



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Alan Webber, Mayor

Councilors:

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Lee Garcia, District 3

Pilar F.H. Faulkner, District 3

Jamie Cassutt, District 4

Amanda Chavez, District 4

Hearing Date: July 17, 2025 (Consent Agenda)

TO: Planning Commission

VIA: Heather Lamboy, Planning and Land Use Director
Maggie Moore, Assistant Planning & Land Use Director
Dan Esquibel, Planning Manager

FROM: Claudia Kath, Land Use Planner Senior

RE: **Case #2024-8026. Casa De Todos Final Subdivision Plat Time Extension.** Liaison Planning Services, Inc, Agent for Luna Turquzo, LLC owner requests a time extension for the approved final subdivision plat for Casa De Todos (Case# 2021-3355). The Applicant is requesting a 1-year extension to the time allowed for approvals granted by the Planning Commission on May 5, 2024.

Executive Summary:

Liaison Planning Services Inc, Agent for Luna Turquezo, LLC Owner, appeared before the Planning Commission on May 6, 2021, for review and approval of the Casas De Todos Final Subdivision Plan, a 58-lot subdivision located at 4323 and 4318 Airport Road, on approximately 10.3 acres (See Attachment A – Case#: 2021-3355 Findings of Fact and Conclusions of Law).

The Applicant requested a time extension of the Casa De Todos Subdivision Plat in March 2024. The Planning Commission approved the time extension on May 2, 2024. (See Attachment B – May 2, 2024 Planning Commission Minutes.)

In their second time extension request letter from March 2025 (see Attachment B Time Extension Request), the Agent indicated that the extension is needed as a result of several financial issues that have arisen due to an increase in development costs. The Applicant is in the process of completing the affordable housing contract, obtaining an approved engineer's estimate, and updating the survey plat

with a new surveyor. (See Attachment C – Casa De Todos Final Subdivision Plat). No plat associated with this project has been recorded.

Recommendation:

Staff recommends the Planning Commission approve Case#: 2024-8026 Casa De Todos Final Subdivision Plat Second Time Extension. If approved, the new expiration date for the Final Subdivision Plat would be July 17, 2026. No additional time extensions may be granted after the July 17, 2026 deadline. If not recorded by that date, the applicant will be required to submit a new application for review and approval by the Planning Commission.

Per SFCC 14-3.19(B)(3) *Expiration of Development Approvals*, approval of a final subdivision plat shall expire three (3) years after the final action approving it unless the plat is filed for record with the County Clerk. The final action for this approval was May 6, 2021.

Per SFCC 14-3.19(C) *Time Extensions*, applications for time extensions shall be filed prior to the expiration of the final action for which the extension is requested. The Applicant submitted the first request for a time extension on March 15, 2024, well in advance of the May 6, 2024 expiration. The Applicant submitted the second request for a time extension on March 20, 2025, well in advance of the May 6, 2025, expiration date.

ATTACHMENTS:

Attachment A – Findings of Fact Conditions of Law - May 6, 2021
Attachment B – Planning Commission Minutes May 2, 2024
Attachment C – Applicant Time Extension Request Letter – March 20, 2025
Attachment D - Final Subdivision drawings

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-3355

4323 and 4319 Airport Road Casa de Todos Final Subdivision Plat

Owner's/Applicant's Name- Casa de Todos, LLC

Agent's Name- Liaison Planning Services, Inc.

THIS MATTER came before the Planning Commission (Commission) for hearing on May 6, 2021 (Hearing) upon the application (Application) of Liaison Planning Services, Inc., as agent for Casas de Todos, LLC (Applicant).

The Application pertains to properties located at 4323 and 4319 Airport Road, totaling approximately 10.3 acres (Property). The Applicant requests final subdivision plat approval for 58 residential lots (Project). The Properties are zoned R-6 (Residential-six dwelling units per acre).

Pursuant to SFCC Section 14-9.2(B)(3), the Applicant is proposing the use of an innovative street design that is not included among the street types shown in SFCC Section 14-9.2.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

Background

1. On March 4, 2021, the Commission voted to approve the preliminary subdivision plat for the Property, subject to certain conditions of approval and technical corrections recommended by City staff (Case #2021-2369).
2. On March 4, 2021 the Commission adopted written Findings of Fact and Conclusions of Law reflecting its decision.

General

3. At the Hearing, the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public.
4. Santa Fe City Code (SFCC) Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC Section 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC Section 14-3.1(F)(2)(a)(v)]; and (c) compliance with notice and public hearing requirements [SFCC Section 14-3.1(H)-(I)].
5. A pre-application conference was held on November 14, 2019 in accordance with SFCC Section 14-3.1(E).
6. The Applicant held the first ENN meeting for the Project on December 12, 2019.

7. Pursuant to SFCC Section 14-3.1(H)(1), notice of the first ENN meeting was properly given.
8. The first ENN meeting was attended by several representatives of the Applicant and members of City staff. Twenty-five members of the public attended. Residents expressed concerns about traffic, drainage concerns, current use of the property by vagrants, and general concern over development on the south side of the City.
9. The Applicant held a second virtual ENN meeting via Zoom for the Project and the related Aguafina project on June 1, 2020.
10. Pursuant to SFCC Section 14-3.1(H)(1), notice of the second ENN meeting was properly given.
11. The second ENN meeting was attended by several representatives of the Applicant and members of City staff. Twenty-two members of the public attended. Residents expressed concerns, including traffic impacts to neighborhoods surrounding the property, but were generally happy that the proposal would include stick-built homes. The Applicant and residents agreed to continue negotiating over a wall or fencing between the new development and existing homes, as there could be property line issues to be resolved.
12. City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
13. Staff recommended that the Commission should approve the final subdivision plat, subject to certain conditions (the Conditions) and technical corrections set out in the Staff Report and exhibits.

Final Subdivision Plat

14. SFCC Section 14-3.7(B) establishes certain procedures for final subdivision plat approval including, without limitation, a public hearing by the Commission, review of the preliminary plat, and a decision based on the criteria set out in SFCC Section 14-3.7(C).
15. After a preliminary subdivision plat has been approved, SFCC Section 14-3.7(B)(4)(b) requires the Applicant to submit a final plat prepared by a professional land surveyor, together with improvement plans and other specified supplementary material and in conformance with the standards of SFCC Section 14-9 (Submittal Requirements).
16. Pursuant to SFCC Section 14-3.7(B)(4)(a), the Commission finds that the final plat conforms substantially to the preliminary plat as approved.
17. SFCC Section 14-3.7(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before approving a final subdivision plat.
18. Pursuant to SFCC Section 14-3.7(C)(1), the Commission finds that due regard has been shown for all natural features, as there is minimal vegetation on the site, and there are no significant natural features or water courses. There is minimal vegetation on the site, and there are no historical sites.
19. Pursuant to SFCC Section 14-3.7(C)(2), the Commission finds that the land is suitable for platting and development purposes of the kind proposed, as there are no water courses or FEMA designated flood plains on or near this property.

20. Pursuant to SFCC Section 14-3.7(C)(3), the Commission finds that the plat complies with the infrastructure design, improvement, and dedication standards set forth in SFCC Section 14-9, except with regard to the proposed street design.
21. Pursuant to SFCC Section 14-3.7(C)(4)-(5), the Commission finds that no existing nonconformities are increased, nor are any nonconformities created by the approval of this subdivision. The Applicant is not requesting any variances with this proposal.
22. Pursuant to SFCC Section 14-9.2(B)(3), the Commission finds that the proposed innovative street design should be approved because it meets the intent of SFCC Section 14-9.2 and provides adequate pedestrian and bicycle facilities, as well as necessary transit facilities.
23. At the March 4, 2021 hearing on the preliminary subdivision plat, the Applicant volunteered to construct a Japanese cedar fence along the eastern border of the Project, in response to neighbors' requests for a wall or barrier between the existing Las Accuias neighborhood and the new subdivision.
24. Construction of a cedar fence will be significantly cheaper than construction of a cinder block wall, resulting in less costs for the developer, which will be passed on to the purchasers of homes within the Project.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. Pursuant to SFCC Section 14-3.1, all procedures regarding the pre-application conference, ENN meeting, notice, and public hearing requirements have been followed.

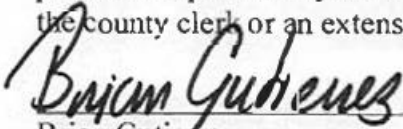
Final Subdivision

2. The Commission has the authority to review and approve the final subdivision plat subject to conditions.
3. The Applicant met the applicable Submittal Requirements.
4. The final subdivision plat should be approved, subject to the Conditions and technical corrections set forth in the Staff Report and exhibits because all applicable code requirements and criteria for final subdivision plat approval have been met.
5. Although the Japanese cedar fence along the eastern border of the Project is not required by law, construction of the fence should be added as an additional condition of approval because the Applicant has agreed to construct a fence in response to requests from neighboring residents.

WHEREFORE, IT IS ORDERED ON THE 6th DAY OF MAY 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the final subdivision plat for the Project, including the proposed innovative street design, subject to the Conditions and the technical corrections set forth in the Staff Report and exhibits and the additional condition to construct a cedar fence along the eastern border of the Project. The final subdivision

plat shall expire three years after issuance of this final action unless the plat is filed for record with the county clerk or an extension is granted pursuant to SFCC Section 14-3.19(C).



Brian Gutierrez
Chair

05-13-2021
Date

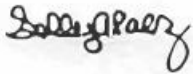
FILED:



Kristine Bustos-Mihelcic XIV
City Clerk

05/14/21
Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

May 6, 2021
Date

SUMMARY INDEX
PLANNING COMMISSION MINUTES
May 2, 2024

ITEM	ACTION TAKEN	PAGE(S)
1. Roll Call	Quorum Present	2
2. Pledge of Allegiance	Recited	2
3. Approval of Agenda	Approved	3
4. Approval of Consent Agenda	Approved	3
5. Approval of Minutes April 4, 2024	Approved	3
6. Findings & Conclusions	Approved	3
7. Consent	Approved	4
8. Old Business	None	4
9. New Business	Postponed	4-5
10. Staff Communications	Comments	5
11. Matters from the Commission	None	5
12. Adjournment	Adjourned at 6:12 pm	5

**MINUTES OF THE CITY OF SANTA FE
PLANNING COMMISSION MEETING
Thursday, May 2, 2024 - 6:00 pm**

CALL TO ORDER

A regular meeting of the City of Santa Fe Planning Commission was called to order by Jessica Lawrence, Vice Chair on the above date at approximately 6:00 p.m. in the Council Chambers at City Hall, 200 Lincoln Avenue, Santa Fe, NM and Via Zoom.

1. ROLL CALL

Roll Call indicated the presence of a quorum for the meeting.

Members Present

Vice Chair Jessica Lawrence
Commissioner Phil Lucero
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando
Commissioner TJ Rieland

Members Absent

Chair Janet Clow
Secretary Peter Smith
Commissioner Kristina Markey
One Vacancy

Others Present:

Mr. Jason Kluck, Land Use Director
Ms. Maggie Moore, Assistant Land Use Director
Ms. Rebecca Mnuk-Herrmann, Assistant City Attorney

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Land Use Department.

Vice Chair Lawrence announced that a notary is not present at the meeting, therefore, the Commission will not be able to proceed with any of the new business.

2. PLEDGE OF ALLEGIANCE

Commissioner Mirando led the Pledge of Allegiance.

3. APPROVAL OF AGENDA

Attorney Mnuk-Herrmann announced that the public hearings will need to be postponed because there is not a notary present to swear in witnesses. A motion to postpone the public hearings would be appropriate.

MOTION: Commissioner Lucero moved, seconded by Commissioner Mirando to approve the agenda as presented.

VOTE: The motion passed by roll call vote (5-0) with Commissioners Lawrence, McGhee, Rieland, Lucero and Mirando voting in favor and none voting against.

4. APPROVAL OF CONSENT AGENDA

MOTION: Commissioner Mirando moved, seconded by Commissioner Lucero to approve the consent agenda as presented.

VOTE: The motion passed by roll call vote (5-0) with Commissioners McGhee, Rieland, Lucero, Mirando and Lawrence voting in favor and none voting against.

5. APPROVAL OF MINUTES

April 4, 2024

MOTION: Commissioner Mirando moved, seconded by Commissioner Lucero to approve the minutes of April 4, 2024.

VOTE: The motion passed by roll call vote (5-0) with Commissioners McGhee, Rieland, Lucero, Mirando and Lawrence voting in favor and none voting against.

6. APPROVAL OF FINDINGS/CONCLUSIONS

a. Case #2024-7771. 160 Lorenzo Road Certificate of Compliance.

MOTION: Commissioner Mirando moved, seconded by Commissioner Lucero to approve the Findings of Fact and Conclusions of Law for Case #2024-7771.

VOTE: The motion passed by roll call vote (5-0) with Commissioners Lawrence, McGhee, Rieland, Lucero and Mirando voting in favor and none voting against.

7. CONSENT

- a. **Case #2024-8026.** Casas De Todos Final Subdivision Time Extension.

Approved under Approval of Consent Agenda

8. OLD BUSINESS

None

9. NEW BUSINESS

MOTION: Commissioner Mirando moved, seconded by Commissioner Lucero to postpone the cases under New Business to the May 16, 2024, meeting.

VOTE: The motion passed by roll call vote (5-0) with Commissioners Rieland, Lucero, Mirando, Lawrence and McGhee voting in favor and none voting against.

- a. **Case #2024-7951.** **2768 Agua Fria Street Certificate of Compliance.** JenkinsGavin Inc., Agent, for Cold Water Development QOZF, LLC, owner and applicant (“Applicant”) requests approval of a Certificate of Compliance for a lot that is non-compliant with City Subdivision Review requirements. The property address is 2768 Agua Fria Street and is zoned Mixed-Use (maximum fourteen dwelling units per acre). It consists of an undeveloped 4.12-acre lot. (Carly Venditti, Case Manager).

