING SET INTERNATIONAL AND STATE OF NEW MEXICO CONSTRUCTION CODES, INCLUDING SANTA FE SPECIFIC AMENDMENTS TO THE UNIFORM PLUMBING CODE AND INTERNATIONAL FIRE CODE. THE CITY OF SANTA FE HAS ALSO ADOPTED A GREEN BUILDING CODE THAT APPLIES TO THE CONSTRUCTION OF NEW SINGLE FAMILY RESIDENTIAL DWELLINGS AND ACCESSORY DWELLINGS (GUEST HOUSES).

2021 NM COMMERCIAL BUILDING CODE (2021 IBC AS AMENDED BY THE STATE OF NEW MEXICO)

2021 NM RESIDENTIAL BUILDING CODE (2021 IRC AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE GREEN BUILDING CODE)

2021 NM EXISTING BUILDING CODE (2021 INTERNATIONAL EXISTING BUILDING CODE AS AMENDED BY THE STATE OF NEW MEXICO)

2021 NM PLUMBING CODE (2021 UNIFORM PLUMBING CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE UPC AMENDMENTS)

2021 NM MECHANICAL CODE (2021 UNIFORM MECHANICAL CODE AS AMENDED BY THE STATE OF NEW MEXICO)

2021 NM ELECTRICAL CODE (2020 NATIONAL ELECTRICAL CODE AS AMENDED BY THE STATE OF NEW MEXICO)

2021 NM ELECTRICAL SAFETY CODE (2012 NATIONAL ELECTRICAL SAFETY CODE AS AMENDED BY THE STATE OF NEW MEXICO)

2021 NM EARTHEN BUILDING MATERIAL SAFETY CODE

2021 NM HISTORIC EARTHEN BUILDINGS CODE

2018 NM ENERGY CONSERVATION CODE

2012 NM SWIMMING POOL, SPA AND HOT TUB CODE (2012 USPSHSTC AS AMENDED BY THE STATE OF NEW MEXICO)

2012 NM SOLAR ENERGY CODE (2012 UNIFORM SOLAR ENERGY CODE AS AMENDED BY THE STATE OF NEW MEXICO)

2015 INTERNATIONAL FIRE CODE AND CITY OF SANTA FE IFC AMENDMENTS

NEW MEXICO ADMINISTRATIVE CODE (NMAC) 14.5.1 GENERAL PROVISIONS; 14.5.2 PERMITS; 14.5.3 INSPECTIONS

2017 ICC A117.1 - 2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

## DESIGN DATA

## PROJECT & CODE INFORMATION

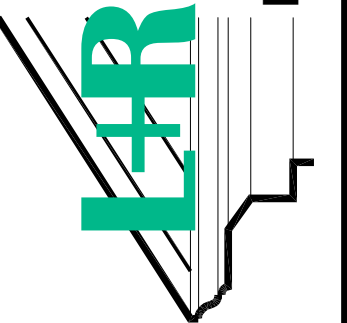
## DRAWING INDEX

**RENOVATIONS & ADDITIONS  
MINI-HOTEL for:  
DENNIS PRICE  
219 WASHINGTON AVE.  
SANTA FE, NM**

**TITLE:  
COVER SHEET &  
PROJECT  
INFORMATION**

P.O. Box 4  
Ojo Caliente, N.M. 87579  
505.919.9744 phone  
redc52@gmail.com

**L+R DESIGN SERVICES**  
Production Documents  
Residential - Commercial



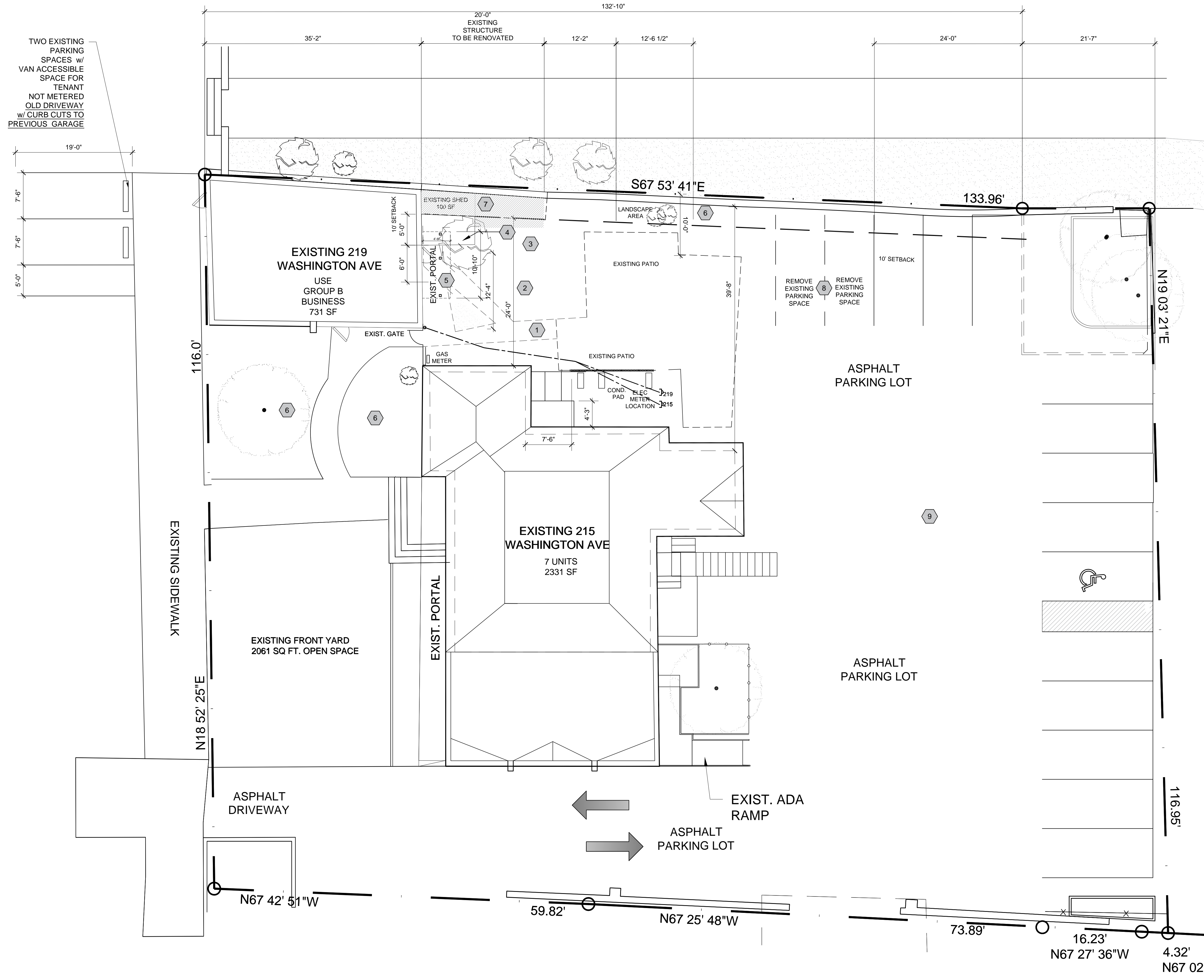
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT. IT IS NOT TO BE REPRODUCED OR USED WITHOUT WRITTEN CONSENT OF THE ARCHITECT. L+R DESIGN SERVICES, 2025

**HDRB SUBMITTAL SET**

Date: 07.21.2025  
revised:

**AC**

Sheet:



**EXISTING SITE PLAN SHEET KEYED NOTES**

- GENERAL:
- EXISTING CONCRETE WALK TO BE REMOVED
  - EXISTING PATIO
  - EXISTING LANDSCAPE AREA
  - EXISTING TREE TO BE REMOVED
  - EXISTING PORTAL & WOOD COLUMNS TO BE REMOVED
  - LANDSCAPE PROVIDED WITH 2020 RENOVATION OF 215 WASHINGTON AVE PERMIT #20-5596
  - EXISTING SHED (6'-0" x 20'-0") TO BE REBUILT ON EXISTING FOOTPRINT
  - REMOVE 2 EXISTING PARKING SPACES FOR BUILDING AREA
  - 13 EXISTING PARKING SPACES

**LEGEND**

- EXISTING GRAVEL DRIVE
- EXISTING STRUCTURES TO REMAIN
- EXISTING EASEMENT

**AREA CALCULATIONS**

	EXISTING	PROPOSED
<b>EXISTING</b>		
BUILDING (219) HEATED:	897.00 SF	
UNITS 1, 2, 3		
REAR SHED NOT HEATED:	100.00 SF	
	997.00 SF	
EXISTING BUILDING (215) HEATED:	3762.00 SF	
EXISTING BASEMENT (215):	349.00 SF	
LAUNDRY & MECHANICAL (219)	100.00 SF	
EXISTING LOT COVERAGE TOTAL:	5208.00 SF	
<b>LOT PARCEL AREA:</b>	17,940.00 SF	
	.412 AC. +/-	
<b>LOT COVERAGE:</b>	17.6%	
ALLOWABLE LOT COVERAGE:	NO REQUIREMENT	
<b>MAXIMUM HGT OF STRUCTURES:</b> 27' MAX. WITH STEPBACKS		
CHANGE IN EXISTING BUILDING HEIGHT UNIT 5, EXISTING: 12'-4"		PROPOSED 2ND FLR: 21'-0"
<b>ZONING DISTRICT:</b> BCDMAR		
HDR DISTRICT: DOWNTOWN & EAST SIDE HISTORIC DISTRICT		
BUSINESS CAPITOL DISTRICT		
EAST MARCY SUB DISTRICT		
<b>HDRB ACTION ON OCTOBER 22, 2019</b>		
CASE # 2019-000594-HDRB		
215 WASHINGTON AVE.		
DESIGNATED WEST, NORTH & EAST FACADES AS PRIMARY.		
219 WASHINGTON AVE. WAS UPGRADED FROM NON-CONTRIBUTING TO CONTRIBUTING AND DESIGNATED THE WESTERN STREET-FACING FACADE AS PRIMARY.		
<b>PARKING:</b> 14-8.6(C)(2)		
1 PARKING SPACE PER RENTAL UNIT FOR HOTELS & MOTELS IN BCD		
REQUIRED PARKING SPACES:		
215 (7 UNITS)		
219 (4 UNITS LEASED TO MARKET STEER)		
PARKING SPACE PROVIDED:		
EXIST. 16 PARKING SPACES & 1 VAN HANDICAPPED SPACE		
<b>BICYCLE SPACES:</b> 4 EXISTING		
<b>MINIMUM OPEN SPACE:</b> 10% OF LOT AREA: 1,794 SQ FT		
EXISTING FRONT OPEN SPACE:		2,061 SQ FT
<b>CHANGE OF USE</b>		
EXISTING USE GROUP: B, BUSINESS		
USE GROUP: R-1 RESIDENTIAL, SLEEPING UNITS WITH PRIMARILY TRANSIENT OCCUPANTS		

**RENOVATIONS & ADDITIONS**  
**MINI-HOTEL for:**  
**DENNIS PRICE**  
**219 WASHINGTON AVE.**  
**SANTA FE, NM**

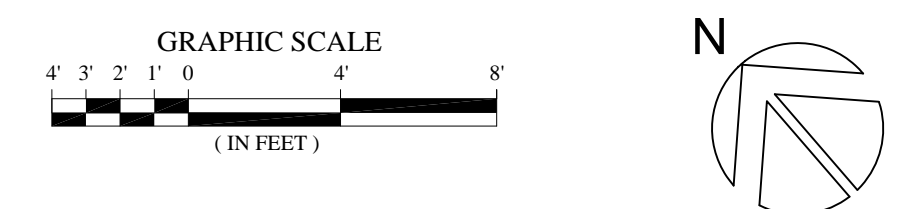
**TITLE:**  
**EXISTING**  
**SITE PLAN**

P.O. Box 4  
 Ojo Caliente, N.M. 87579  
 505.919.9744 phone  
 redc52@gmail.com

**DESIGN SERVICES**  
 Production Documents  
 Residential - Commercial

Date: 07.21.2025  
 revised:

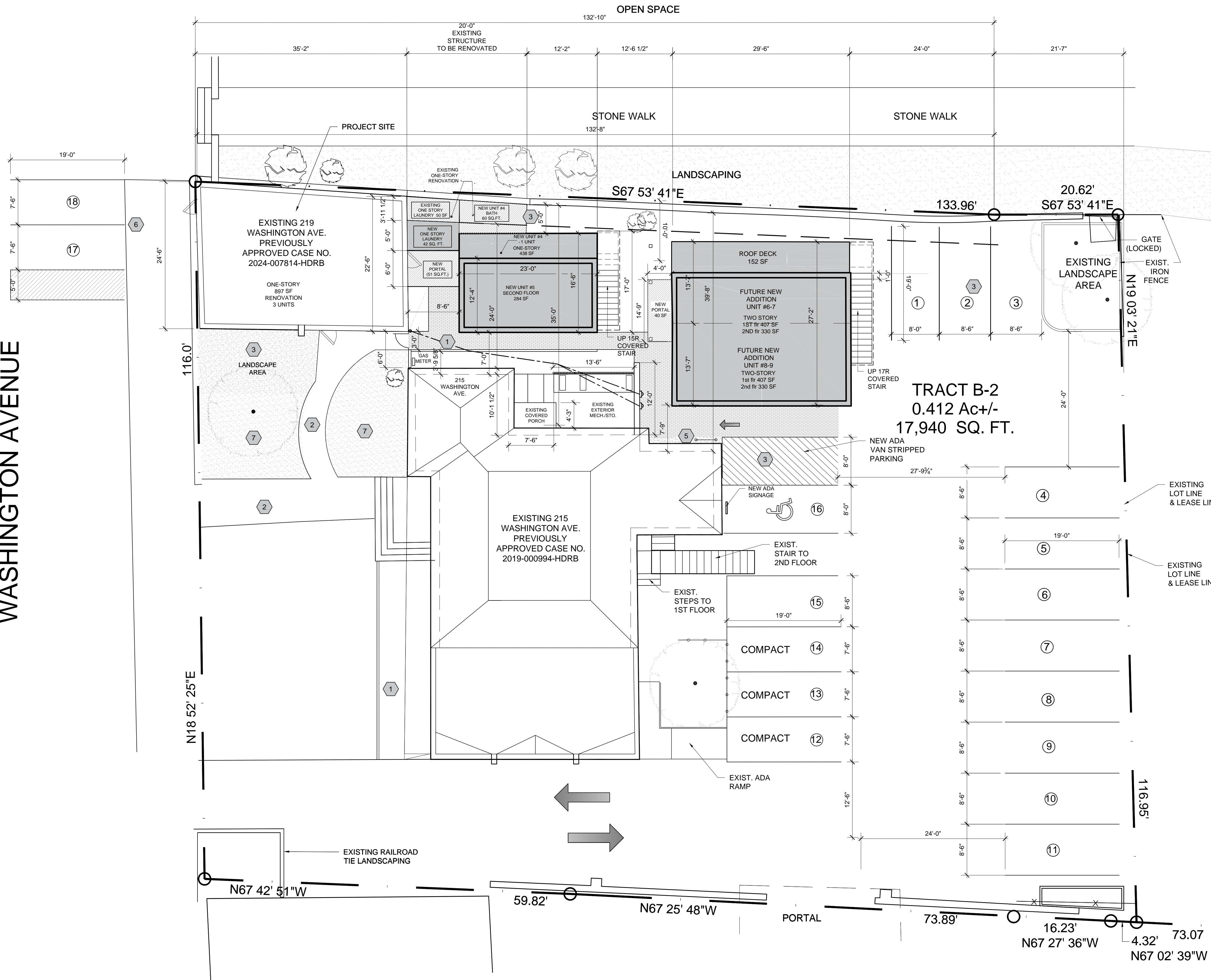
**SP-1**  
 Sheet:



SCALE: 1/8" = 1'-0"

HDRB SUBMITTAL SET  
 1

WASHINGTON AVENUE



PROPOSED SITE PLAN SHEET KEYED NOTES

- GENERAL:
1. INSTALL NEW 3'-0" CONCRETE WALK
  2. EXISTING BRICK WALK
  3. EXISTING LANDSCAPE AREA TO REMAIN
  4. NEW ADA PARKING SPACE VAN ACCESSIBLE
  5. EXISTING BICYCLE RACK (6)
  6. IDENTIFY PARKING SPACES (2) #17, #18  
NEW PRIVATE PARKING SIGNAGE
  7. LANDSCAPE PLAN - APPROVED WITH 215 WASHINGTON AVE RENOVATION PERMIT #2020-5596

LEGEND

- EXISTING GRAVEL DRIVE
- EXISTING STRUCTURES TO REMAIN
- EXISTING EASEMENT

AREA CALCULATIONS

	EXISTING	PROPOSED
<b>EXISTING</b>		
BUILDING (219) HEATED:	897.00 SF	
UNITS 1, 2, 3		
REAR SHED NOT HEATED:	100.00 SF	
	997.00 SF	
EXISTING BUILDING (215) HEATED:	3762.00 SF	
EXISTING BASEMENT (215):		349.00 SF
EXISTING LOT COVERAGE TOTAL:	4759.00 SF	
<b>PROPOSED</b>		
LAUNDRY		
UNIT 4 BASEMENT	379.00 SF	92.00 SF
UNIT 4 LAUNDRY		438.00 SF
UNIT 4 FIRST FLOOR		51.00 SF
UNIT 4 PORTAL		284.00 SF
UNIT 5 SECOND FLOOR		72.00 SF
UNIT 5 COVERED EXTERIOR STAIRWAY		459.00 SF
UNIT 6 FIRST FLOOR		464.00 SF
UNIT 6 PORTAL		59.00 SF
UNIT 6 BASEMENT	974.00 SF	
UNIT 8 SECOND FLOOR		332.00 SF
UNIT 9 SECOND FLOOR		332.00 SF
TOTAL: PROPOSED ROOFED AREA:		944.00 SF
TOTAL: EXISTING 219 ROOFED AREA:		997.00 SF
TOTAL: EXISTING 215 ROOFED AREA:		3762.00 SF
<b>TOTAL: EXISTING &amp; PROPOSED ROOFED AREA:</b>		
ROOF COVERAGE - 219 (UNITS 1,2,3)		997.00 SF
ROOF COVERAGE - 219 (UNIT 4,5)		284.00 SF
ROOF DECK 2ND - 219 (UNIT 4,5)	96.00 SF	66.00 SF
ROOF COVERAGE - 219 (UNIT 6,7,8,9)		152.00 SF
ROOF DECK 2ND - 219 (UNIT 6,7,8,9)		59.00 SF
ROOF PORTAL - 219 (UNIT 6,7,8,9)		2000.00 SF
<b>TOTAL ROOFED AREA</b>	3762.00 SF	5762.00 SF
LOT PARCEL AREA:	17,940.00 SF	17,940.00 SF
	.412 AC +/-	.412 AC +/-
LOT COVERAGE:	26.5%	32.1%
ALLOWABLE LOT COVERAGE:		NO REQUIREMENT
MAXIMUM HGT OF STRUCTURES: 27' MAX. WITH STEPBACKS		
CHANGE IN EXISTING BUILDING HEIGHT: UNIT 5 EXISTING: 12'-4"		
PROPOSED 2ND FLR: 21'-0"		
ZONING DISTRICT: BCDMAR		
HDR DISTRICT: DOWNTOWN & EAST SIDE HISTORIC DISTRICT		
BUSINESS CAPITOL DISTRICT		
EAST MARCY SUB DISTRICT		
HDRB ACTION ON OCTOBER 22, 2019		
215 WASHINGTON AVE.		
CASE #2019-000994-HDRB		
DESIGNATED WEST, NORTH & EAST FACADES		
AS PRIMARY:		
219 WASHINGTON AVE. WAS UPGRADED FROM		
NON-CONTRIBUTING TO CONTRIBUTING AND		
DESIGNATED THE WESTERN STREET-FACING		
FACADE AS PRIMARY.		
PARKING: 14-8.6(C)(2)		
1 PARKING SPACE PER RENTAL UNIT FOR HOTELS & MOTELS IN BCD		
REQUIRED PARKING SPACES:		
215 (7 UNITS)		
219 (9 UNITS)		
213 (4 UNITS LEASED TO MARKET STEER)		
PARKING SPACE PROVIDED:		
EXIST: 16 PARKING SPACES & 1 VAN HANDICAPPED SPACE		
NEW TOTAL: 18 PARKING SPACES + 2 SPACES OFF SITE (SEE NEW PARKING		
AGREEMENT)		
BICYCLE RACKS: 6 SPACES		
MINIMUM OPEN SPACE: 10% OF LOT AREA: 1,794 SQ FT		
EXISTING FRONT OPEN SPACE:		2,061 SQ FT
USE GROUP: R-1 RESIDENTIAL, SLEEPING UNITS WITH PRIMARILY TRANSIENT		
OCCUPANTS		
BUILDINGS REQUIRED TO BE FULLY SPRINKLERED		

RENOVATIONS & ADDITIONS  
 MINI-HOTEL for:  
 DENNIS PRICE  
 219 WASHINGTON AVE.  
 SANTA FE, NM

TITLE:  
 PROPOSED  
 SITE PLAN

P.O. Box 4  
 Ojo Caliente, N.M. 87579  
 505.919.9744 phone  
 redcs2@gmail.com

**DESIGN SERVICES**  
 Production Documents  
 Residential - Commercial

Date: 07.21.2025  
 revised:  
 Sheet: **SP-2**

HDRB SUBMITTAL SET

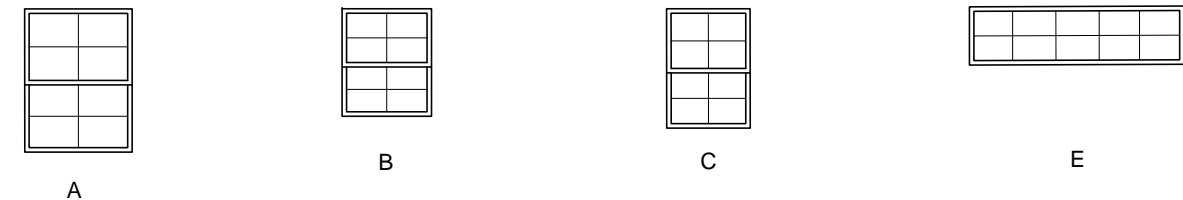
PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE							
NO.	MANUFACTURER	FRAME SIZE	R.O. SIZE	JAMB WIDTH	TYPE	QTY.	REMARKS
A	BY OWNER	3'-0" x 4'-6"	39" x 54"	V.I.F.	DH	4	UNIT 01 & 02
B	BY OWNER	2'-6" x 3'-0"	33" x 39" - V.I.F.	V.I.F.	DH	1	UNIT 02 - KITCHENETTE
C	BY OWNER	3'-0" x 4'-0"	31" x 43"	V.I.F.	DH	2	UNIT 02 / UNIT 03 - BATH
D	BY OWNER	3'-0" x 3'-6"	39" x 45"	V.I.F.	DH	2	UNIT 06 / UNIT 07
E	BY OWNER	4'-0" x 1'-6"	51" x 21"	V.I.F.	FIXED	2	UNIT 06 / UNIT 07
F	BY OWNER	3'-0" x 3'-6"	39" x 45"	V.I.F.	DH	2	UNIT 06 / UNIT 07 / UNIT 8 / UNIT 9

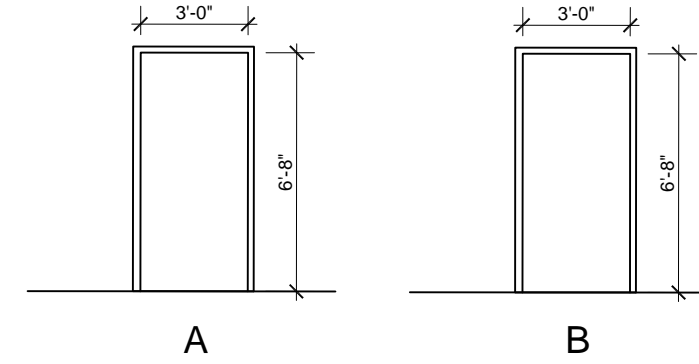
NOTE:  
 ALL WINDOWS:  
 1. VERIFY R. O. IN FIELD & CHECK MANUFACTURER FOR ROUGH OPENING REQUIREMENTS  
 2. CONTRACTOR MAY SUBSTITUTE WINDOW MANUFACTURER W/ APPROVAL BY THE OWNER.  
 3. VINYL CLAD EXTERIOR (COLOR: BY OWNER), INTERIOR WOOD PAINTED (COLOR SELECTED BY OWNER)

WINDOW TYPES



DOOR SCHEDULE										
FLOOR PLAN										
NO.	SIZE (NOM)	THK	FRAME TYPE	ROUGH OPENING	DR TYP	JAMB WIDTH	MFG.	HARDWARE	LOCATION	
1	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 1 - ENTRY	
2	2'-8" x 6'-8"	1-3/4"	SOLID WOOD	36" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 1 - BATH	
3	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PASSAGE	UNIT 3 - BATH	
4	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 3 - ENTRY	
5	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 2 - BATH	
6	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	PASSAGE	UNIT 2 - ENTRY	
7	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	LAUNDRY - ENTRY	
8	2'-8" x 6'-8"	1-3/4"	SOLID WOOD	36" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 4 - BATH	
9	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - ENTRY	

DOOR TYPES



PROPOSED PLAN SHEET KEYED NOTES

- GENERAL:
- INSTALL NEW 2" x 6" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
  - INSTALL NEW 2" x 4" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
  - WIDEN DOOR FRAME OPENING TO ACCOMMODATE NEW 3'-0" x 6'-8" DOOR & FRAME, PATCH, SAND & PAINT, COLOR BY OWNER
  - INSTALL NEW WINDOWS & FRAMES, PATCH, SAND & PAINT, COLOR BY OWNER
  - REPAIR EXISTING WINDOW PANES AS NECESSARY, PATCH, SAND & PAINT
  - BLOCK PANE IN FRONT OF NEW WALL
  - FOLDING TABLE
  - 
  - OVERFLOW DRAIN LOCATION
  - INFILL OPENING
  - EXISTING SKYLITE TO REMAIN
  - VENTLESS GAS LOGS
  - EXTERIOR WHITE METAL STAIRS & LANDING AT TOP W/ COVERED ROOF

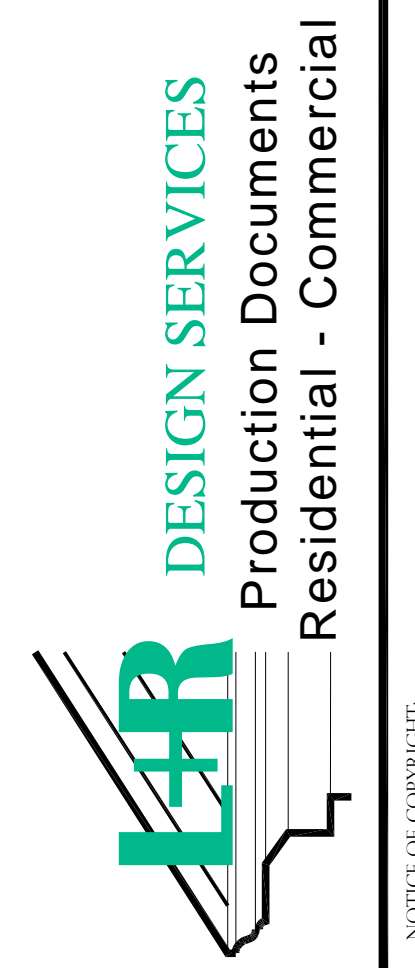
LEGEND

- NEW 2" x 6" WALLS STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
- EXISTING WALLS TO REMAIN
- ONE HOUR EXTERIOR WALL RATING - UL 305 OPENINGS <25%