- b. **Case #2023-7079.** **Bungalows on Cerrillos Development Plan.** Orion-West LLC., Agent for Advanced Acquisitions LLC, Applicant, requests Development Plan approval to construct approx. 186,600 square feet of new construction for a 141-unit multi-family one- and two-story housing development. The subject property is approx. 19.26-acres and located at 27794 W I-25 Frontage Road, zoned C-2 (General Commercial). (Dan Esquibel, Case Manager) **(POSTPONED FROM MARCH 7, 2024 AND APRIL 4, 2024)**

- c. **Case #2023-7662.** **Bungalows on Cerrillos variance (Setback).** Orion-West LLC., Agent for Advanced Acquisitions LLC, Applicant, requests a variance from SFCC 14-5.5 (B)(4)(iii) CRHC Cerrillos Road Highway Protection District of building setbacks in zone 4 from 45 feet to no more than 34 feet. The subject property is approx. 19.26-acres and located at 27794 W I-25 Frontage Road, zoned C-2 (General Commercial). (Dan

Esquibel, Case Manager) **(POSTPONED FROM MARCH 7, 2024 AND APRIL 4, 2024)**

- d. **Case #2023-7663. Bungalows on Cerrillos variance (Slopes).** Orion-West LLC., Agent for Advanced Acquisitions LLC, Applicant, requests A variance from SFCC 14-8.2(D)(2)(b) Terrain Management standards prohibiting disturbances of natural slopes of thirty percent (30%) for an approximate area of 4,800 square feet. The subject property is approx. 19.26-acres and located at 27794 W I-25 Frontage Road, zoned C-2 (General Commercial). (Dan Esquibel, Case Manager) **(POSTPONED FROM MARCH 7, 2024 AND APRIL 4, 2024)**

10. STAFF COMMUNICATIONS

Ms. Moore announced that Melissa Byers, Stenographer, has retired.

Ms. Moore addressed the issue with PrimeGov that had occurred earlier in the week. She said that had been reported the issue to the PrimeGov contact and it's being addressed.

Ms. Moore said that the Governing Body has appointed Kristina Markey to the Planning Commission to fill one of the vacant seats.

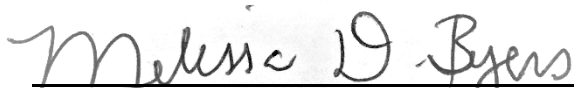
11. MATTERS FROM THE COMMISSION

None

13. ADJOURNMENT

There being no further business, Vice Chair Lawrence adjourned the meeting at 6:12 pm.

Submitted by:



Melissa D. Byers, Stenographer for
Byers Organizational Support Services

Approved by:

Janet Clow, Chair

LIAISON Planning Services Inc.

P.O. Box 1835 Santa Fe, NM 87504 (505) 920-6839 liaisonplanning@gmail.com

March 20, 2025

Heather Lamboy, Director Land Use Department
City of Santa Fe
P.O. Box 909
Santa Fe, NM 87504-0909

Re: Casa De Todos Final Plat Extension Case # 2021-3355
4323 and 4319 Airport Road Santa Fe, NM

Dear Heather,

Please consider this letter as a formal request to extend the approved Final Plat for Casa de Todos Subdivision for **one additional year** in accordance with SFCC §14 3.19(C). Casa de Todos Subdivision was approved by the Planning Commission May 6, 2021 per attached Findings of Fact (see attached). Attached are the Planning Commission minutes that reflect the approval for the previous extension by the Commission on May 5, 2024. No substantive changes have occurred to the regulations and policies that apply to the development nor to the circumstances affecting the site and its vicinity. There are no plans to make any changes to the approved subdivision (see attached plan set).

The property owners are requesting this extension due to several financial issues that have occurred due to an increase in development costs and are in the process of completing the affordable housing contract, all DRT signatures have been obtained, engineers estimate is in process of being approved and the survey plat is being updated to reflect new surveyor.

Your consideration for approval is appreciated. Please contact me if you have any questions or require additional information.

Sincerely,

Dolores I. Vigil

Liaison Planning Services Inc.

Attachments: Planning Commission Meeting Minutes May 5, 2024
Findings of Fact
Approved Subdivision Plan Set



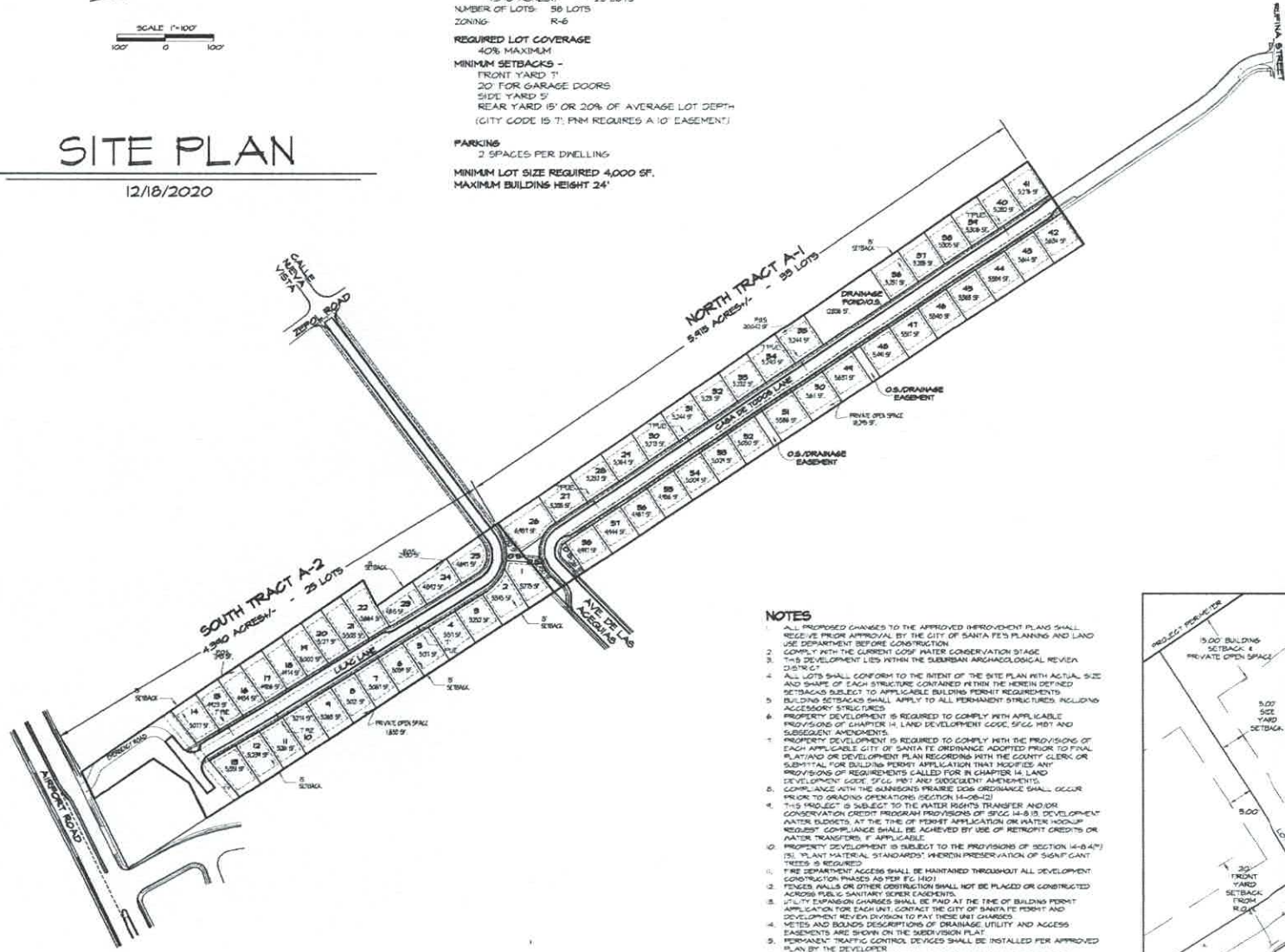
SITE PLAN

12/18/2020

PROJECT DATA

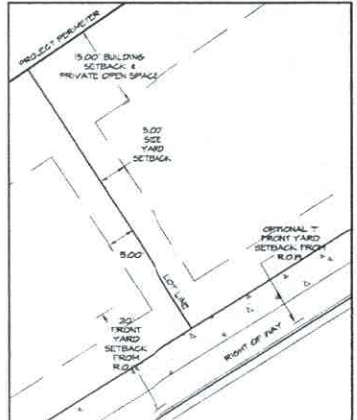
PROJECT SIZE: 10.21 +/-
 ADDRESS AND SIZE OF TRACTS:
 4323 AIRPORT RD.
 NORTH TRACT A-1
 5.915 ACRES +/- - 33 LOTS
 SOUTH TRACT A-2
 4.290 ACRES +/- - 29 LOTS
 NUMBER OF LOTS: 62 LOTS
 ZONING: R-6
 REQUIRED LOT COVERAGE
 40% MAXIMUM
 MINIMUM SETBACKS -
 FRONT YARD 7'
 20' FOR GARAGE DOORS
 SIDE YARD 5'
 REAR YARD 5' OR 20% OF AVERAGE LOT DEPTH
 (CITY CODE IS 7'; PMR REQUIRES A 10' EASEMENT)

PARKING
 2 SPACES PER DWELLING
 MINIMUM LOT SIZE REQUIRED 4,000 SF.
 MAXIMUM BUILDING HEIGHT 24'



NOTES

1. ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL REQUIRE PRIOR APPROVAL BY THE CITY OF SANTA FE'S PLANNING AND LAND USE DEPARTMENT BEFORE CONSTRUCTION.
2. COMPLY WITH THE CURRENT LOCAL WATER CONSERVATION STAGE.
3. THIS DEVELOPMENT LIES WITHIN THE SUBURBAN ARCHAEOLOGICAL REVIEW DISTRICT.
4. ALL LOTS SHALL CONFORM TO THE INTENT OF THE SITE PLAN WITH ACTUAL SIZE AND SHAPE OF EACH STRUCTURE CONTAINED WITHIN THE HEREIN DEFINED SETBACKS SUBJECT TO APPLICABLE BUILDING PERMIT REQUIREMENTS.
5. BUILDING SETBACKS SHALL APPLY TO ALL PERMANENT STRUCTURES, INCLUDING ACCESSORY STRUCTURES.
6. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC, PRELIM AND SUBSEQUENT AMENDMENTS.
7. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO FINAL PLAT AND OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISIONS OF REQUIREMENTS CALLED FOR IN CHAPTER 14, LAND DEVELOPMENT CODE, SFCC, PRELIM AND SUBSEQUENT AMENDMENTS.
8. COMPLIANCE WITH THE SUBURBAN PRESERVE DOW ORDINANCE SHALL OCCUR PRIOR TO GRADING OPERATIONS (SECTION 14-28-12).
9. THIS PROJECT IS SUBJECT TO THE WATER RIGHTS TRANSFER AND/OR CONSERVATION CREDIT PROGRAM PROVISIONS OF SFCC 14-8-13, DEVELOPMENT WATER EASEMENTS, AT THE TIME OF PERMIT APPLICATION OR WATER HOODUP REQUEST. COMPLIANCE SHALL BE ACHIEVED BY USE OF RETROFIT CREDITS OR WATER TRANSFERS, IF APPLICABLE.
10. PROPERTY DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF SECTION 14-8-4 (1) (3), PLANT MATERIAL STANDARDS; WETLAND PRESERVATION OF SUGAR CANT TREES IS REQUIRED.
11. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER FC 1401.
12. FENCES, WALLS OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR CONSTRUCTED ACROSS PUBLIC SANITARY SEWER EASEMENTS.
13. UTILITY EXPANSION CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH UNIT. CONTACT THE CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION TO PAY THESE UNIT CHARGES.
14. METES AND BOUNDS DESCRIPTIONS OF DRAINAGE, UTILITY AND ACCESS EASEMENTS ARE SHOWN ON THE SUBDIVISION PLAN.
15. PERMANENT TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER APPROVED PLAN BY THE DEVELOPER.
16. ALL LOTS REQUIRE CREDIT PONDING TO ADDRESS ANY NET INCREASES IN INTERVIOUS AREA.



TYPICAL BUILDING SETBACKS
 SCALE: 1"=10'

REVISIONS	
DATE	BY

PLANNING

 ARLINDO BERRIETA, INC.
 1000 W. CENTRAL AVENUE, SUITE 100
 ALBUQUERQUE, NM 87102
 (505) 263-7700
 FAX: (505) 263-7700
 INFO@BERRIETA.COM
 WWW.BERRIETA.COM

ENGINEERING

 W.F. Walker Engineering
 1000 W. CENTRAL AVENUE, SUITE 100
 ALBUQUERQUE, NM 87102
 (505) 263-7700
 FAX: (505) 263-7700
 INFO@WFWALKER.COM
 WWW.WFWALKER.COM

PROJECT NAME
CASA DE TODOS
 4323 AIRPORT ROAD SUBDIVISION
 SANTA FE, NEA MEXICO

SHEET NAME
SITE PLAN

DATE
 12/18/2020

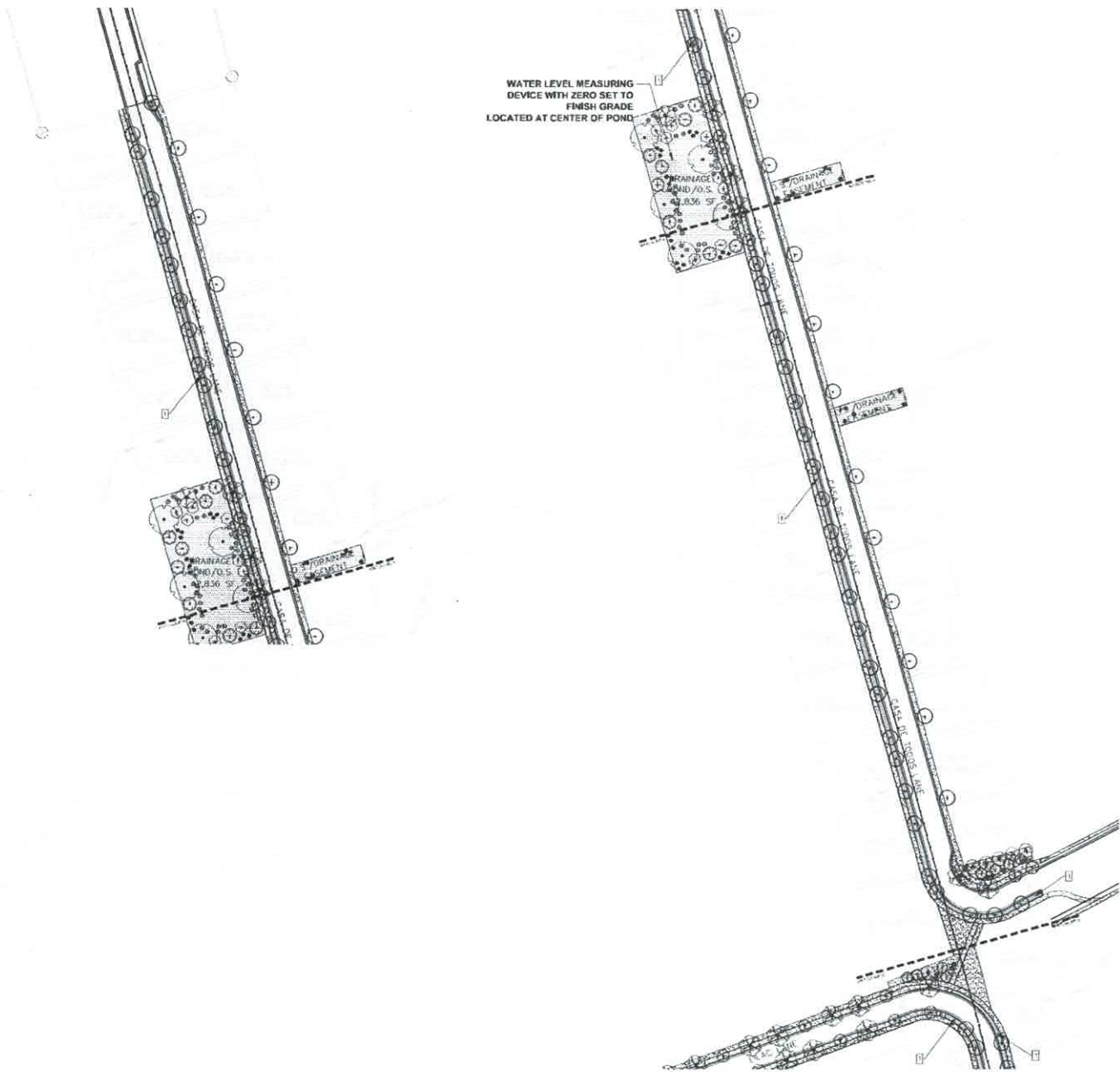
SCALE
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JOB NO.
SP

DATE
 12/18/2020

SCALE
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JOB NO.
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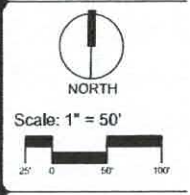



YELLOWSTONE
LANDSCAPES
 www.yellowstonelandscapes.com
 P.O. Box 10597
 Albuquerque, NM 87184
 505.698.9615
 don@yellowstonelandscapes.com



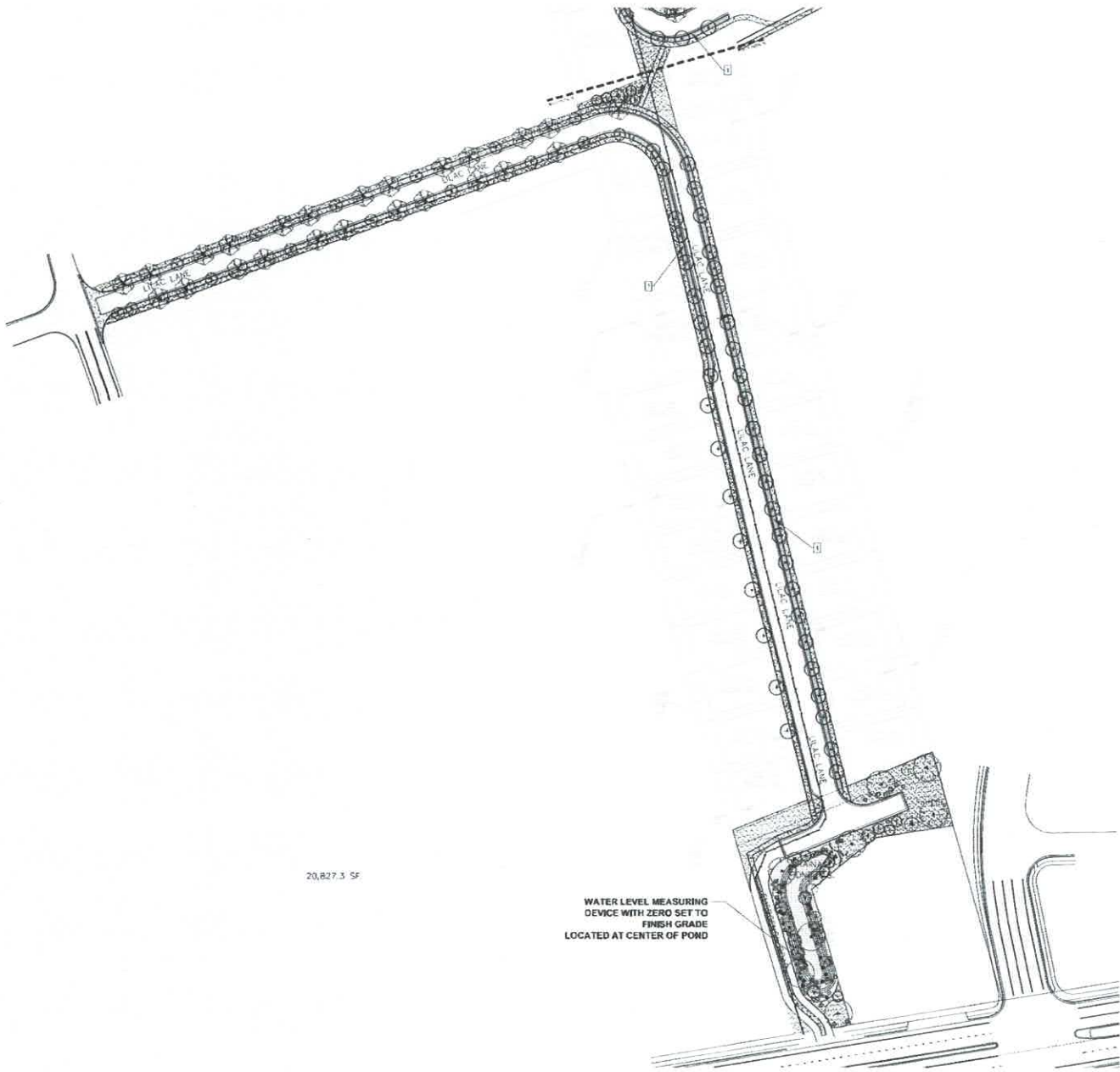
Date: 5/29/2020
 Revisions
 ▲ 12/17/2020
 ▲ 04/05/2021
 ▲ 05/12/2021
 ▲ 07/30/2021
 ▲ 08/22/2021
 Drawn by: HA
 Reviewed by: CM

Casa De Todos Subdivision
Landscape Plan
 Santa Fe, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LP-01



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P.O. Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



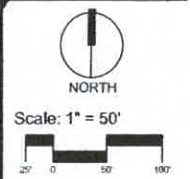
Date: 5/29/2020

Revisions

- ▲ 12/17/2020
- ▲ 04/05/2021
- ▲ 05/12/2021
- ▲ 07/30/2021
- ▲ 09/22/2021

Drawn by: HA
Reviewed by: CM

Casa De Todos Subdivision
Landscape Plan
Santa Fe, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LP-02

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SEE
12	102	ULMUS PARVIFLORA VARI. JAPONICA GENERAL SUNSHINE ELM FRAXINUS CALIFORNICA CLEVELAND SELECT / CLEVELAND SELECT PEAR FRAXINUS AMERICANA COMMON ANTHONY	2" B&B
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SEE
11	18	QUERCUS AMBROSEA / SCOPULORIVA	2" B&B
12	12	FRAXINUS AMERICANA / COMMON ANTHONY	2" B&B
3	5	QUERCUS TRUNCATOCOCOA / IMPERIAL / THE IMPERIAL HONEYLOCUST	2" B&B
8	8	POPULUS TREMULA / WEIBERLE / RED GRANGE COTTONWOOD	2" B&B
26	26	FRAXINUS CALIFORNICA / CLEVELAND SELECT / CLEVELAND SELECT PEAR	2" B&B
30	30	ULMUS PARVIFLORA / GENERAL SUNSHINE / GENERAL SUNSHINE ELM	2" B&B
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SEE
14	14	JUNIPERUS SCOPULORIVA / ROCK MOUNTAIN JUNIPER	6" B&B
15	15	PINUS NUNGA / AUSTRALIAN PINE	5" B&B
SHRUBS	QTY	BOTANICAL / COMMON NAME	SEE
12	12	SALIX FRUTICOSA / COTTON WILLOW	5" GAL
GRASSES	QTY	BOTANICAL / COMMON NAME	SEE
7	7	HOLCOTICHON SENYENSIS / BLUE GRASS	5" GAL
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SEE
10	10	PEROVSKIA ATROPURPUREA / RUSSIAN SAGE	5" GAL
45	45	FRAXINUS TREMULA / TREE LEAF SUMAC	5" GAL
2	2	SALIX GREGGII / MOUNTAIN SAGE CHERRY	5" GAL
4	4	SPRINGER / BLOODROOT / PURPLE BLOODROOT LEAF	5" GAL
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SEE
17	17	ERICACEAE / MAUISSOLA CHAVESA	5" GAL
14	14	SANTALINA CHAMBAE / CHAMBERLAIN LAVENDER COTTON	5" GAL

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
[Pattern]	2" B&B SANTA FE BROWN GRAVEL WITH WELLS BARREN
[Pattern]	2" B&B AGGREGATE WITH WELLS BARREN

LANDSCAPE DATA

REQUIRED OPEN SPACE 25% OF TOTAL LOT AREA (2.58 ACRE / 112,225 SF) 112,225 SF X 25% (passive water harvesting) PROPOSED OPEN SPACE PROPOSED STREETScape	28,056.25 SF 28,445 SF 18,774 18,864
REQUIRED TREES/OPEN SPACE ONE TREE PER 500 SF OF REQUIRED OPEN SPACE MINIMUM 25% EVERGREEN PROPOSED TREES	75 75
REQUIRED SHRUBS/OPEN SPACE TWO SHRUBS PER 500 SF OF REQUIRED OPEN SPACE MINIMUM 25% EVERGREEN PROPOSED SHRUBS	50 50
OPEN SPACE REQUIREMENTS MINIMUM 10' DIMENSION MINIMUM 300 SF	
REQUIRED TREES/PONDING AREA ONE TREE PER 500 SF OF PONDING AREA (20,368 SF/40 SF) PROPOSED TREES	41 41
REQUIRED SHRUBS/PONDING AREA THREE SHRUBS PER 500 SF OF PONDING AREA PROPOSED SHRUBS	123 123
STREET TREE REQUIREMENTS ONE TREE MINIMUM 1 PER 30' L.F. REQUIRED TREES PROPOSED TREES	39 49
TOTAL REQUIRED SHRUBS/GAL TOTAL PROPOSED SHRUBS/GAL (including evergreen and deciduous)	173 173
TOTAL REQUIRED TREES/2' CAL OR 6" HT TOTAL PROPOSED TREES/2' CAL OR 6" HT (including evergreen and deciduous)	115 115

WATER BUDGET

YEAR 1 AND 2
 DRIP IRRIGATION TO TREES AND SHRUBS
 4 MONTHS AT 1 RUN TIME PER MONTH
 4 MONTHS AT 1 RUN TIME PER WEEK
 4 MONTHS AT 4 RUN TIMES PER WEEK
 APPROX. 90 RUN CYCLES PER YEAR
 115 TREES/60 GALLONS PER RUN CYCLE
 173 SHRUBS/46 GALLONS PER RUN CYCLE
 1,035 GALLONS PER RUN CYCLE X 90 RUN TIMES = 93,240 GPY/29 ACRE FT.

YEAR 3 AND BEYOND
 DRIP IRRIGATION TO TREES AND SHRUBS
 4 MONTHS AT 1 RUN TIME PER MONTH
 4 MONTHS AT 1 RUN TIME PER WEEK
 4 MONTHS AT 3 RUN TIMES PER WEEK
 APPROX. 77 RUN CYCLES PER YEAR
 115 TREES/60 GALLONS PER RUN CYCLE
 173 SHRUBS/46 GALLONS PER RUN CYCLE
 1,035 GALLONS PER RUN CYCLE X 77 RUN TIMES = 79,722 GPY/24 ACRE FT.

LANDSCAPE NOTES

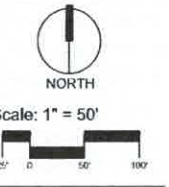
PLANTING BEDS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
 PLANTINGS TO BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM
 BACKFLOW PREVENTER IS PROPOSED/SEE DETAIL
 EXISTING NATIVE LANDSCAPE AREAS NOT DISTURBED TO BE PROTECTED WITH TEMPORARY FENCING DURING CONSTRUCTION
 PLANTS LOCATED IN BOTTOM THIRD OF POND AREA ARE ADAPTABLE TO PERIODS OF SUBVERSION.
 NO OBJECTS, WALLS, FENCES, PARKED VEHICLES AND/OR VEGETATION SHALL BE PLACED WITHIN SIGHT TRIANGLES BETWEEN A HEIGHT OF 3' AND 6'.
 STREET TREES PROVIDED AT 1 PER 35' LF OF STREET FRONTAGE
 STREET TREES TO BE LOCATED/ADJUSTED TO BE A MINIMUM OF 15' FROM STREET LIGHT STANDARDS AND FIRE HYDRANTS PER ZONING SECTION 14-8.4 (G) (3) (e) (f)
 STREET TREES WILL BE INSTALLED SO AS TO NOT BLOCK SIGNAGE ON STREETS.
 THIS PLAN IS TO COMPLY WITH CITY OF SANTA FE ORDINANCE 14-8.4 LANDSCAPE AND SITE DESIGN.
 THIS LANDSCAPE PLAN WILL INCORPORATE ANY PASSIVE WATER HARVESTING TECHNIQUES FOR LANDSCAPE IRRIGATION PURPOSES AS PROPOSED BY THE GRADING & DRAINAGE PLAN. WHENEVER POSSIBLE, DETENTION & RETENTION PONDS WILL BE TREATED AS AN INTEGRATED LANDSCAPE FEATURE RATHER THAN A SINGLE PURPOSE FLOOD CONTROL POND.
 KEYED NOTES:
 1. LANDSCAPING IN FRONT OF EACH LOT TO BE INSTALLED WHEN THE HOME FRONT YARD IS INSTALLED.
 STREET TREE IRRIGATION WILL BE PROVIDED AT EACH LOT.