RENOVATIONS & ADDITIONS  
 MINI-HOTEL for:  
 DENNIS PRICE  
 219 WASHINGTON AVE.  
 SANTA FE, NM

TITLE:  
 PROPOSED  
 FIRST  
 FLOOR  
 PLAN  
 SCHEDULES

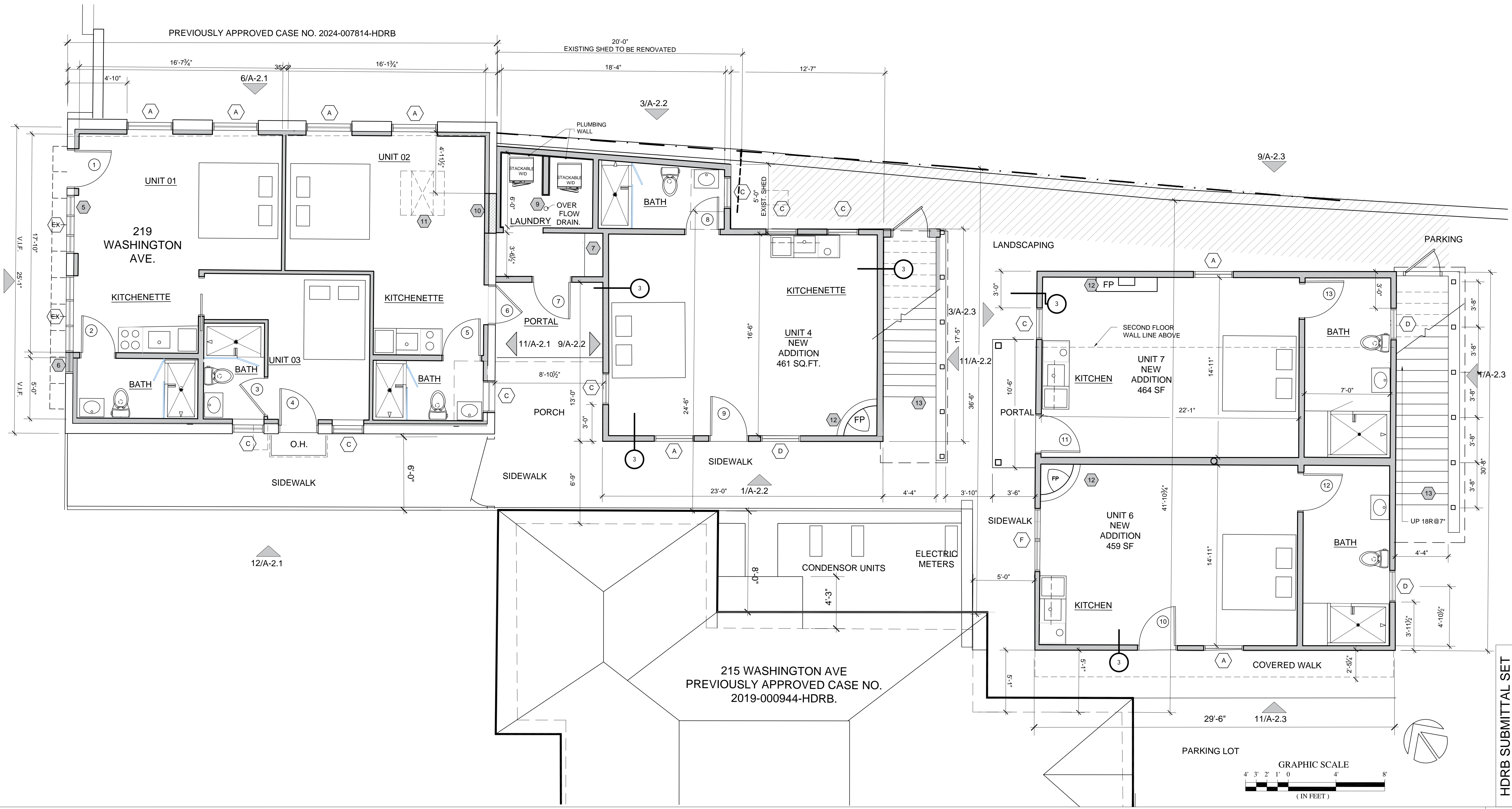
P.O. Box 4  
 Ojo Caliente, N.M. 87579  
 505.919.9744 phone  
 redc52@gmail.com



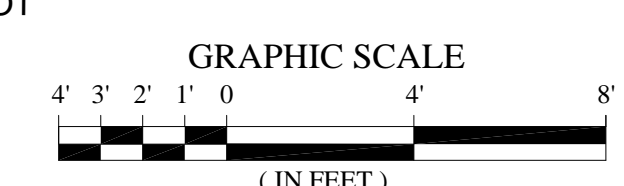
Date: 07.21.2025  
 revised:

FP-1

Sheet:



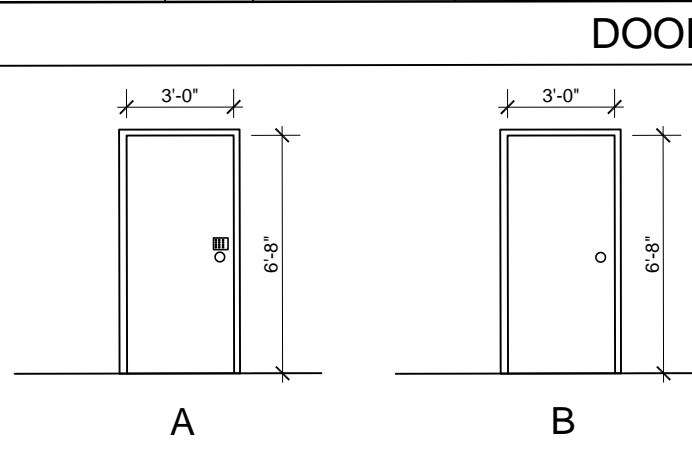
PROPOSED FIRST FLOOR PLAN



SCALE: 1/4" = 1'-0"

HDRB SUBMITTAL SET

DOOR SCHEDULE								
FLOOR PLAN								
NO.	SIZE (NOM)	THK	FRAME TYPE	ROUGH OPENING	DR TYP	JAMB WIDTH	MFG.	HARDWARE
1	3'-0" x 6'-8"	1-3/4"	WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD
2	3'-0" x 6'-8"	1-3/4"	WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET
3	3'-0" x 6'-8"	1-3/4"	WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PASSAGE
4	3'-0" x 6'-8"	1-3/4"	WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD
5	3'-0" x 6'-8"	1-3/4"	WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET
6	3'-0" x 6'-8"	1-3/4"	WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	PASSAGE



- PROP. BASEMENT PLAN SHT KEYED NOTES**
- GENERAL:
- 10" REINFORCED CMU FOUNDATION WALL w/18" x 12" CONCRETE FOOTING
  - 8" REINFORCED CMU FOUNDATION WALL w/18" x 12" CONCRETE FOOTING
  - FLOOR BEAM ABOVE TO CARRY FIRST FLOOR FRAMING, SEE STRUCTURAL
  - 3 1/2" ADJ. STEEL COLUMN ON 24" x 24" x 12" CONCRETE FOOTING
  - 2" x 6" WALL STUDS @ 16" O.C. w/5/8" TYPE 'X' FIRECODE GYP. BOARD
  - ELECTRIC PANEL, SEE ELECTRICAL
  - ON-DEMAND HOT WATER HEATER, SEE PLUMBING

- LEGEND**
- EXISTING WALLS TO REMAIN
  - NEW 10" CMU REINFORCED FOUNDATION WALL
  - NEW 8" REINFORCED FOUNDATION WALL
  - NEW 2" x 6" WALLS STUDS @ 16" O.C. w/5/8" "TYPE X" F.C. GYP. BOARD

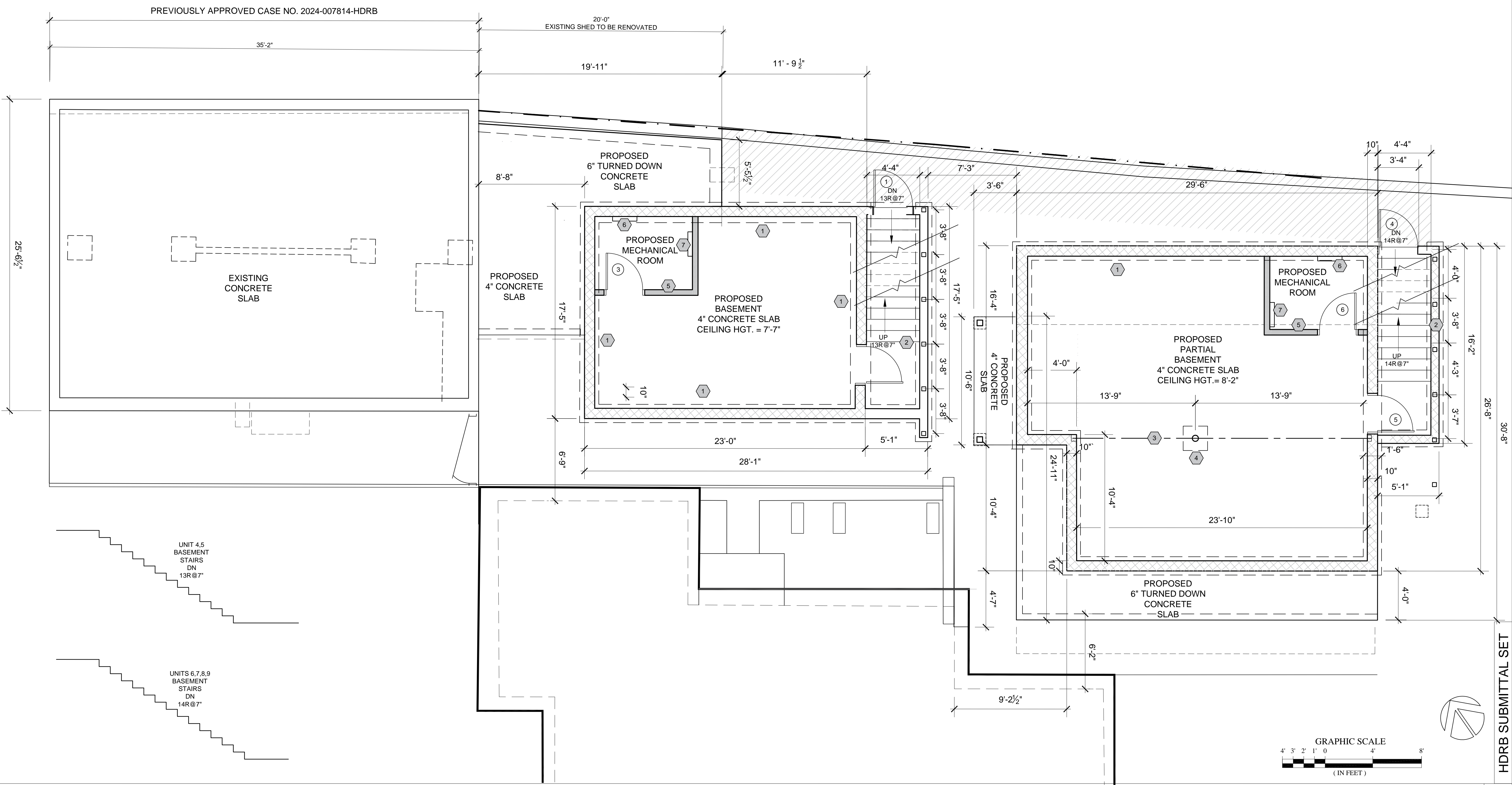
**RENOVATIONS & ADDITIONS**  
**MINI-HOTEL for:**  
**DENNIS PRICE**  
**219 WASHINGTON AVE.**  
**SANTA FE, NM**

**TITLE:**  
**PROPOSED FOUNDATION BASEMENT PLAN**

P.O.Box 4  
 Ojo Caliente, N.M. 87579  
 505.919.9744 phone  
 redc52@gmail.com

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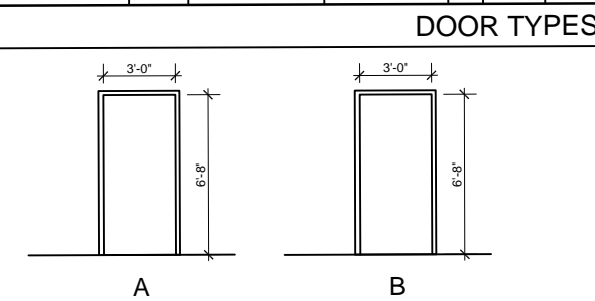
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 revised:

**FP-B**

Sheet:

DOOR & WINDOW SCHEDULES

DOOR SCHEDULE											
FLOOR PLAN	QTY	SIZE (INCH)	THK	FRAME TYPE	ROUGH OPENING	JAMB TOP HEIGHT	MFG.	HARDWARE	LOCATION	REMARKS	
1	1	3'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 1 - ENTRY	UNIT 4.5 - BASEMENT STAIRS
2	2	2'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	B	4-1/2"	CUSTOM	PRIVACY SET	UNIT 1 - BATH	UNIT 4.5 - BASEMENT STAIRS
3	2	2'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	A	4-1/2"	CUSTOM	PASSAGE	UNIT 3 - BATH	UNIT 4.5 - MECHANICAL ROOM
4	2	2'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 3 - ENTRY	UNIT 6.7.8.9 - BASEMENT STAIRS
5	2	2'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	B	4-1/2"	CUSTOM	PRIVACY SET	UNIT 2 - BATH	UNIT 6.7.8.9 - BASEMENT STAIRS
6	1	3'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	A	7-1/4"	CUSTOM	PASSAGE	UNIT 2 - ENTRY	UNIT 6.7.8.9 - MECHANICAL ROOM
7	2	2'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	LABORATORY - ENTRY	
8	2	2'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	B	4-1/2"	CUSTOM	PRIVACY SET	UNIT 4 - BATH	
9	2	2'-0" x 6'-6"	1-3/4"	SOLID WOOD	3'0" x 6'2 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - ENTRY	