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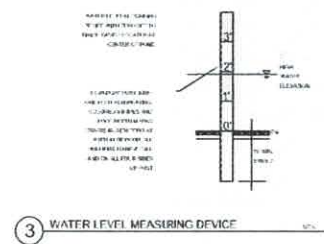
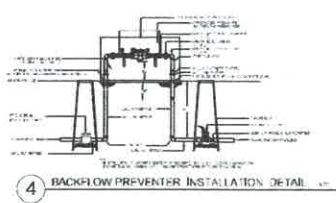
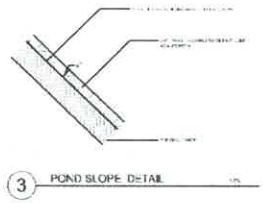
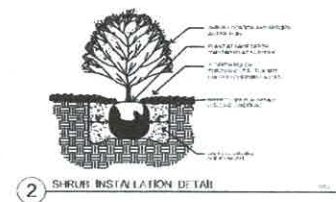
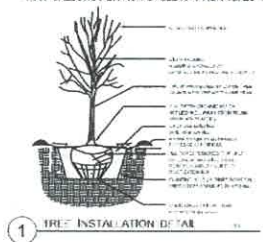


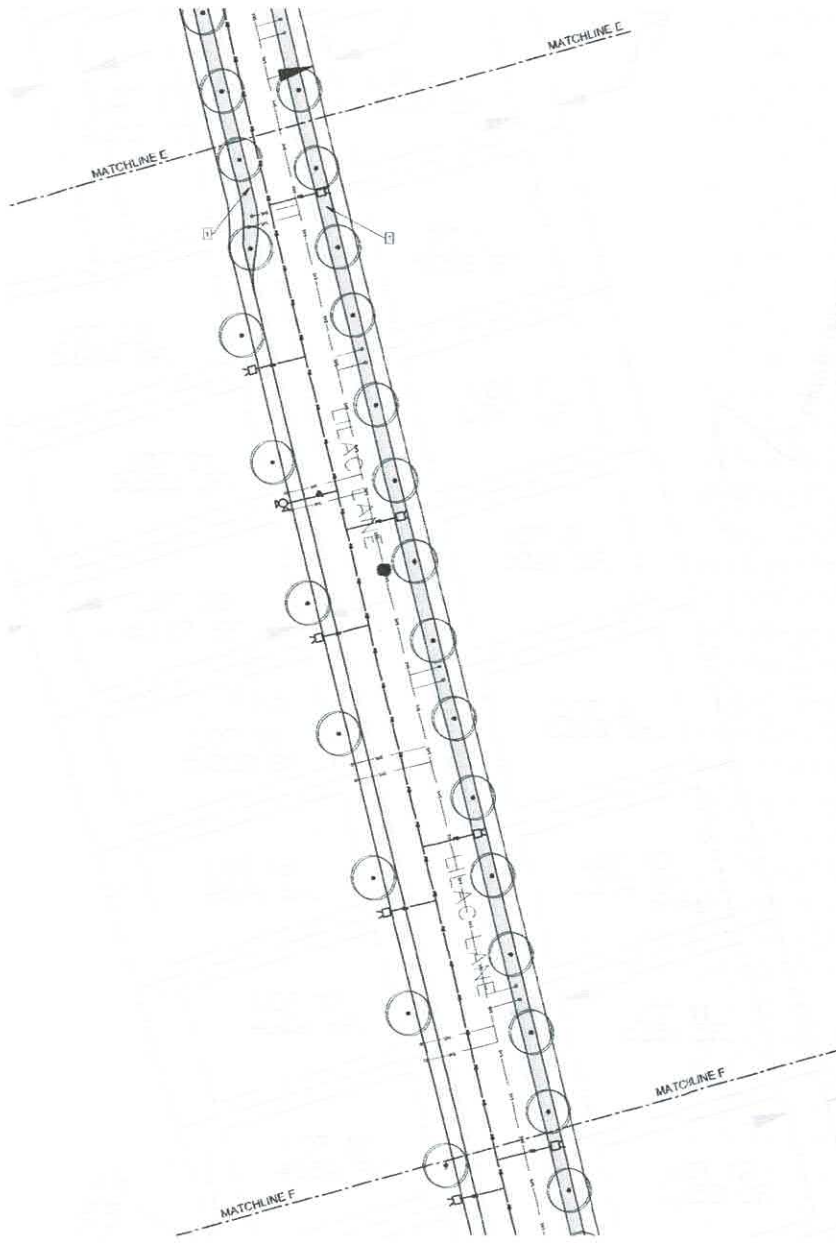
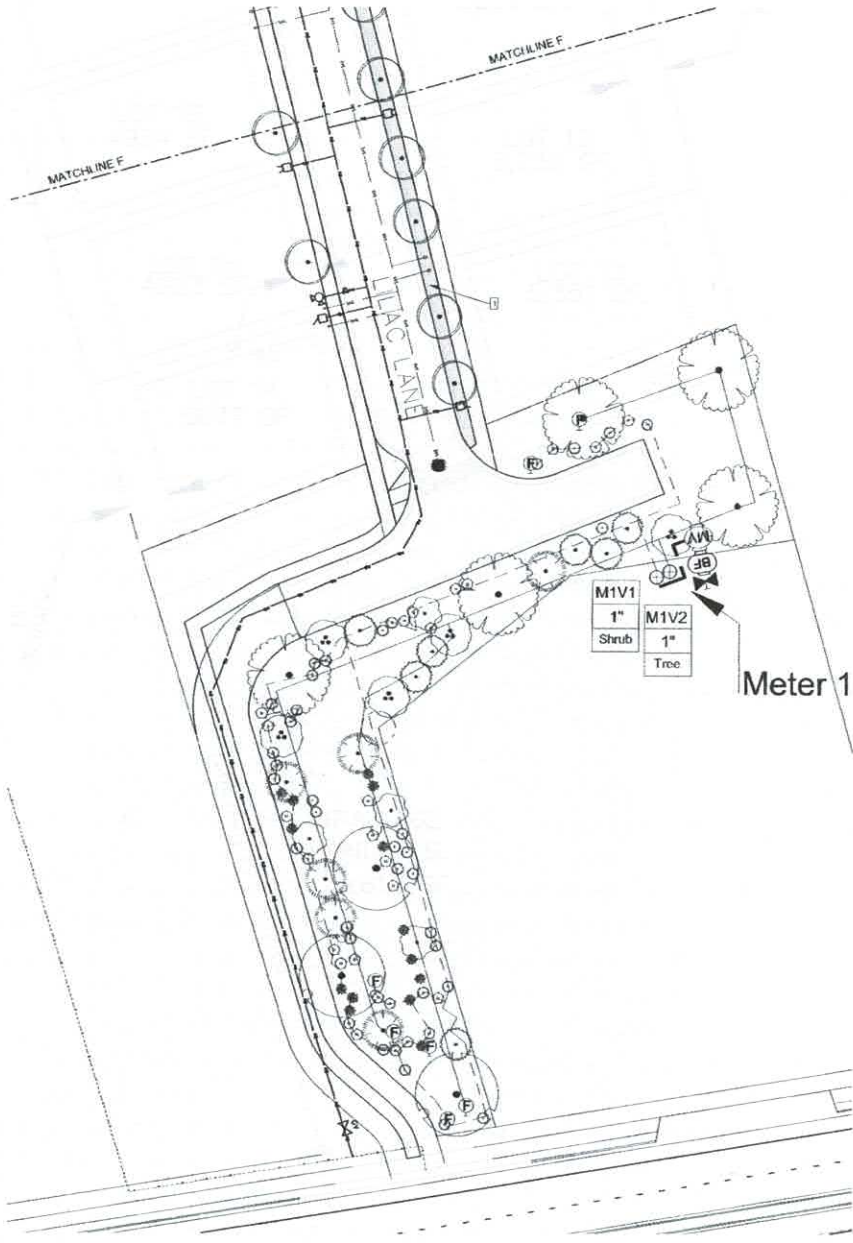
Date: 5/29/2020
 Revisions:
 ▲ 12/17/2020
 ▲ 04/05/2021
 ▲ 05/12/2021
 ▲ 07/30/2021
 ▲ 09/22/2021
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 Reviewed by: CM

Casa De Todos Subdivision Landscape Plan
 Santa Fe, New Mexico



Sheet Title:
Landscape Plan
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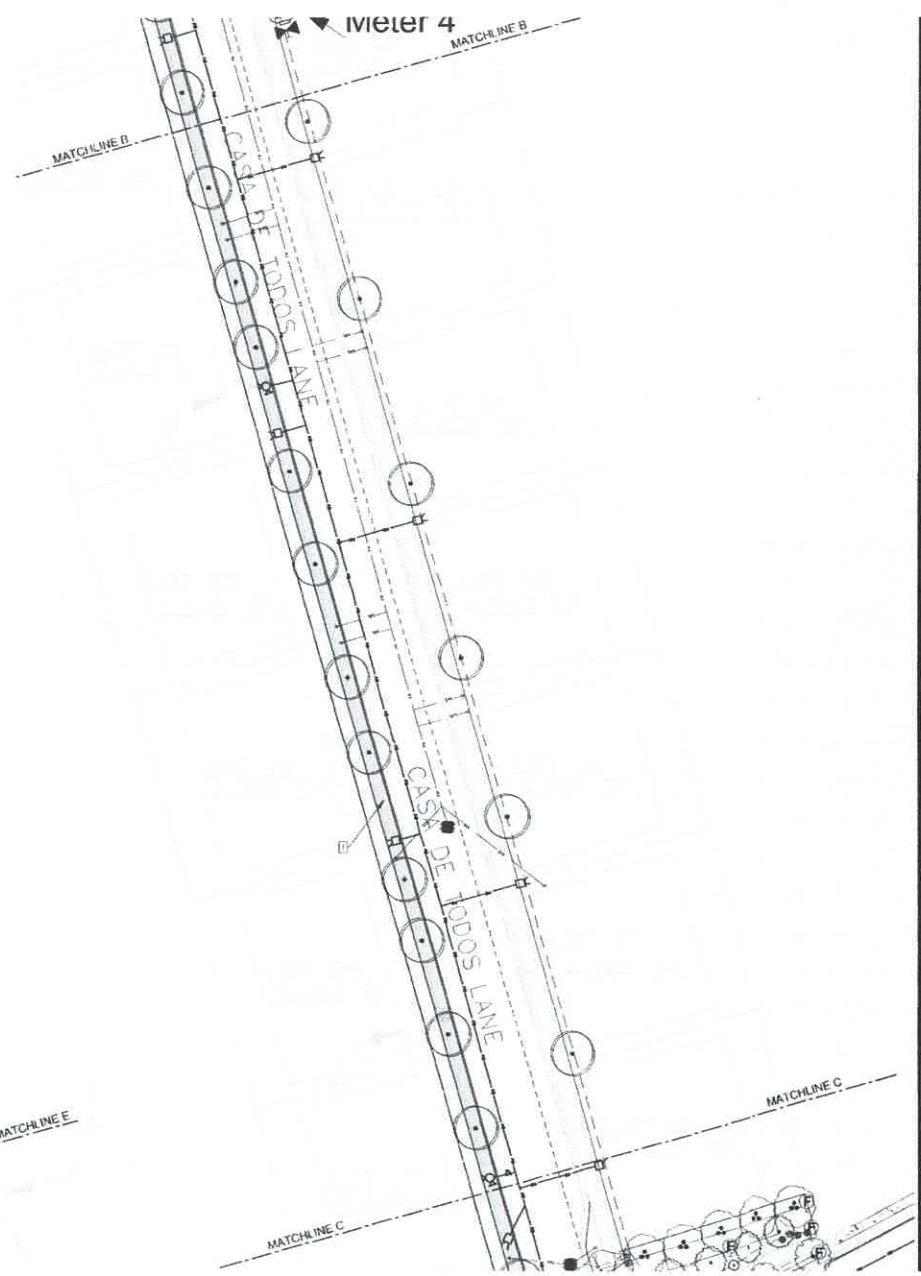
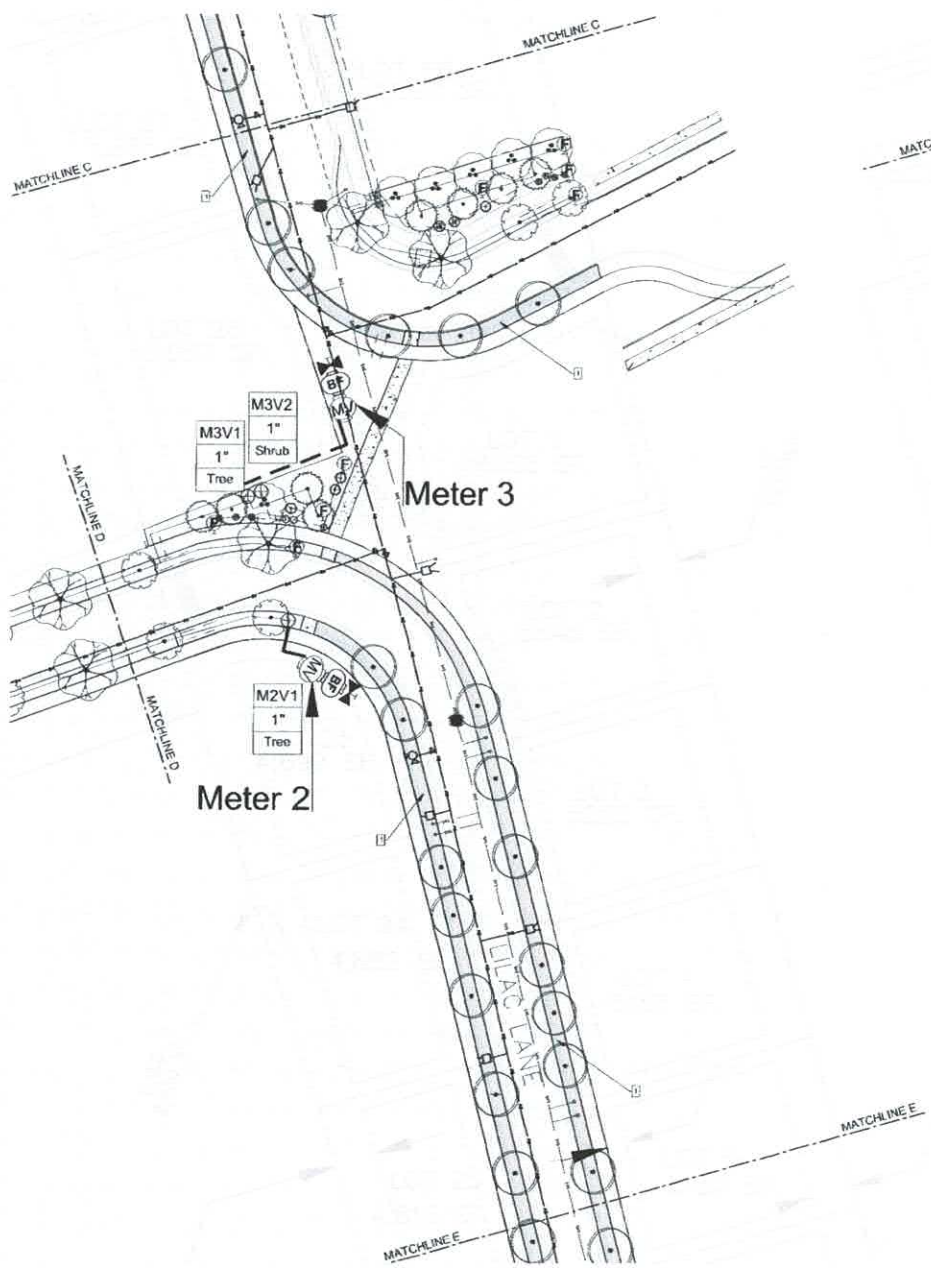
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Scale: 1" = 20'


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Sheet Number:
LI-01

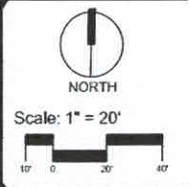



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Sheet Title:
Irrigation Plan
 Sheet Number:
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 ▲ 05/12/2021
 ▲ 07/30/2021
 ▲ 09/22/2021

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 Reviewed by: CM

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Scale: 1" = 20'



Sheet Title:
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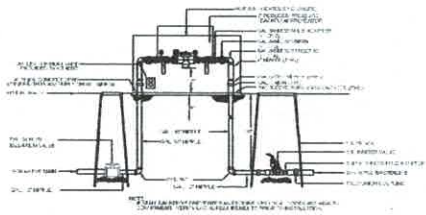
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NORTH
 Scale: 1" = 20'


Sheet Title:
Irrigation Plan

Sheet Number:
LI-04



1 RP BACKFLOW MASTER VALVE DETAIL N.T.S.

IRRIGATION NOTES:

1. IRRIGATION SYSTEMS MUST MEET OR EXCEED THE CITY OF SANTA FE WATER HARVESTING AND IRRIGATION STANDARDS AND THE CITY OF SANTA FE LANDSCAPE BIODIVERSITY DESIGN STANDARDS SHALL BE STRICTLY ADHERED TO.
2. ALL NEW PLANTINGS TO BE WATERED BY AUTO IRRIGATION SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
3. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEMS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
4. THE IRRIGATION SYSTEM SHALL BE CONSIDERED TO CITY WATER, THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER BACKFLOW PREVENTOR AND BACKFLOW VALVE.
5. USE 1/2" PVC 1/2" CPVC EMITTERS PER EACH TREE AND 1/4" CPVC 1/2" EMITTERS PER EACH SHRUBS/GROUND COVER. USE 3/8" CPVC 1/2" EMITTERS FOR TREE IN POTS.
6. IRRIGATION ZONES SHALL BE DESIGNATED FOR TREES AND SHRUBS/GROUND COVER. ALL IRRIGATION SLEEVES TWO FEET LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
7. THE BACKFLOW PREVENTOR LOCATION IS ASSIGNED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLANS GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER SERVICE AND ELECTRICAL FOR THE METER BOX.
8. IRRIGATION COMPONENTS SHOWN ON ALL LARGER SCALE FOR CLARITY. THE SPECIFICATIONS FOR THE PLANTS SCHEMATIC THIS MAY REQUIRE BUILDING CONTRACTOR TO VERIFY ALL PLANTING ARE WITHIN THE ROOT ZONE OF PLANTS OR IN CONTACT WITH UTILITY EASMENTS.
9. ALL SLEEVES ARE ASSIGNED TO BE PLACED PRIOR TO HARDSCAPE WITHOUT THE NEED OF BORING.
10. EACH IRRIGATION SLEEVE SHALL BE CLEANED OF ALL ROCK AND DEBRIS.
11. MAINLINE TO BE INSTALLED IN THE ROAD FOR CLARITY ONLY.
12. ALL LANDSCAPE & IRRIGATION AT EACH LOT TO BE INSTALLED AS EACH LOT IS CONSTRUCTED.

KEYED NOTES:

1. LANDSCAPING IN FRONT OF EACH LOT TO BE INSTALLED WHEN THE HOME FRONT YARDS IS INSTALLED.
2. SHEET TREE IRRIGATION WILL BE PROVIDED AT EACH LOT.

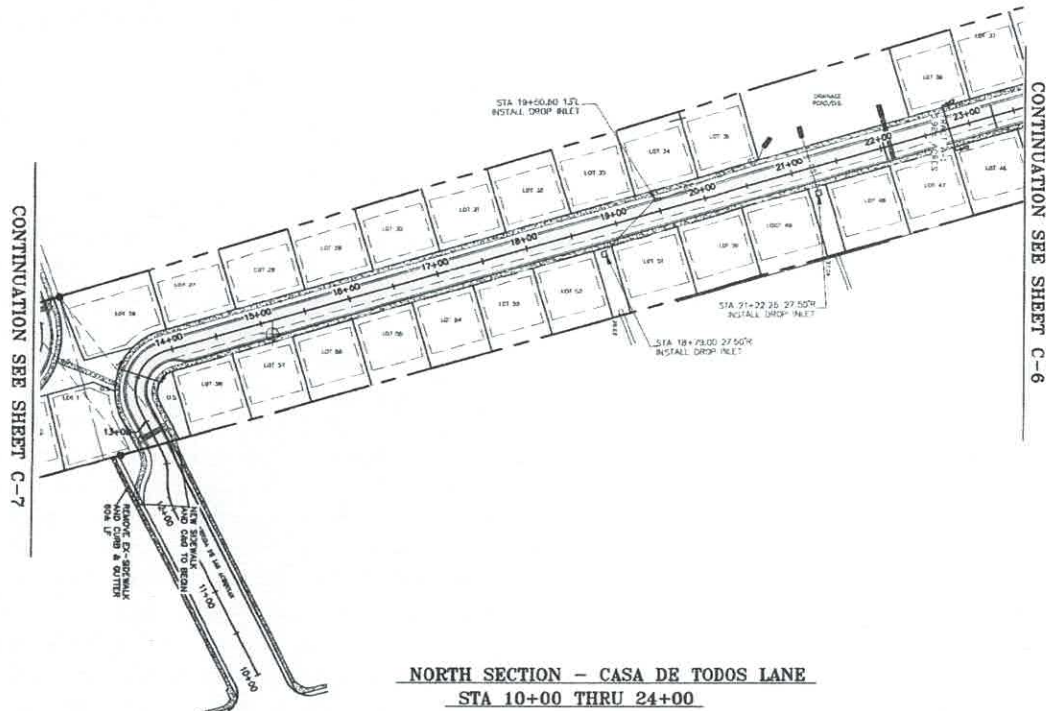
WATER BUDGET

- 1 YEAR 7 DAYS
- 1.000 GALLONS PER TREE PER MONTH
 - 4.000 GALS AT 1" PER HOUR PER MONTH
 - 8.000 GALS AT 1" PER HOUR PER YEAR
 - 16.000 GALS AT 1" PER HOUR PER YEAR
 - 32.000 GALS AT 1" PER HOUR PER YEAR
 - 64.000 GALS AT 1" PER HOUR PER YEAR
 - 128.000 GALS AT 1" PER HOUR PER YEAR
 - 256.000 GALS AT 1" PER HOUR PER YEAR
 - 512.000 GALS AT 1" PER HOUR PER YEAR
 - 1024.000 GALS AT 1" PER HOUR PER YEAR

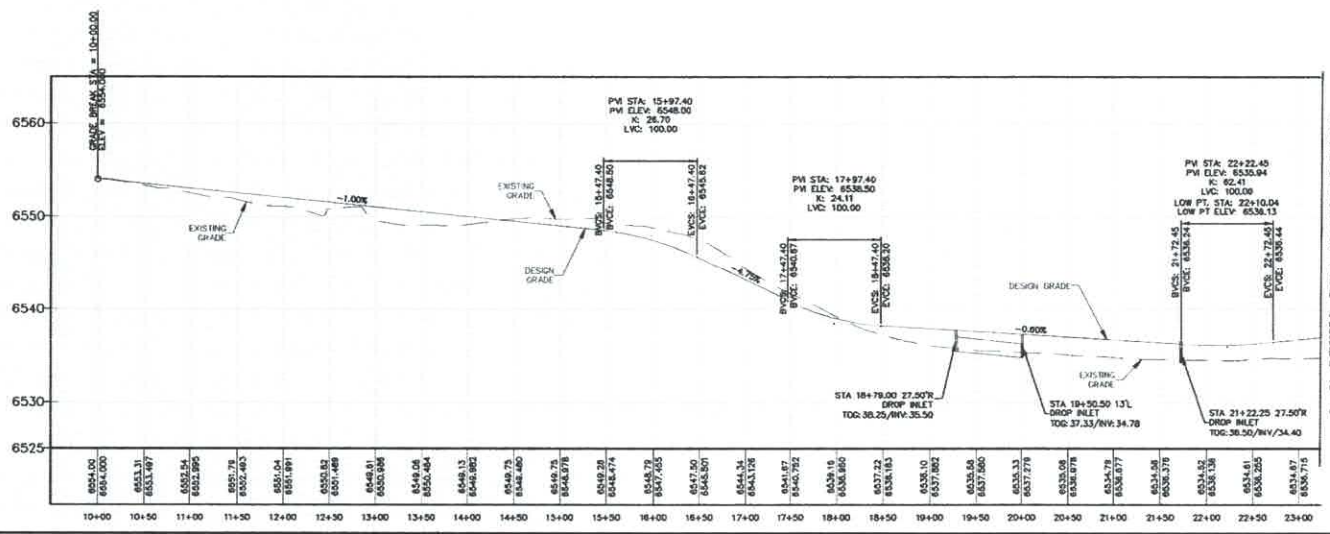
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IRRIGATION LEGEND

Symbol	Description	Material	Size
	Control Valve	1/2" PVC	1/2"
	Emitter	1/2" PVC	1/2"
	Manifold	1/2" PVC	1/2"
	Service Valve	1/2" PVC	1/2"
	Valve	1/2" PVC	1/2"
	Water Stop	1/2" PVC	1/2"
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	Water Stop	1/2" PVC	1/2"
	Water Stop	1/2" PVC	1/2"
	Water Stop	1/2" PVC	1/2"
	Water Stop	1/2" PVC	1/2"
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	Water Stop	1/2" PVC	1/2"
	Water Stop	1/2" PVC	1/2"
	Water Stop	1/2" PVC	1/2"
	Water Stop		



NORTH SECTION - CASA DE TODOS LANE
STA 10+00 THRU 24+00



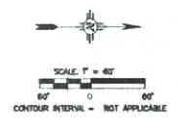
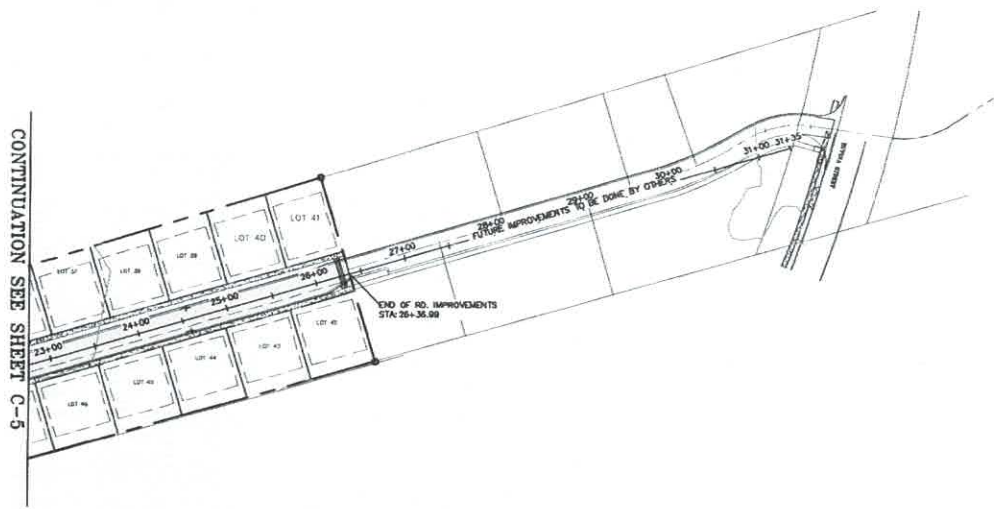
CONTINUATION SEE SHEET C-6