WINDOW SCHEDULE						
QTY	MANUFACTURER	FRAME SIZE	R.O. SIZE	JAMB WIDTH	TYPE	REMARKS
4	BY OWNER	2'-0" x 4'-0"	3'0" x 5'0"	V.I.F.	DN	UNIT 01 & 02
1	BY OWNER	2'-0" x 2'-0"	1'0" x 3'0" x 1'0"	V.I.F.	DN	UNIT 03 - RITCHIEVILLE
2	BY OWNER	2'-0" x 4'-0"	3'1" x 4'0"	V.I.F.	DN	UNIT 02 / UNIT 03 - BATH
2	BY OWNER	2'-0" x 2'-0"	3'0" x 4'0"	V.I.F.	DN	UNIT 06 / UNIT 07
2	BY OWNER	4'-0" x 1'-0"	5'1" x 1'1"	V.I.F.	FIXED	UNIT 06 / UNIT 07
2	BY OWNER	2'-0" x 2'-0"	3'0" x 4'0"	V.I.F.	DN	UNIT 06 / UNIT 07 / UNIT 08

NOTE:  
 1. ALL WINDOWS  
 2. CONTRACTOR MAY SUBSTITUTE WINDOW MANUFACTURER WITH APPROVAL BY THE OWNER.  
 3. VINYL CLAD EXTERIOR (COLOR BY OWNER); INTERIOR WOOD PARTED (COLOR SELECTED BY OWNER)

WINDOW TYPES



PROPOSED PLAN SHEET KEYED NOTES

- GENERAL:
- INSTALL NEW 2" x 6" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
  - INSTALL NEW 2" x 4" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
  - INSTALL NEW WINDOWS & FRAMES, PATCH, SAND & PAINT, COLOR BY OWNER
  - NEW 2'-0" OVERHANG
  - EXTERIOR EXIT METAL STAIRWAYS TO SECOND FLOOR TO MATCH 215 AND BE PROTECTED FROM WEATHER
  - NEW RAINNAI INSTANT HWL
  - NEW ELECTRIC PANEL LOCATION
  - OVERFLOW DRAIN LOCATION
  - INSTALL NEW 3/4" T.&G. PLYWOOD DECK ON EXISTING FLOOR OF SHED
  - EXISTING SKYLITE TO REMAIN
  - REPLACE MISSING GLASS PANES - FRONT WINDOW
  - BRICK BORDER AROUND NEW PLANTING AREAS
  - VENTLESS GAS LOGS

LEGEND

- PROPOSED WALLS  
NEW 2" x 6" WALLS STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
- EXISTING WALLS TO REMAIN
- EXISTING RAISED FLOOR TO BE REMOVED
- ONE HOUR RATED EXTERIOR WALL - UL 305  
OPENINGS < 25% IBC TABLE 705.5 FIRE RESISTANCE RATING

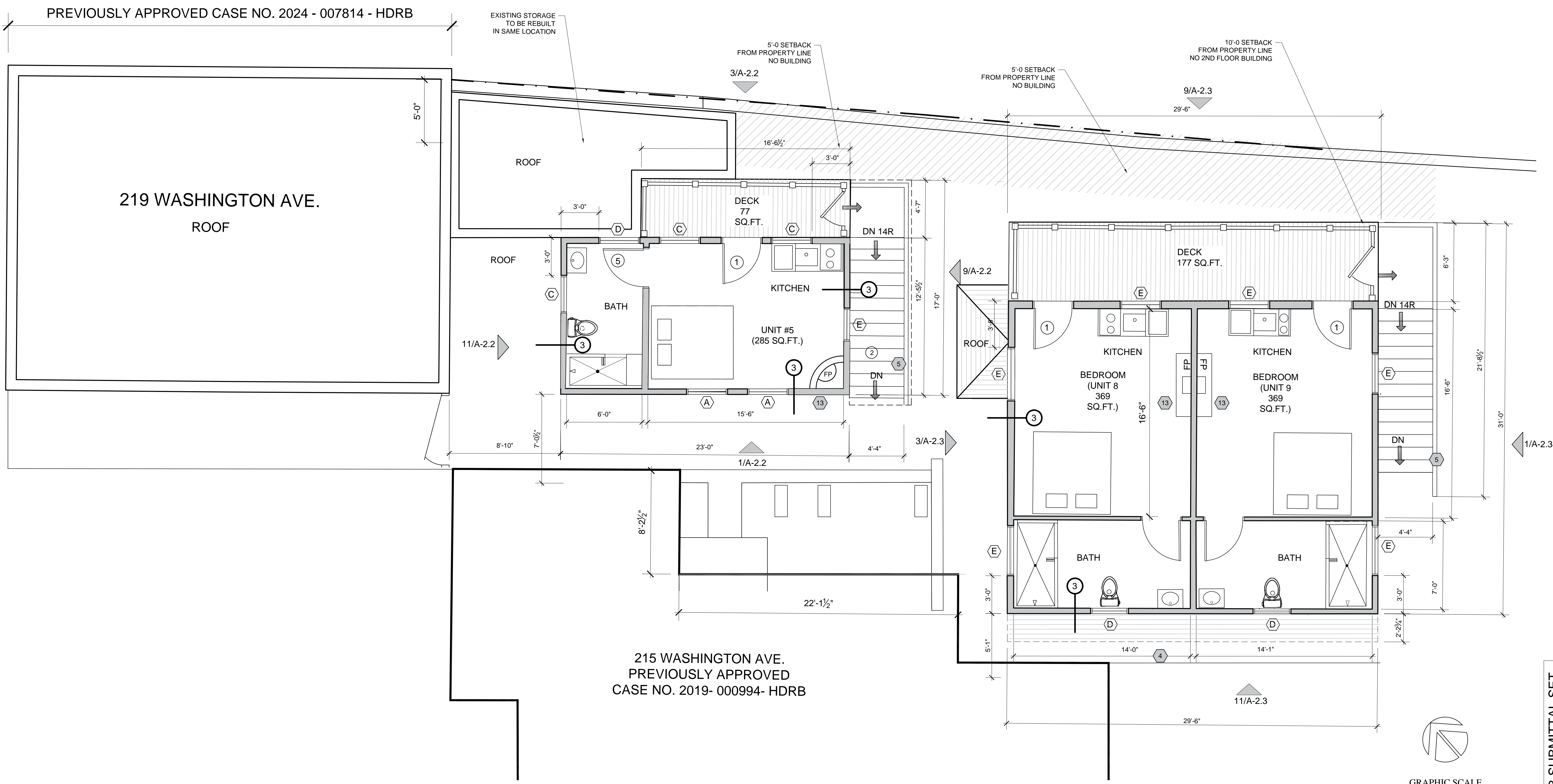
RENOVATIONS & ADDITIONS  
 MINI-HOTEL for:  
 DENNIS PRICE  
 219 WASHINGTON AVE.  
 SANTA FE, NM

TITLE:  
 PROPOSED SECOND FLOOR PLAN SCHEDULES

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 Ojo Caliente, N.M. 87579  
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 redc52@gmail.com

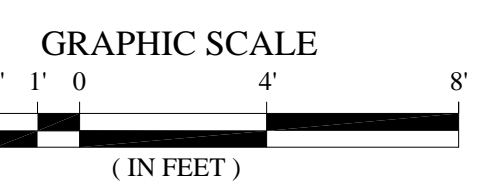
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215 WASHINGTON AVE.  
 PREVIOUSLY APPROVED  
 CASE NO. 2019- 000994- HDRB

PREVIOUSLY APPROVED CASE NO. 2024 - 007814 - HDRB



SCALE: 1/4" = 1'-0"

HDRB SUBMITTAL SET

Date: 07.21.2025  
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FP-2


Sheet:

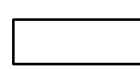
**PROPOSED ROOF PLAN SHEET KEYED NOTES**

GENERAL:

1. INSPECT ROOF FOR WATER DAMAGE AND AREAS THAT NEED REPAIR  
DETERMINE NEED FOR NEW ROOF
2. INSPECT AROUND ROOF VENT OPENINGS WHERE VENTS HAVE BEEN REMOVED  
REPAIR AND PATCH
3. PROVIDE NEW ROOF CAPS FOR NEW VENT OPENINGS (SEE MEP)
4. REPLACE ROOF FINISH AS NECESSARY, MOISTURE-PROTECT WOOD EDGES
5. EXHAUST AND RE-CIRCULATION SEE MECHANICAL DRAWINGS
6. NEW HVAC MINI-SPLIT CONDENSERS ON ROOF. SEE MECHANICAL DWG  
FOR TIE-DOWN TO ROOF.
7. EXISTING WOOD OVERHANG - INSPECT, REPAIR, SAND & STAIN
8. EXISTING WOOD CANALE - INSPECT, REPAIR, WATERPROOF LINING
9. MECHANICAL CONDENSERS MOUNTED ON ROOF PER MFG. SPECIFICATIONS,  
(4 TYP.)
10. ROOF SCREENING TO PROVIDE VISUAL BLOCK OF ROOFTOP EQUIPMENT
11. NEW TPO ROOF - TAN FINISH

**LEGEND**

 NEW 2" x 6" WALLS STUDS @ 16" O.C.

 EXISTING WALLS  
TO REMAIN

**ROOF DRAINAGE CALCULATIONS**

ROOF AREA: 818 SQFT

1 CANALE = 400 SF OF AREA

ROOFTOP EQUIPMENT SCREENING

SCALE:  $\frac{3}{8}" = 1'-0"$

16

**RENOVATIONS & ADDITIONS  
MINI-HOTEL for:**  
**DENNIS PRICE**  
**219 WASHINGTON AVE.**  
**SANTA FE, NM**

TITLE:

EXISTING/DEMOLITION  
&  
PROPOSED  
ROOF  
PLANS

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Ojo Caliente, N.M. 87579  
505.919.9744 phone  
redc52@gmail.com

**LR DESIGN SERVICES**  
Production Documents  
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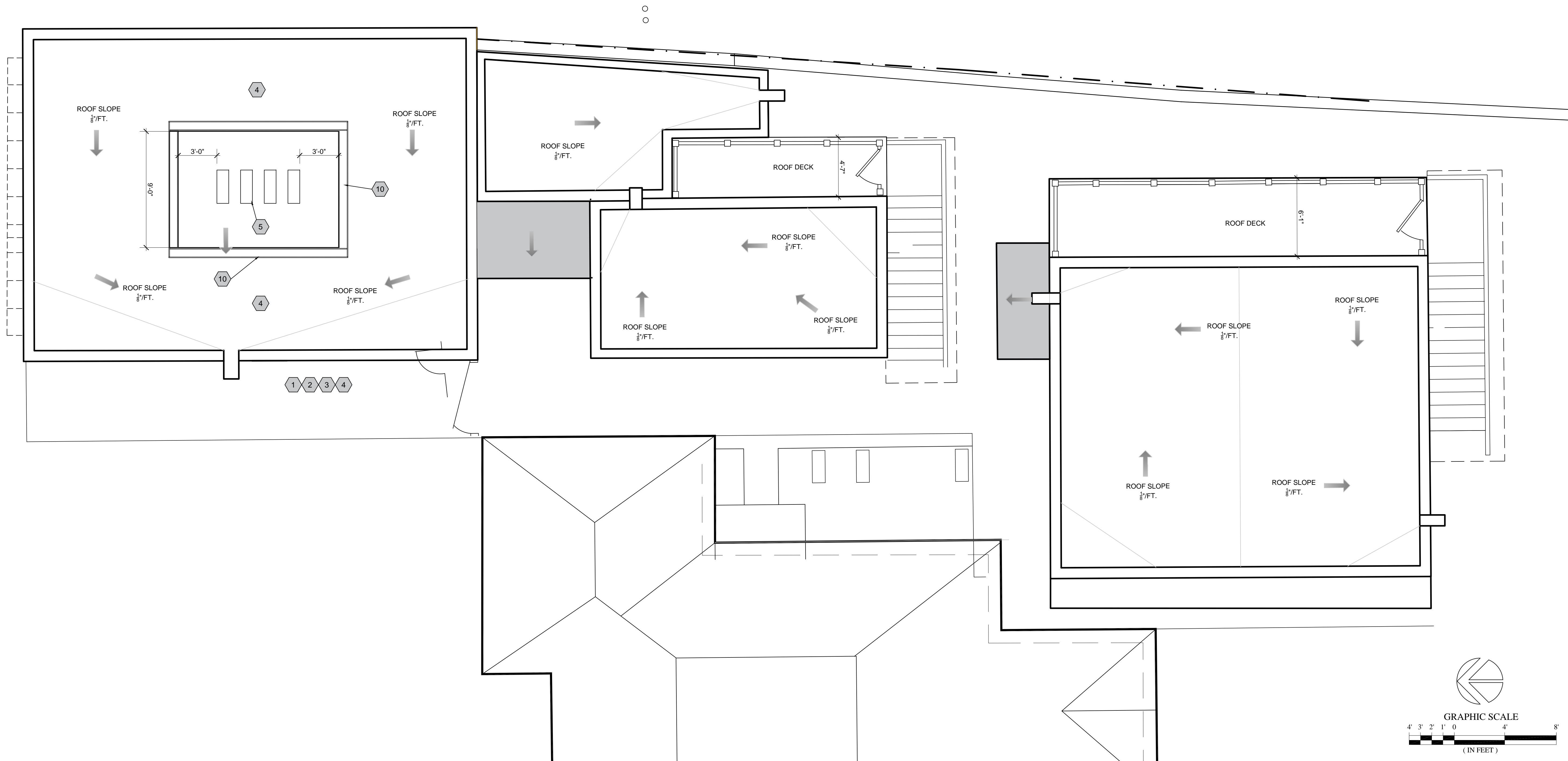
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PROPOSED ROOF PLAN