CONTINUATION SEE SHEET C-7

CONTINUATION SEE SHEET C-6

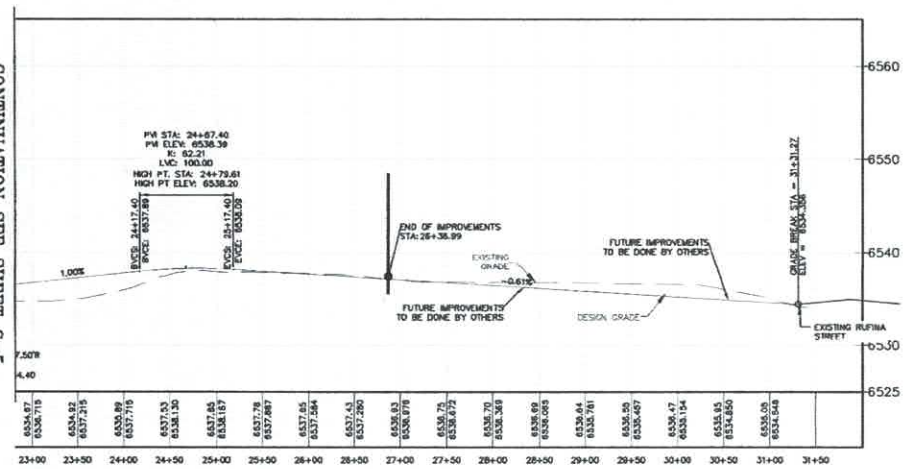
<p>Civil Engineering & Water Resources & Traffic Engineering W·E Walker Engineering 905 Comber Sierra Vista, & State Pk, TX 77069 505-460-7900 FAX 505-460-9099 E-MAIL: enr@walkeng.com</p>	
<p>PROJECT: CASA DE TODOS SUBDIVISION SHEET TITLE: CASA DE TODOS PLAN AND PROFILE</p>	<p>DATE: _____ DRAWN BY: _____ CHECKED BY: _____ IN CHARGE: _____</p>
<p>DATE: _____ REVISION: _____</p>	<p>DATE: _____ REVISION: _____</p>
<p>DEPARTMENT: _____ DRAWN BY: _____ CHECKED BY: _____ IN CHARGE: _____</p>	<p>DATE: _____ REVISION: _____</p>
<p>C-5</p>	

CONTINUATION SEE SHEET C-5

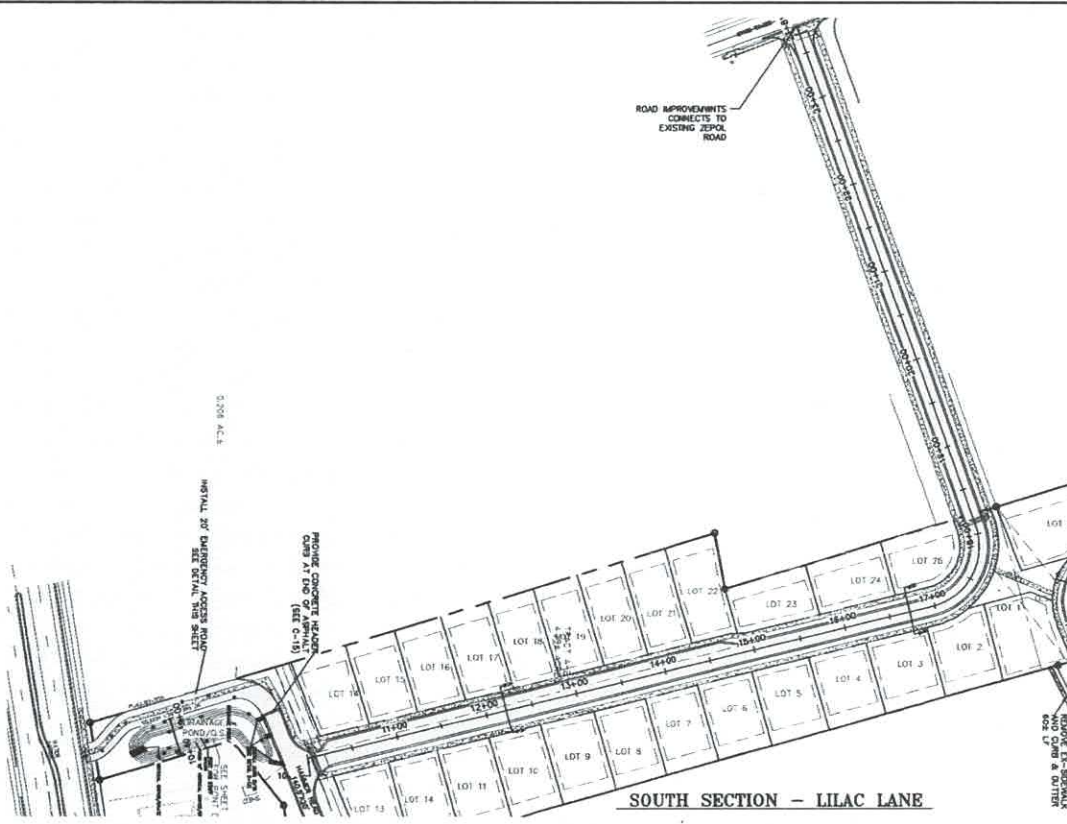


NORTH SECTION - CASA DE TODOS LANE
 STA 23+00 THRU 31+50

CONTINUATION SEE SHEET C-5



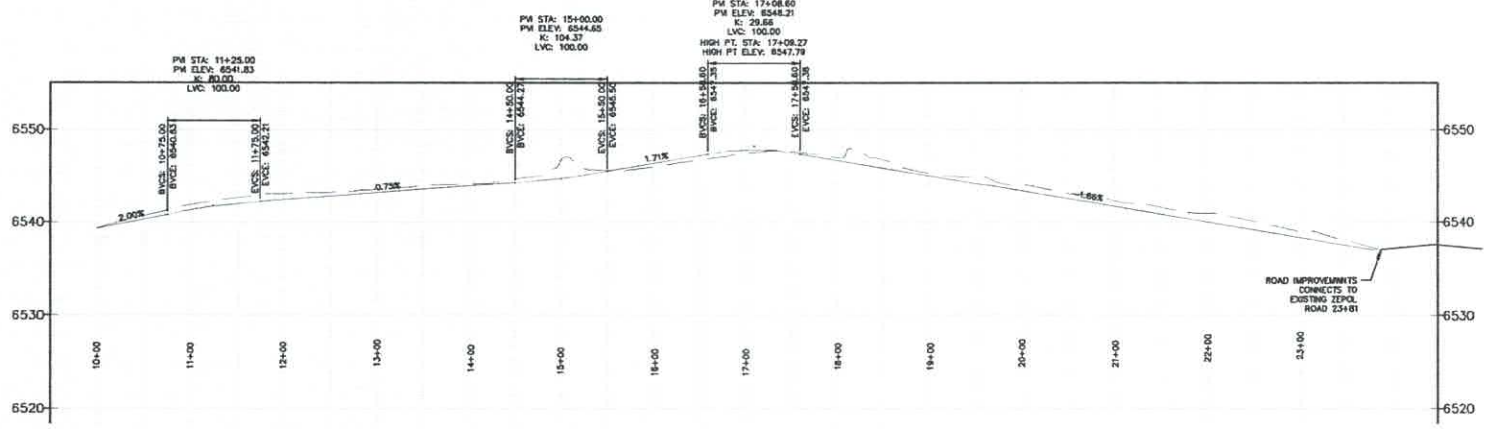
CITY REVIEW DEPARTMENT: _____ DIVISION: _____ PROJECT: _____ SHEET NO.: C-6		PROJECT: CASA DE TODOS SUBDIVISION SHEET TITLE: CASA DE TODOS PLAN AND PROFILE	
DATE: _____ BY: _____ CHECKED BY: _____ DATE: 07/27/2021	DATE: _____ BY: _____ CHECKED BY: _____ DATE: 07/27/2021	PROJECT: _____ SHEET TITLE: _____ DATE: _____ BY: _____ CHECKED BY: _____ DATE: _____	
W. E. Walker Engineering 905 Cantler Berry Vista, # 200 Fort Worth, TX 76104 TEL: 817-336-0000 FAX: 817-336-0000 E-MAIL: civil@wewalkengineering.com		AS NOTED	



SOUTH SECTION - LILAC LANE

STORM & SAS MANHOLES NOTE
 STORM WATER AND SANITARY SEWER MANHOLES SHALL NOT BE LOCATED IN THE SEQUENCE OF CURBS AND CUTTERS ALONG ANY ROADWAY, INCLUDING AVENUE DE LAS ACEQUIAS.

CONTINUATION SEE SHEET C-5



Civil Engineering & Water Resources & Traffic Engineering
W. E. Walker Engineering
 905 Canton Street, Suite 201, PA, PA 19106
 610-399-7900
 FAX 610-399-7909
 E-MAIL: info@wewalkere.com

NO.	REVISION	BY	APP.	DATE

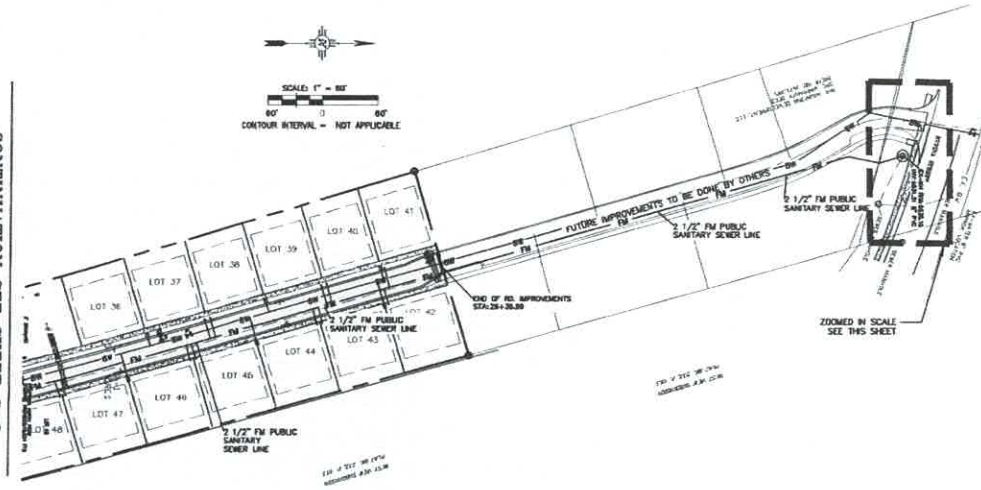
PROJECT: **CASA DE TODOS SUBDIVISION**
 SHEET TITLE: **LILAC LANE PLAN AND PROFILE**

DATE: **05/17/2011**
 DRAWN BY: **[Signature]**
 CHECKED BY: **[Signature]**

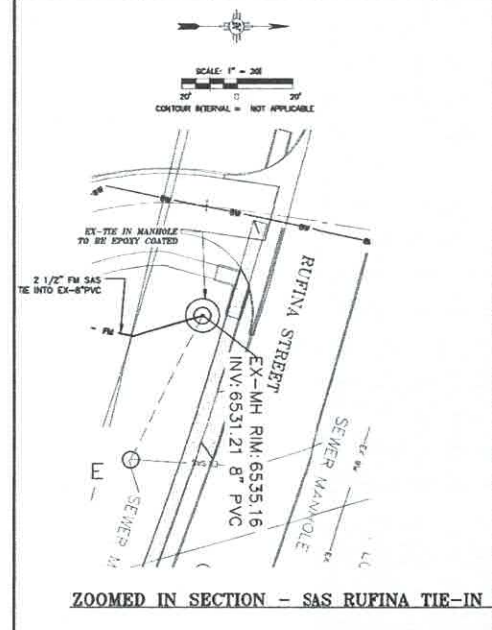
DEPARTMENT: **CITY REVIEW**
 DATE:
 BY:
 TITLE:
 TYPE:
 LANSBANE:
 TRAIL:
 OPEN:
 SPACE:
 SUBDIVISION:

SHEET NO. **C-7**

CONTINUATION SEE SHEET C-8



NORTH SECTION - CASA DE TODOS LANE



ZOOMED IN SECTION - SAS RUFINA TIE-IN

Civil Engineering & Water Resources & Traffic Engineering
W.E. Walker Engineering
 906 Combs Street, Vista, CA 92083
 619-441-7800
 FAX: 619-441-7809
 E-MAIL: civil@wewalkere.com

No.	REVISION	BY	APP.	DATE

PROJECT: 20-102
 PRODUCT: 10/20/2021
 DRAWN BY: J.E.D.
 CHECKED BY: J.E.D.
 DATE: 10/20/2021
 SHEET NO. 13 OF 13
 PROJECT NO. 20-102



PROJECT: **CASA DE TODOS SUBDIVISION**
 SHEET TITLE: **SANITARY AND SEWER PLAN AND PROFILE**

DEPARTMENT	DATE

REVISION: 10/20/2021
 DRAWN BY: J.E.D.
 CHECKED BY: J.E.D.
 DATE: 10/20/2021
 SHEET NO. 13 OF 13
 PROJECT NO. 20-102

C-9

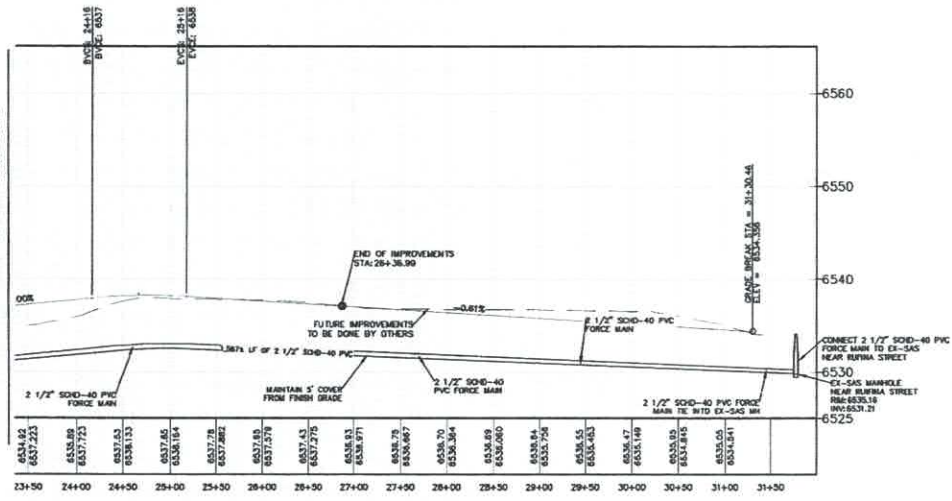
STORM & SAS MANHOLES NOTE

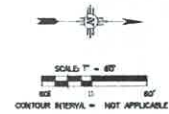
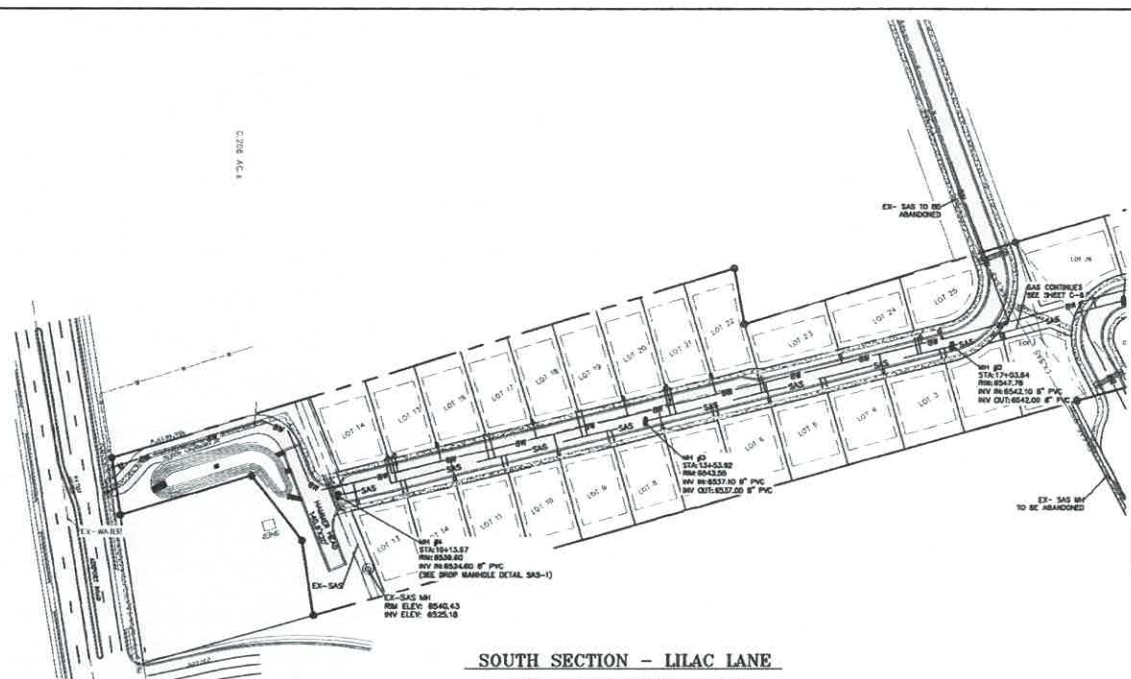
STORM WATER AND SANITARY SEWER MANHOLES SHALL NOT BE LOCATED IN THE SIDEWALK OF CURBS AND CUTTERS ALONG ANY ROADWAY, INCLUDING AVENIDA DE LAS ACEQUIAS.

WATER/SEWER DETAIL NOTE

THE 2 INCH BRASS BALL VALVE SHOWN IN THE LOW PRESSURE SANITARY SEWER FLUSHING CONNECTIONS DETAIL SHOWN IN SHEET SF-8 SHALL INCLUDE A 4 INCH SCH 40 PVC EXTENSION WITH A TIGHT CH CAP.

CONTINUATION SEE SHEET C-8

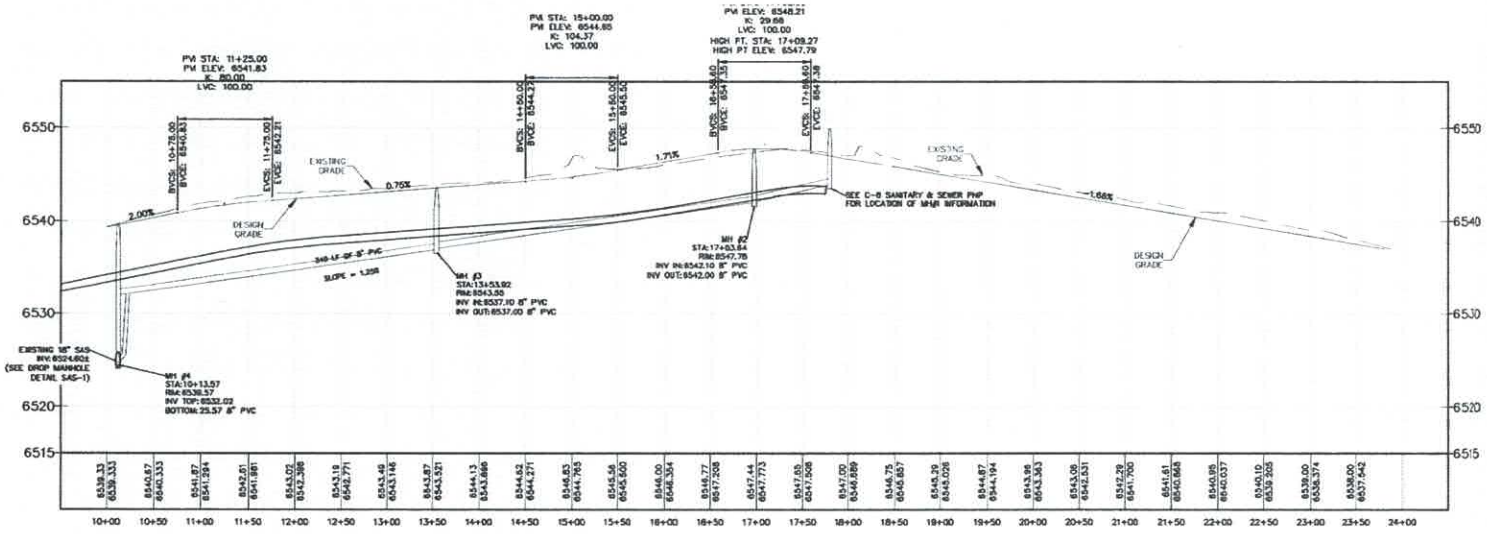




CONTINUATION SEE SHEET C-8

**SOUTH SECTION - LILAC LANE
STA 10+00 THRU 24+00**

STORM & SAS MANHOLES NOTE
STORM WATER AND SANITARY SEWER MANHOLES SHALL NOT BE LOCATED IN THE VICINITY OF CURB AND OUTSIDE ALONG ANY ROWWAY INCLUDING AVENIDA DE LAS ACCESAS.



Civil Engineering & Water Resources & Traffic Engineering
W. E. Walker Engineering
900 Cambria Street, Tulsa, Oklahoma, P.O. Box 117900
900-282-7900
900-282-7900
E-MAIL: walker@walkereng.com

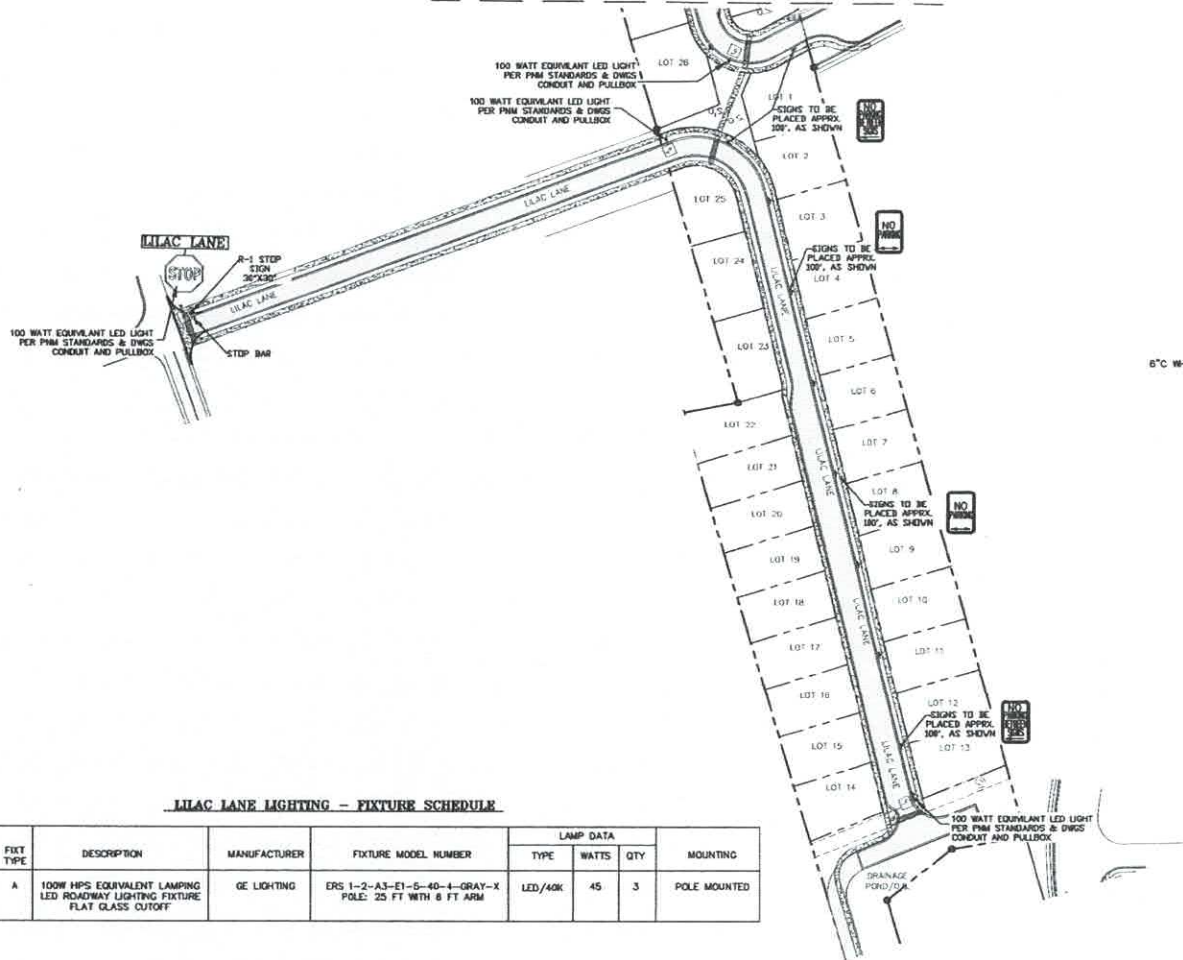
No.	REVISION	BY	APP.	DATE



PROJECT:	CASA DE TODOS
SUBDIVISION:	SUBDIVISION
SHEET TITLE:	SANITARY AND SEWER PLAN AND PROFILE
DATE:	07/27/2011
DESIGNER:	J.R.S.
CHECKER:	J.R.S.
DATE:	07/27/2011
DATE:	07/27/2011
DATE:	07/27/2011

DEPARTMENT: SANITARY
DATE: 07/27/2011
PROJECT: CASA DE TODOS
SHEET: 11 OF 11
SCALE: AS SHOWN
REVISION: NONE

CONTINUATION SEE SHEET C-12



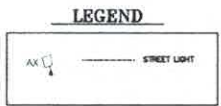
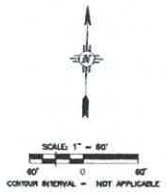
LILAC LANE LIGHTING - FIXTURE SCHEDULE

FIXT TYPE	DESCRIPTION	MANUFACTURER	FIXTURE MODEL NUMBER	LAMP DATA			MOUNTING
				TYPE	WATTS	QTY	
A	100W HPS EQUIVALENT LAMPING LED ROADWAY LIGHTING FIXTURE FLAT GLASS CUTOFF	GE LIGHTING	ERS 1-2-A3-E1-5-40-4-GRAY-X POLE: 25 FT WITH 8 FT ARM	LED/40K	45	3	POLE MOUNTED

LIGHTING NOTE
FINAL LIGHTING DESIGN WILL BE PROVIDED FOR BUILDING PERMIT APPLICATION

RECORD DRAWINGS
THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

WORY E. WALKER P.E. 1206 DATE



6" WHITE LETTERING **GRANITE AVE** 3" WHITE LETTERING

STREET SIGN DETAIL
N7S

SIGNAGE AND STRIPING NOTE

ALL SIGNAGE AND STRIPING TO BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

- CITY OF SANTA FE
ADDITIONAL INSTALLATION REQUIREMENTS**
- UNDERGROUND CONDUCTORS SHALL RUN CONTINUOUS THROUGH THE PULL BOX TO THE LIGHT POLE AND SHALL ONLY BE SPLICED IN THE LIGHT POLE.
 - LEAVE 3 FEET OF SLACK WIRE COILED IN EACH PULL BOX.

City Engineering & Water Resources • Traffic Engineering
W.E. Walker Engineering
900 Camino Sierra Vista, Santa Fe, NM 87505
505-833-7200
505-833-8839
C.WALKER@WALKERENGINEERING.COM

NO.	REVISION	BY	DATE

PROJECT: **CASA DE TODOS SUBDIVISION**
SHEET TITLE: **LILAC LANE SIGNAGE & LIGHTING PLAN**

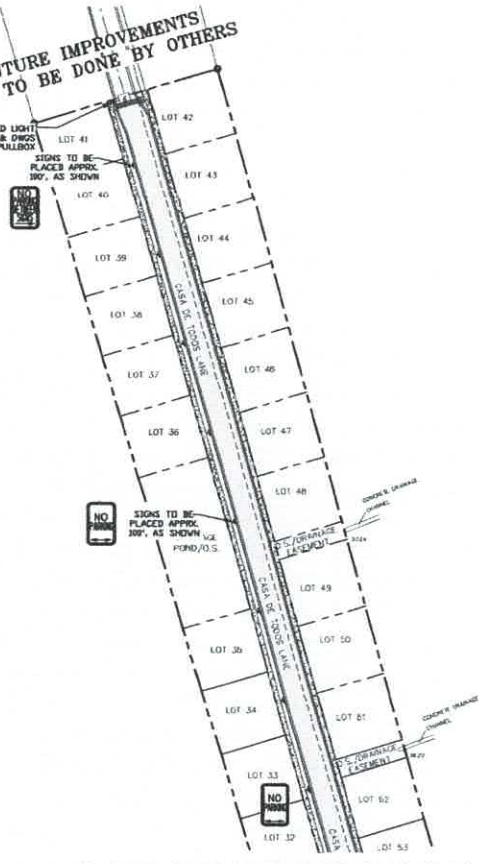
DEPARTMENT	DATE

DESIGNED BY: _____
CHECKED BY: _____
DATE: _____

SHEET NO. **C-11**

**FUTURE IMPROVEMENTS
TO BE DONE BY OTHERS**

100 WATT EQUIVARIANT LED LIGHT
PER PNM STANDARDS & DWGS
CONDUIT AND PULLBOX



MATCH TO LINE ABOVE

CASA DE TODOS LANE LIGHTING - FIXTURE SCHEDULE

FIXT. TYPE	DESCRIPTION	MANUFACTURER	FIXTURE MODEL NUMBER	LAMP DATA			MOUNTING
				TYPE	WATTS	QTY	
A	100W HPS EQUIVARIANT LAMPING LED ROADWAY LIGHTING FIXTURE FLAT GLASS CUTOFF	GE LIGHTING	ERS 1-2-A3-E1-5-40-4-GRAY-X POLE: 25 FT WITH 6 FT ARM	LED/40K	45	3	POLE MOUNTED

RECORD DRAWINGS

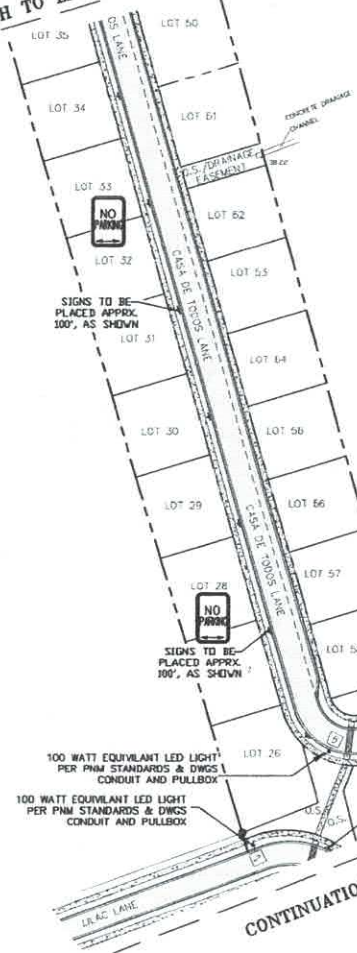
THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

WOREY E. WALKER P.E. 1208 DATE

LIGHTING NOTE

FINAL LIGHTING DESIGN WILL BE PROVIDED FOR BUILDING PERMIT APPLICATION.