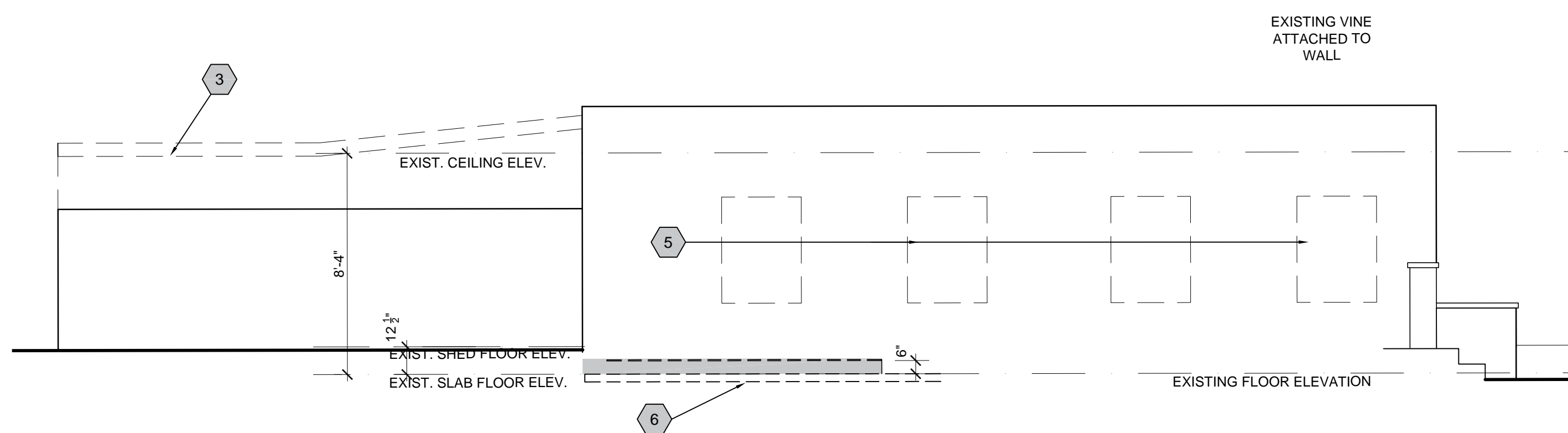
SCALE:  $\frac{1}{4}" = 1'-0"$

9

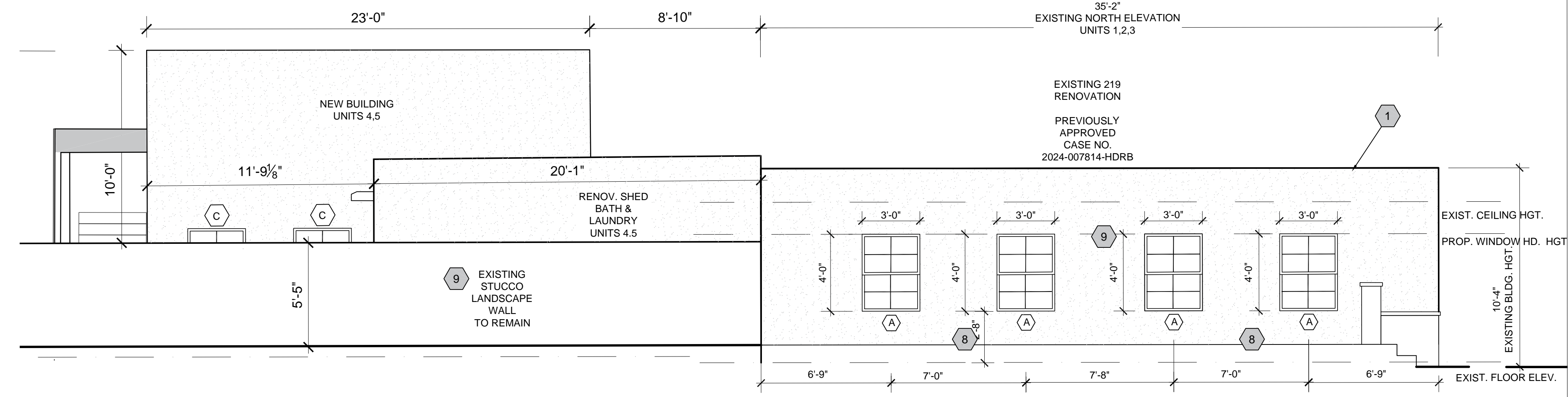
EXISTING/DEMOLITION - 219 ROOF PLAN

SCALE:  $\frac{1}{4}" = 1'-0"$

1



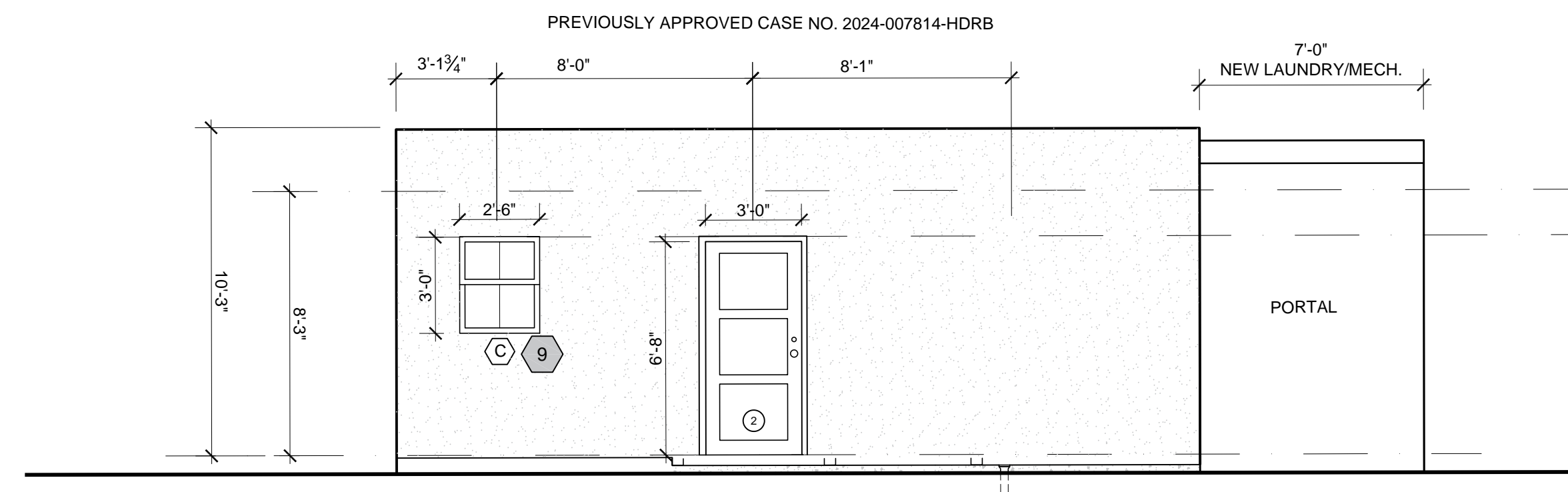
EXISTING NORTH ELEVATION - UNITS 1,2,3 SCALE: 1/4" = 1'-0" 8



PROPOSED NORTH ELEVATION - UNITS 1,2,3 SCALE: 1/4" = 1'-0" 7



EXISTING EAST ELEVATION SCALE: 1/4" = 1'-0" 6



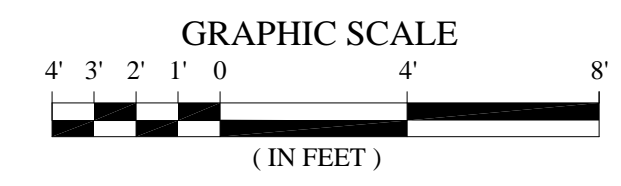
PROPOSED EAST ELEVATION SCALE: 1/4" = 1'-0" 5

EXISTING/DEMO PLAN SHEET KEYED NOTES

- GENERAL:
1. REMOVE DOOR & FRAME, COMPLETE. ROUGH-IN FOR NEW DOOR 36" x 84" WIDEN DOOR FRAME ROUGH OPENING TO 39" AND HEIGHT TO 87"
  2. REMOVE DOORS, WINDOWS & FRAMES COMPLETE
  3. EXISTING SHED TO BE REMOVED IN REAR YARD & REBUILT ON EXIST. FOOTPRINT
  4. DEMO CONCRETE LANDING - DROP GRADE 3" +/- (V.I.F.)
  5. CUT OUT WALL FOR NEW WINDOWS & ROUGH FRAME FOR OPENING
  6. EXISTING INTERIOR RAISED FLOOR TO BE REMOVED
  7. REPLACE (2) PANES WITH NEW GLAZING TO MATCH EXISTING

PREVIOUSLY APPROVED CASE NO. 007814-HDRB

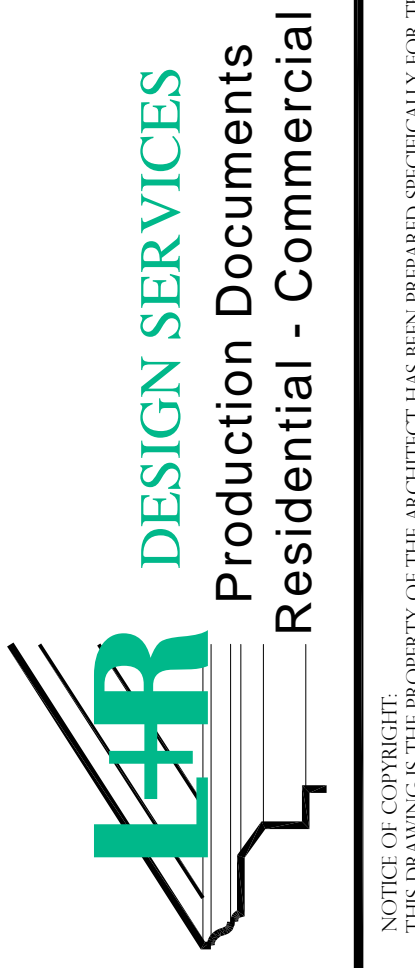
PREVIOUSLY APPROVED CASE NO. 007814-HDRB



RENOVATIONS & ADDITIONS  
 MINI-HOTEL for:  
 DENNIS PRICE  
 219 WASHINGTON AVE.  
 SANTA FE, NM

TITLE:  
 UNITS 1,2,3  
 NORTH & EAST  
 EXISTING  
 PROPOSED  
 ELEVATIONS

P.O.Box 4  
 Ojo Caliente, N.M. 87579  
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 redcs52@gmail.com



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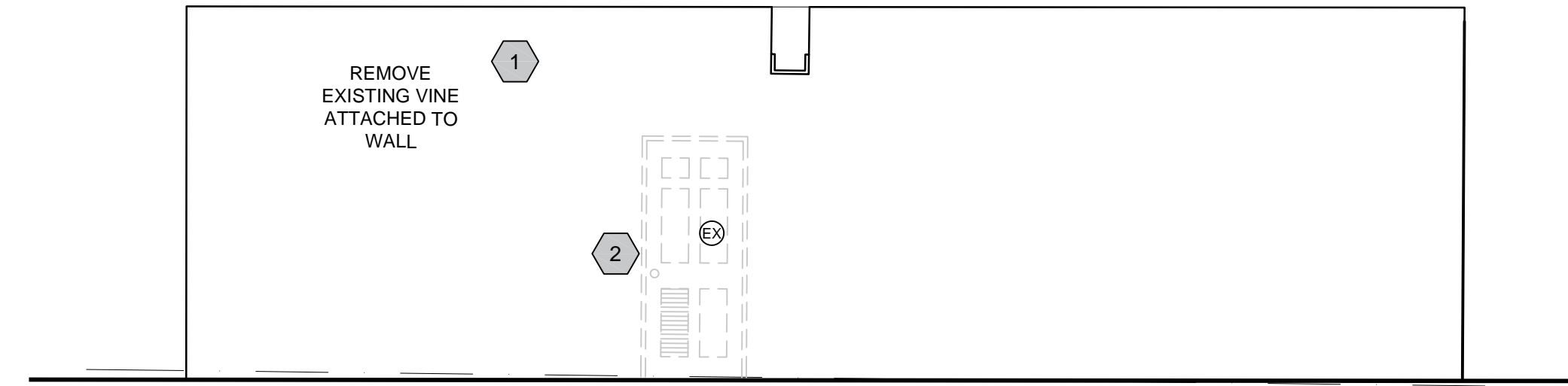
A-2

Sheet:

**PROPOSED PLAN SHEET KEYED NOTES**

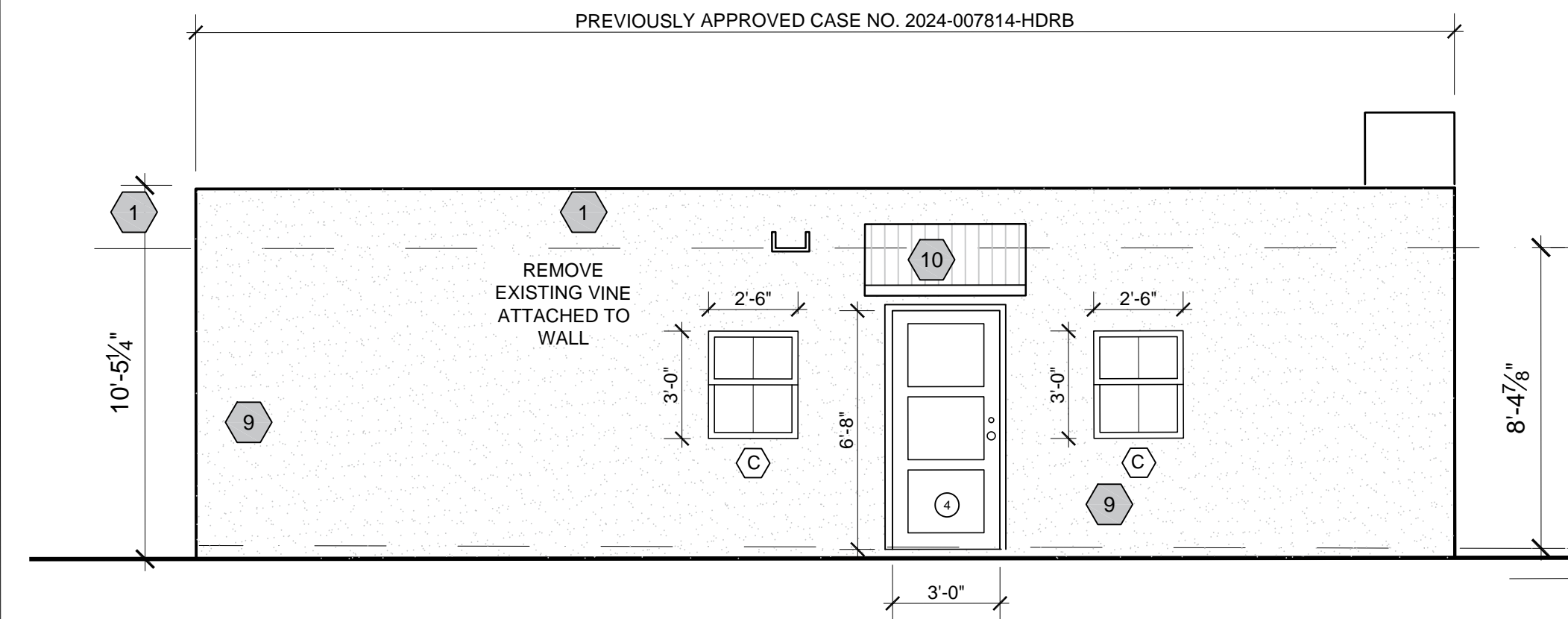
GENERAL:

1. REMOVE EXISTING VINE TO ACCOMODATE NEW WINDOW AND DOOR  
VERIFY ROOT DAMAGE IN STUCCO WALL
2. RENOVATE OPENINGS WITH NEW WINDOW & DOOR, REPAIR WALL, AND PATCH AS NECESSARY, SAND AND PAINT, COLOR BY HDRB.
3. REAR PORTAL COLUMNS & FRAMING TO BE REPAIRED, SAND & PAINT
4. SET EXIST. PORTAL COLUMNS AT NEW SIDEWALK HEIGHT W/NEW ANCHORS
5. NEW 3" CONCRETE SLAB W/ 6x6x1.0 WWF
6. NEW SUMP DRAIN IN NEW CONC. SLAB
7. FINISH & COLOR ON RENOVATED SHED BY HDRB
8. SEE LANDSCAPE PLANS FOR GRADE CHANGE AREA
9. RE-STUCCO EXTERIOR WALLS
10. INSTALL OVERHANG ROOF OVER UNIT 3 EXTERIOR DOOR
11. EVALUATE & REPAIR EXISTING OVERHANG



EXISTING SOUTH ELEVATION - UNITS 1,2,3

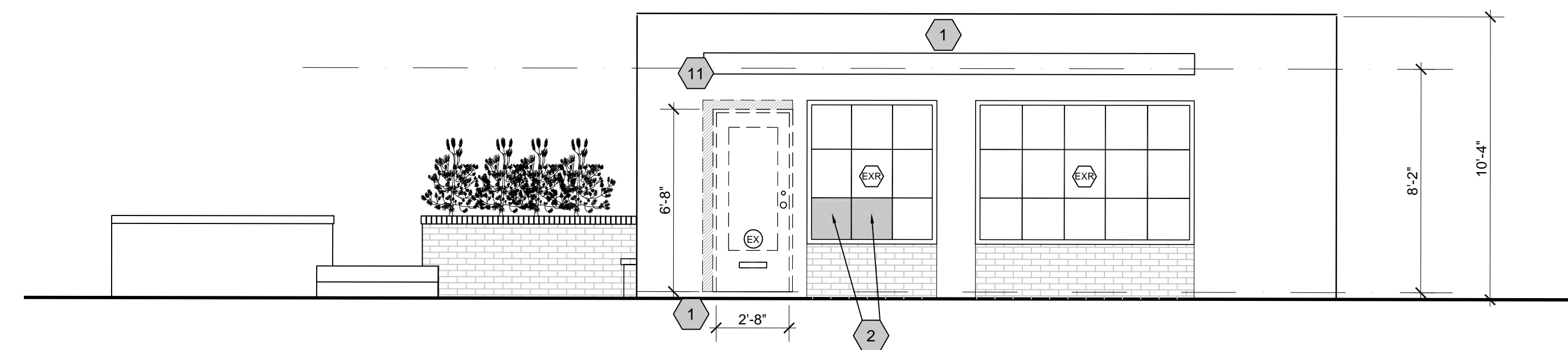
12



PROPOSED SOUTH ELEVATION - UNITS 1,2,3

7

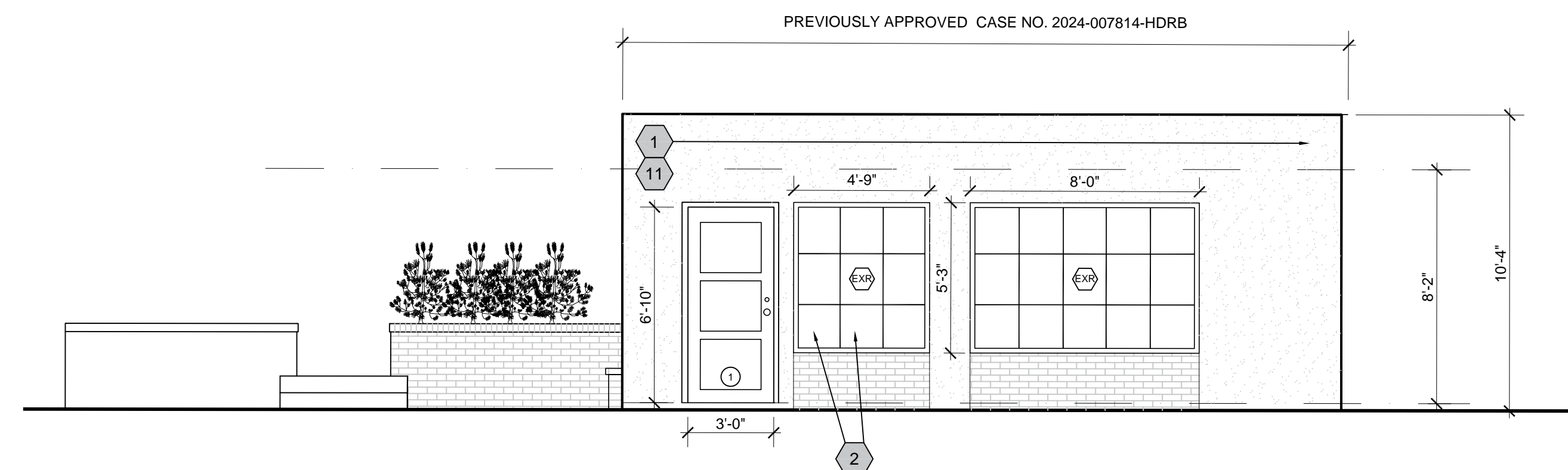
PREVIOUSLY APPROVED CASE NO. 007814-HDRB



EXISTING WEST ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

6

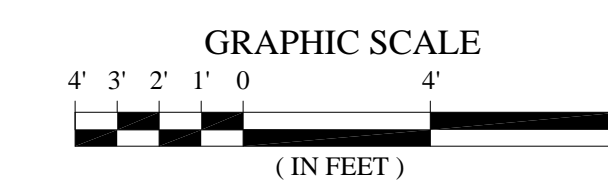


PROPOSED WEST ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

5

PREVIOUSLY APPROVED CASE NO. 007814-HDRB



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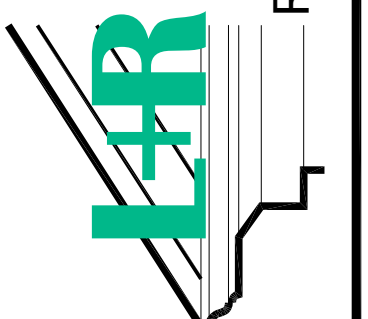
**RENOVATIONS & ADDITIONS**  
**MINI-HOTEL for:**  
**DENNIS PRICE**  
**219 WASHINGTON AVE.**  
**SANTA FE, NM**

TITLE:

UNITS 1,2,3  
 SOUTH & WEST  
 EXISTING  
 PROPOSED  
 ELEVATIONS

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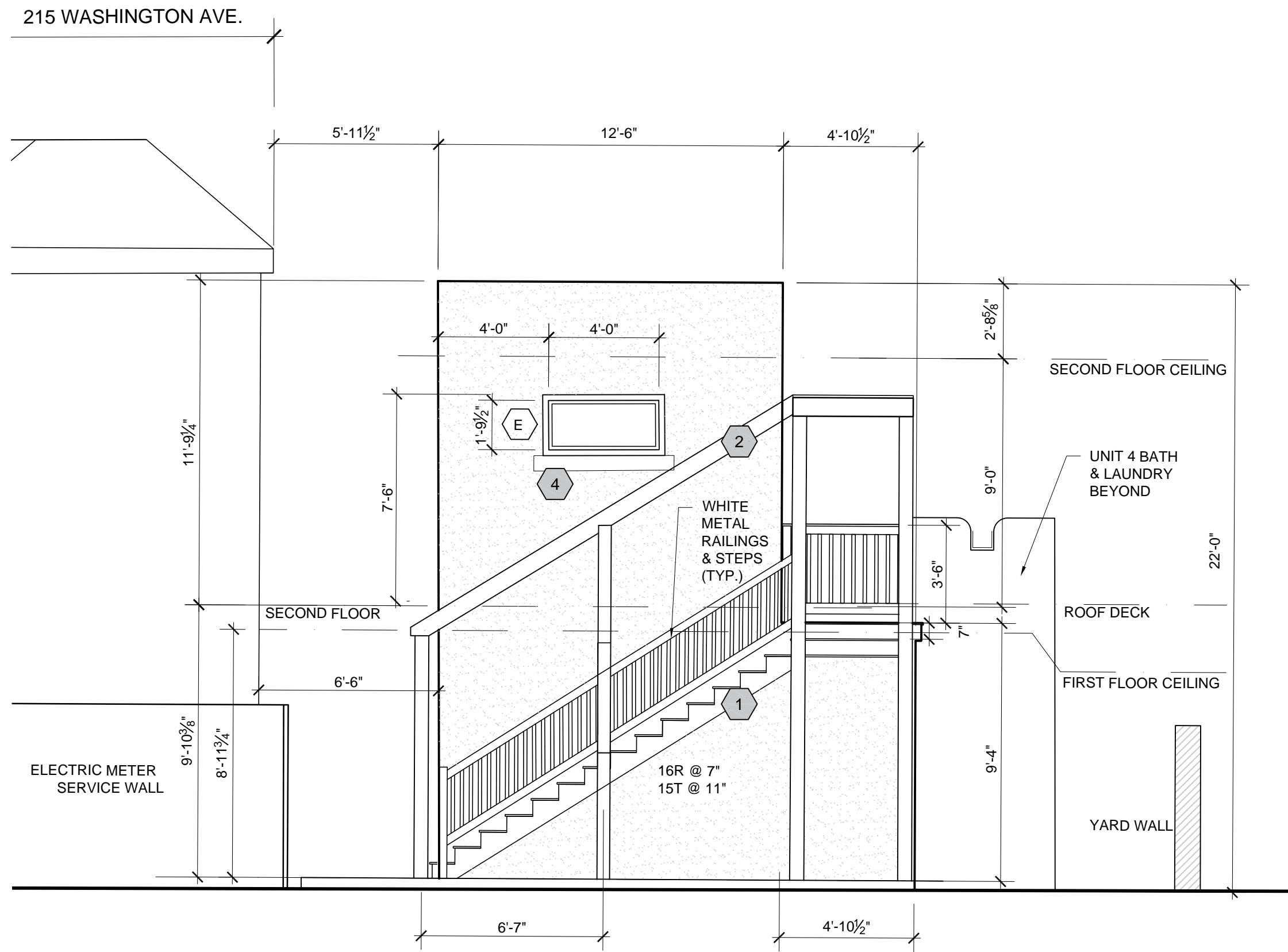
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Sheet:

**PROPOSED ELEVATIONS SHEET KEYED NOTES**

**GENERAL:**

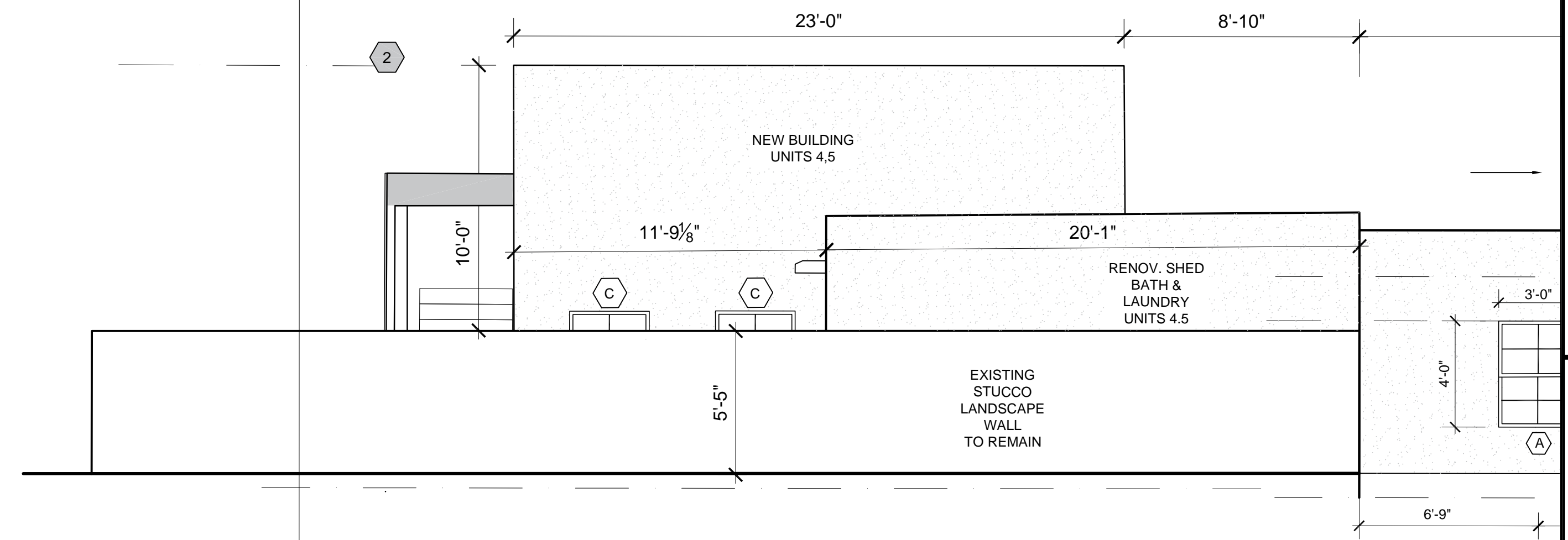
1. STAIRS TO SECOND FLOOR TO BE WHITE METAL GUARDS, HANDRAILS & TREADS (SLIP RESISTANT)
2. EXTERIOR ROOF COVERING OVER EXTERIOR STAIRS (WHITE METAL)
3. PORTAL ROOF OVER UNIT 2 ENTRY DOOR
4. STONE SILL TO MATCH BLDG. 215
- 5.



PROPOSED EAST ELEVATION - UNITS 4,5

SCALE: 1/4" = 1'-0"

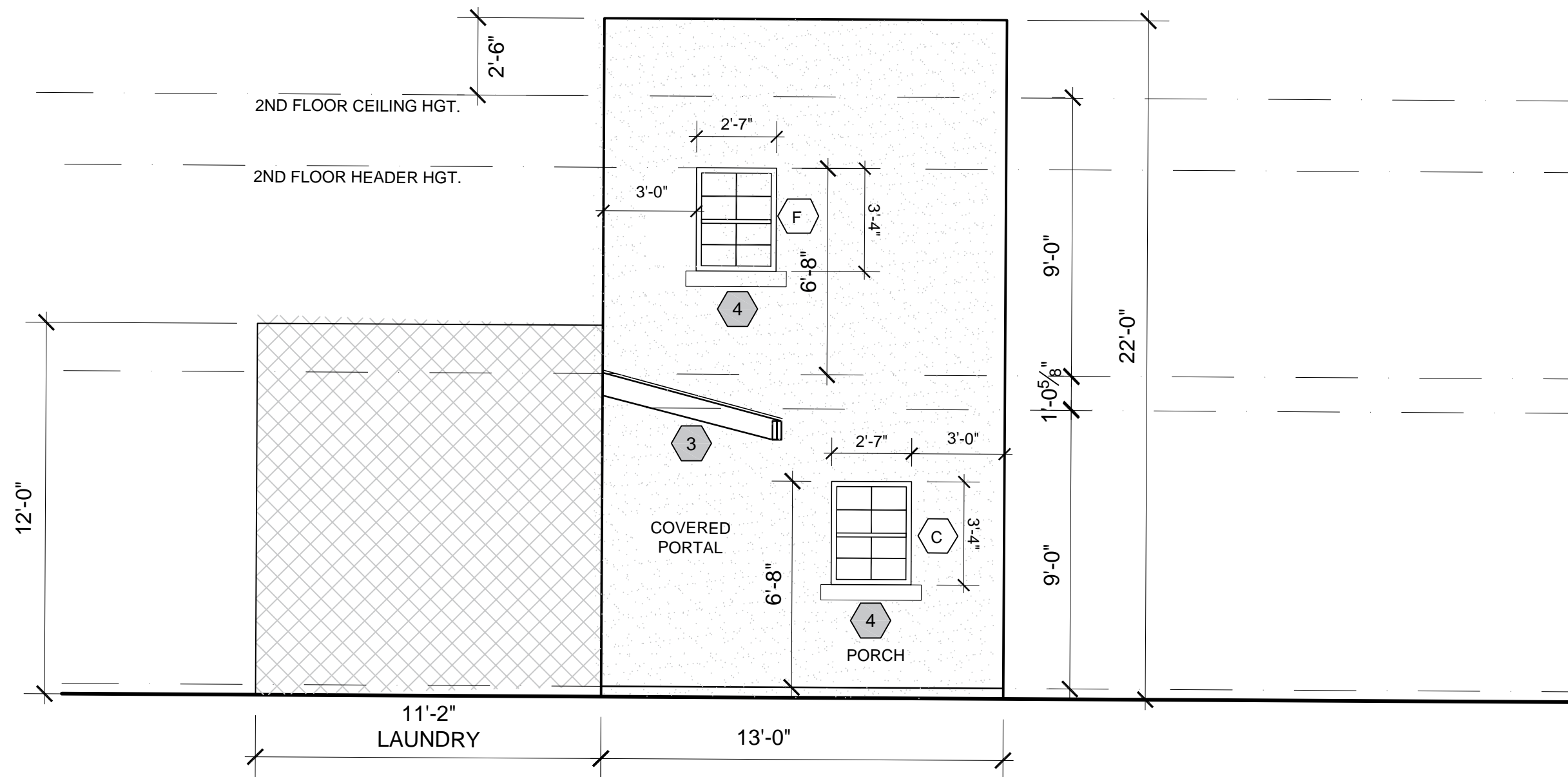
11



PROPOSED NORTH ELEVATION - UNITS 4,5

SCALE: 1/4" = 1'-0"

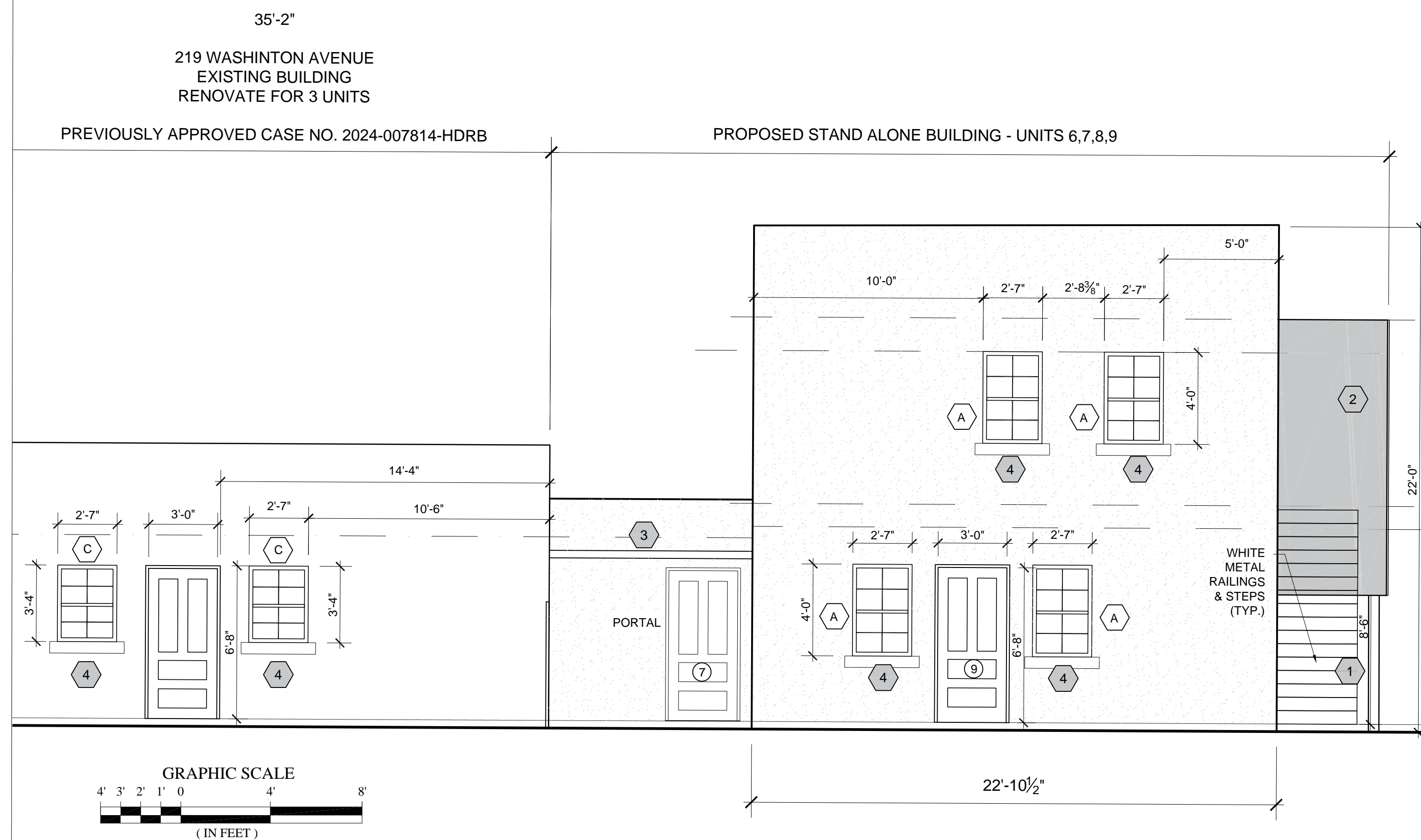
3



PROPOSED WEST ELEVATION - UNITS 4,5

SCALE: 1/4" = 1'-0"

9



PROPOSED SOUTH ELEVATION - UNITS 4-5

SCALE: 1/4" = 1'-0"

1

**RENOVATIONS & ADDITIONS**  
**MINI-HOTEL for:**  
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**TITLE:**  
**UNITS 4 & 5**  
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**ELEVATIONS**

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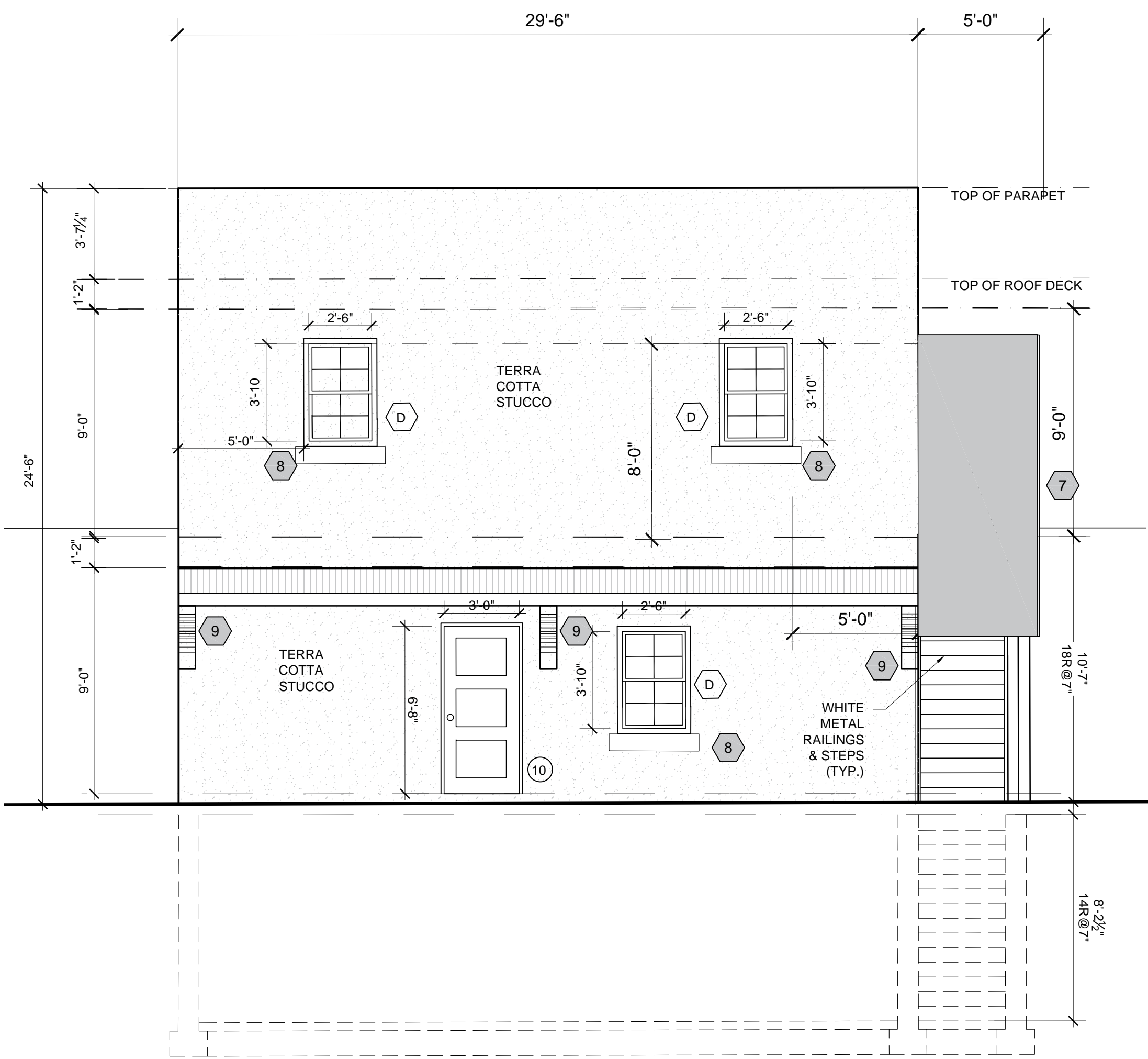
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**A-2.2**

Sheet:

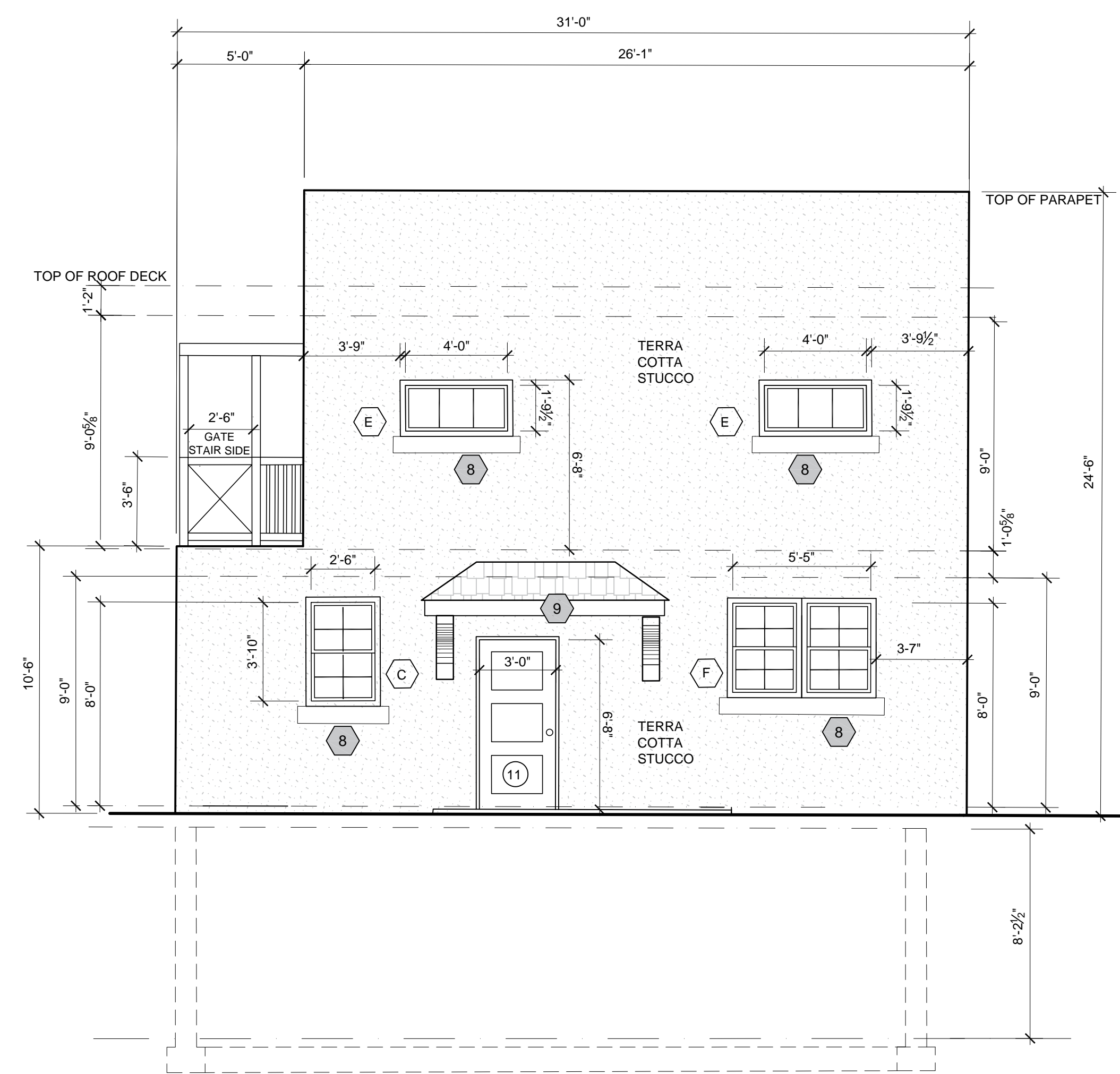
HDRB SUBMITTAL



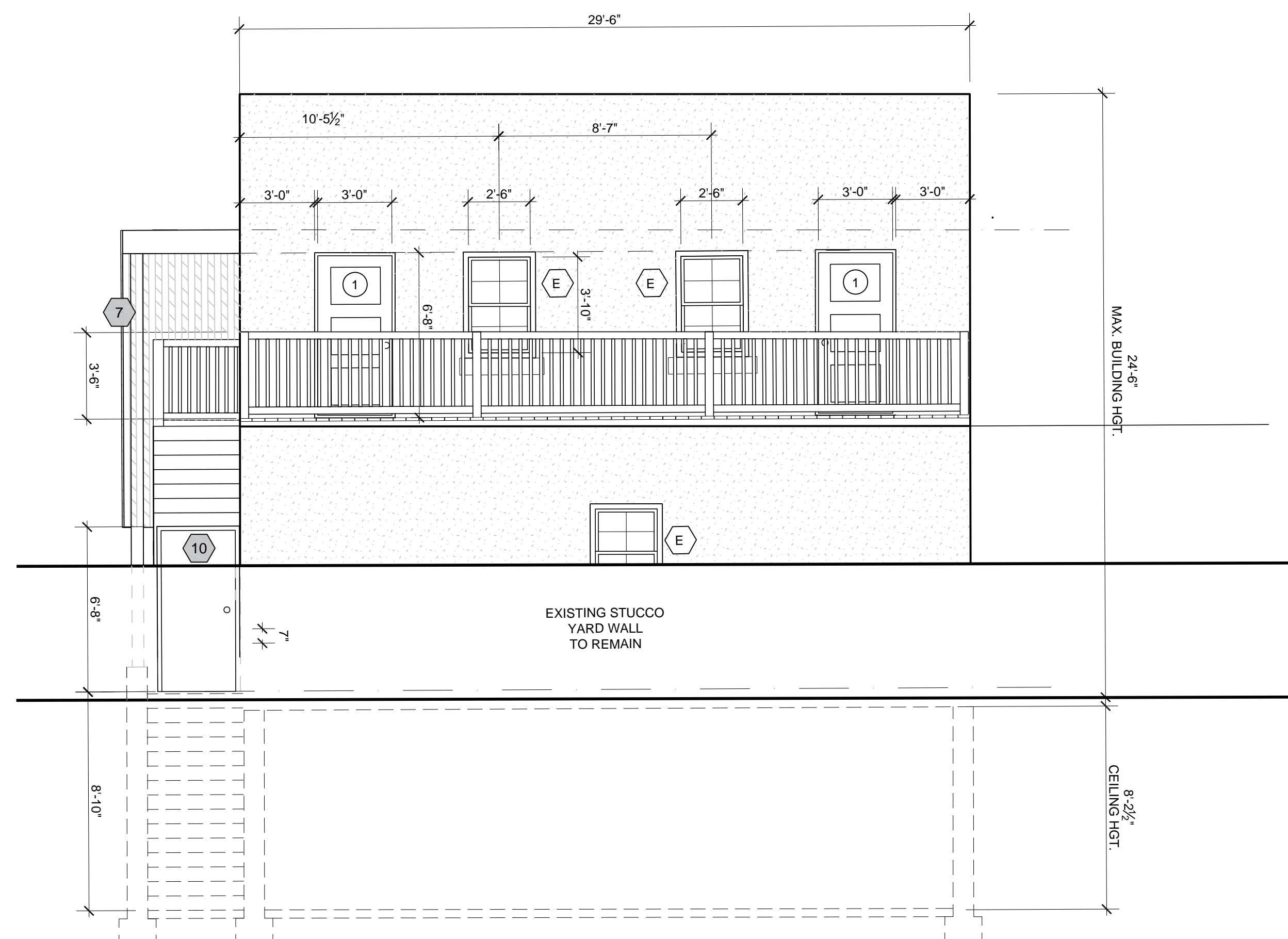
PROPOSED SOUTH ELEVATION - UNITS 6,7,8,9, SCALE: 1/4" = 1'-0" 11

PROPOSED ELEVATIONS SHEET KEYED NOTES

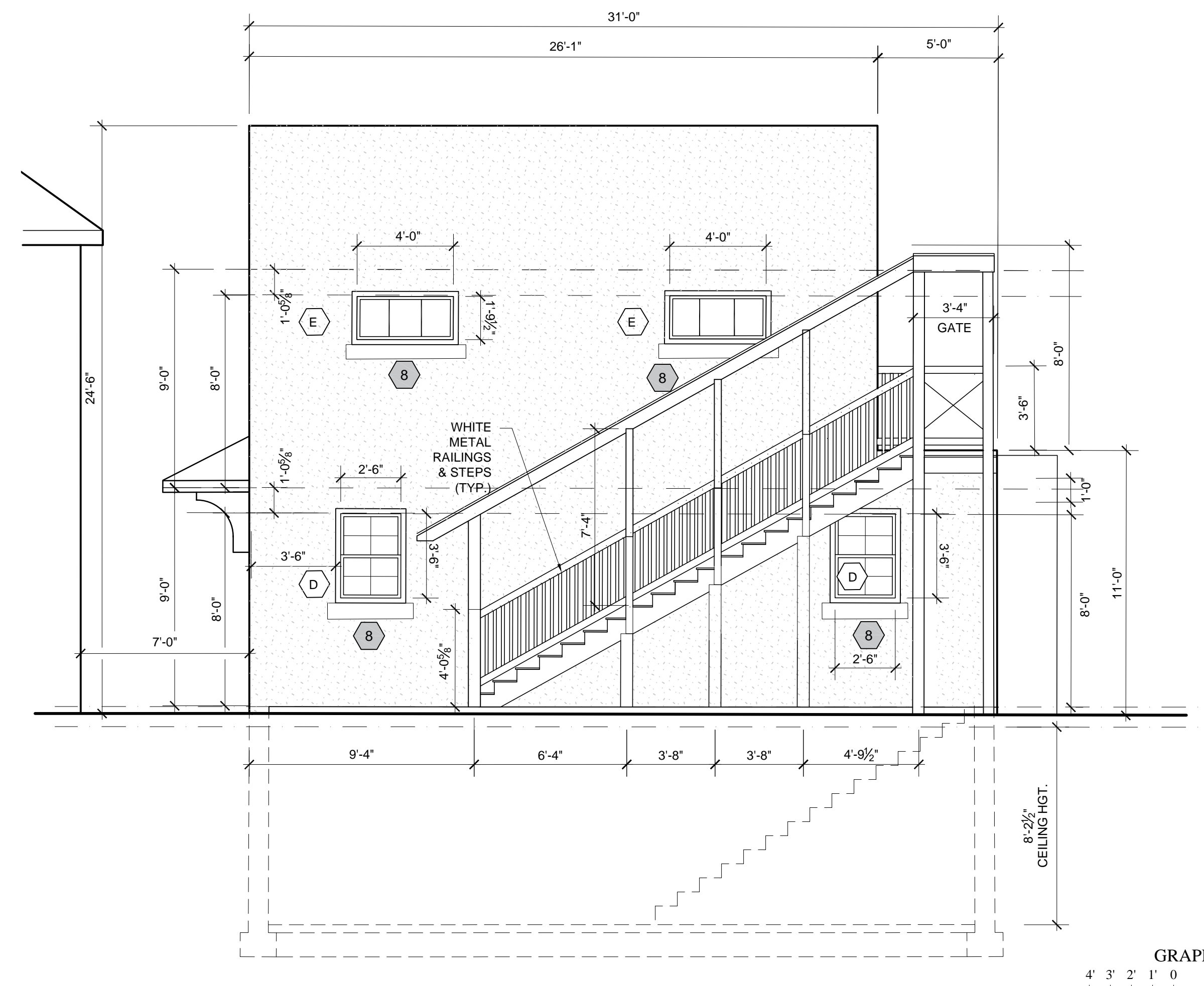
- GENERAL:
1. SET NEW PORTAL COLUMNS AT NEW SIDEWALK HEIGHT W/NEW ANCHORS
  2. NEW 3" CONCRETE SLAB W/ 6x6x1.0 WWF
  3. NEW SUMP DRAIN IN NEW CONC. SLAB
  4. FINISH & COLOR ON RENOVATED SHED BY HDRB
  5. SEE LANDSCAPE PLANS FOR GRADE CHANGE AREA
  6. EXTERIOR COVERED STAIR, METAL TREADS, OPEN RISER, TYPICAL
  7. STONE SILL - MATCH BLDG. 215
  8. DECORATIVE WOOD BRACE - SUPPORT FOR OVERHANG
  9. EXTERIOR DOOR TO BASEMENT STAIRS BEHIND EXISTING WALL



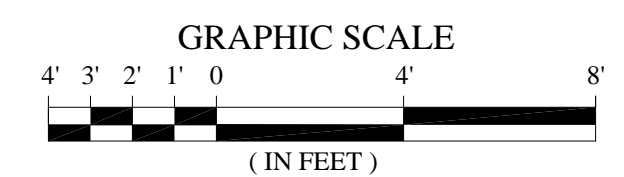
PROPOSED WEST ELEVATION - 6,7,8,9 SCALE: 1/4" = 1'-0" 3



PROPOSED NORTH ELEVATION - UNITS 6,7,8,9 SCALE: 1/4" = 1'-0" 9



PROPOSED EAST ELEVATION 6,7,8,9 SCALE: 1/4" = 1'-0" 1



RENOVATIONS & ADDITIONS  
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