MATCH TO LINE BELOW



CONTINUATION SEE SHEET C-11

6" WHITE LETTERING **GRANITE AVE** 3" WHITE LETTERING
STREET SIGN DETAIL
HIS

SIGNAGE AND STRIPING NOTE

ALL SIGNAGE AND STRIPING TO BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

**CITY OF SANTA FE
ADDITIONAL INSTALLATION REQUIREMENTS**

- UNDERGROUND CONDUCTORS SHALL RUN CONTINUOUS THROUGH THE PULL BOX TO THE LIGHT POLE AND SHALL ONLY BE SPLICED IN THE LIGHT POLE.
- LEAVE 3 FEET OF SLACK WIRE COILED IN EACH PULL BOX.

SCALE: 1" = 60'
0' 30' 0' 30'

CONTOUR INTERVAL - NOT APPLICABLE

LEGEND

AX STREET LIGHT

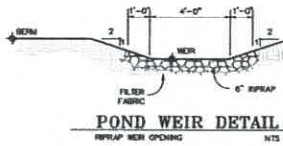
City Engineering & Water Resources • Traffic Engineering
W.E. Walker Engineering
100 Combar Barra Vista, Santa Fe, NM 87508
505-426-7960
2500 E. PALMER, SUITE 100, SANTA FE, NM 87505

NO.	REVISION	BY	DATE

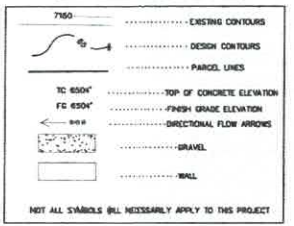
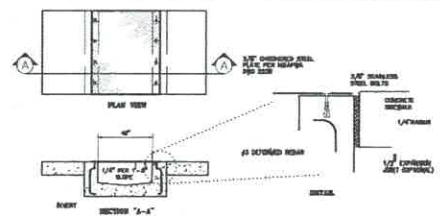
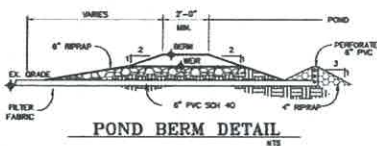
PROJECT: **CASA DE TODOS SUBDIVISION**
SHEET TITLE: **CASA DE TODOS LANE SIGNAGE & LIGHTING PLAN**

DEPARTMENT	CITY REVIEW	DATE

SHEET NO. **C-12**



ALL RIP RAP IS CLASS B NON-ENCLOSED, UNLESS SPECIFIED OTHERWISE. MINIMUM STONE DIMENSION = 6" PER ECT. 602 HANDBOOK STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION LATEST EDITION.



NORTH-SECTION PONDING

TOP ELEVATION=8536.00 FEET
 TOP AREA=10,177 SQUARE FEET
 BOT ELEVATION=8534.00 FEET
 BOT AREA=8,475 SQUARE FEET
 PROVIDED 10L=18.34 CUBIC FEET
 OUTFLOW DEVICE=10' LONG BY 14\"/>

NORTH-SECTION STORM RUNOFF

THE NORTH-SECTION RUNOFF CONSISTS OF TWO PARTS TO THE RUNOFF. THE FIRST ARE THE TWO EXISTING CONCRETE DRAIN CHANNELS THAT WILL BE COLLECTED BY STORM DRAIN INLETS IN THE DRAINAGE CHANNELS. THE SECOND IS FROM THE PROPOSED NORTH-SECTION SUBDIVISION SITE THAT ARE COLLECTED BY STORM INLETS, WHICH ARE THEN PIPED TO THE POND. BOTH PARTS OF THE RUNOFF WILL BE COLLECTED AND PIPED TO THE DRAINAGE POND.

SOUTH-SECTION PONDING



TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CHECKED BY ENGINEER. ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION REGARDING THE ACCURACY AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THIS TOPOGRAPHY, ENGINEERING DESIGNING RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

IMPERVIOUS SURFACE NOTE

THE TOTAL IMPERVIOUS SURFACE USED IN THE DESIGN IS 806 IMPERVIOUS AREA OF AN AVERAGE LOT OF 1.9 ACRES. IF IMPERVIOUS AREA IS GREATER THAN 3,000 SQUARE FEET FOR EACH LOT, THEN ADDITIONAL PONDING IS REQUIRED.

CENTRALIZED PONDING NOTE

ALL CENTRALIZED PONDING (NORTH AND SOUTH SECTIONS) ARE TO BE PROVIDED IN PHASE, BEFORE ANY IMPROVEMENTS ARE INSTALLED OR FUTURE BUILDING PERMITS ARE ISSUED.

POND DRAINING NOTE

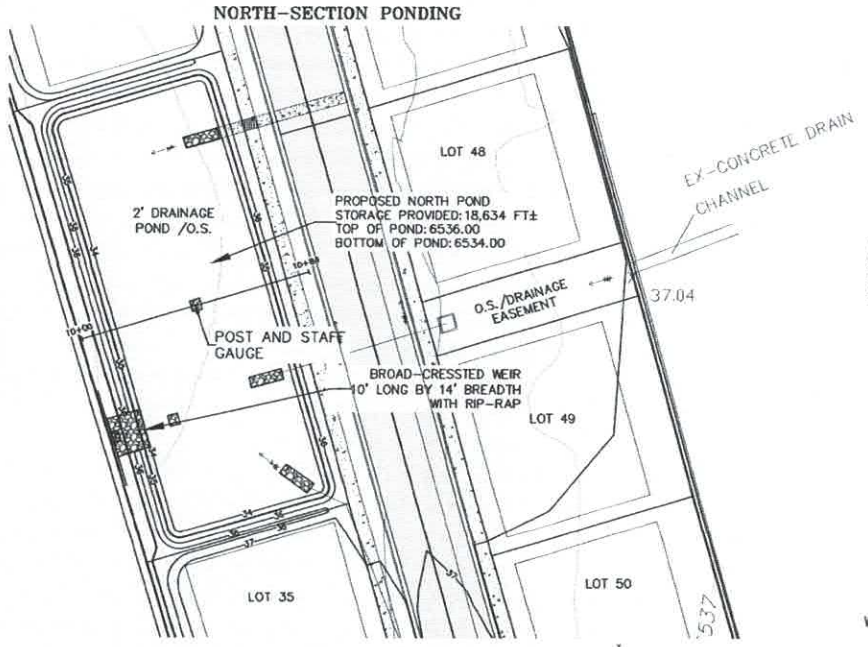
EACH POND WAS RUN WITH 18\"/>

SOUTH-SECTION PONDING

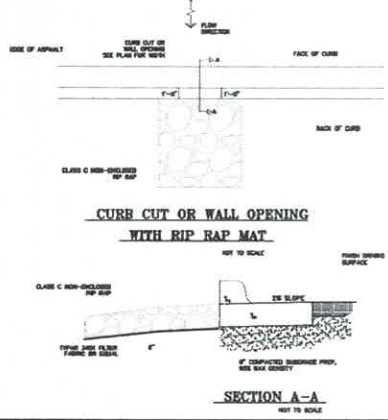
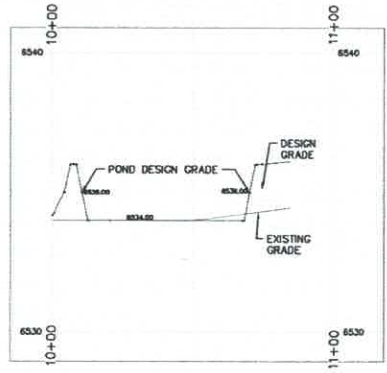
TOP ELEVATION=8536.00 FEET
 TOP AREA=1,119 SQUARE FEET
 BOT ELEVATION=8535.00 FEET
 BOT AREA=1,034 SQUARE FEET
 PROVIDED 10L=9,328 CUBIC FEET
 OUTFLOW DEVICE=18\"/>

SOUTH-SECTION STORM RUNOFF

SOUTH-SECTION STORM RUNOFF WILL RUN SOUTH DOWN LILAC LAKE TO THE SOUTH-WEST OF THE HANDED HEAD WHERE THERE ARE THREE (3) FOOT CHANNEL OPENINGS THAT OVERT STORM WATER TO THE SOUTH-SECTION POND. THE THREE (3) FOOT CHANNEL OPENINGS WILL HAVE RIP-RAP SIBBLES THAT DIVERT THE RUNOFF TO THE POND.



CROSS-SECTION OF NORTH POND

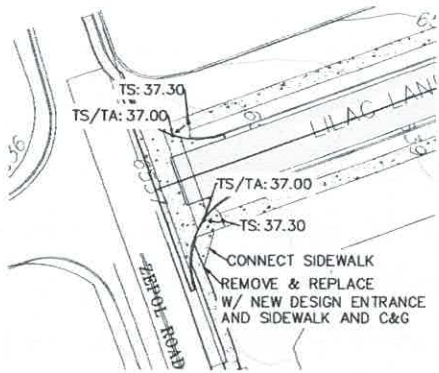


Civil Engineering & Water Resources & Traffic Engineering
W.E. Walker Engineering
 606 Camino Marero, Suite 6, San Diego, CA 92108
 TEL: 619-594-9200 FAX: 619-594-9201
 E-MAIL: cee@wewalk.com

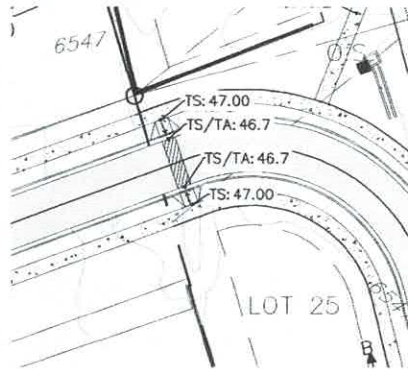
PROJECT:	DATE:
DRAWN BY:	CHECKED BY:
SCALE:	SCALE:

CITY: BAYVIEW SUBDIVISION
 SHEET TITLE: PONDING DETAILS
 SHEET NO.: C-13
 SHEET TOTALS: 13

ZEPOL ROAD ADA RAMP



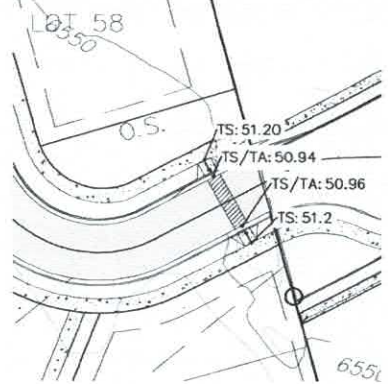
CROSSWALK LILAC LANE ADA RAMP



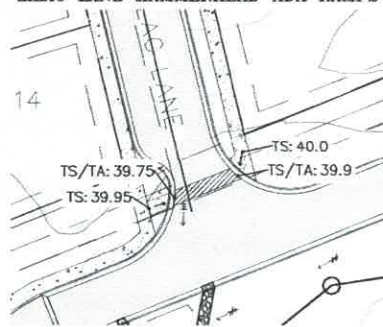
END OF CASA DE TODOS LANE ADA RAMP



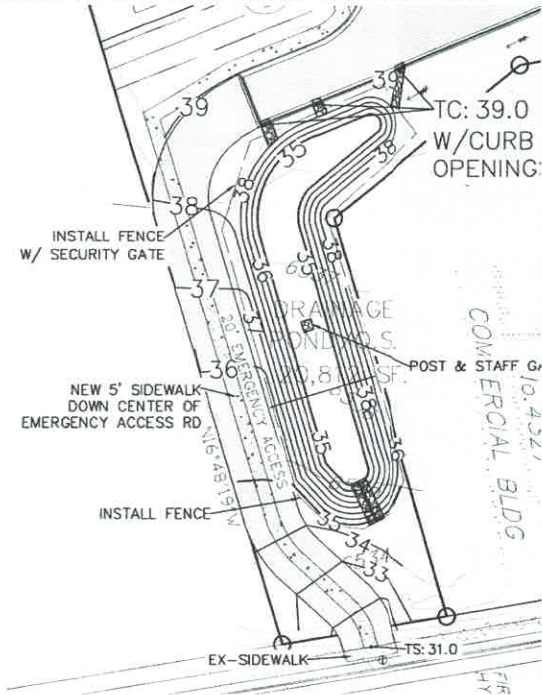
CROSSWALK CASA DE TODOS LANE ADA RAMP



LILAC LANE HAMMERHEAD ADA RAMP



SIDEWALK CONNECTING TO AIRPORT FROM LILAC LANE



LEGEND

7860	EXISTING CONTOURS
	DESIGN CONTOURS
---	PARCEL LINES
TA 6504'	TOP OF ASPHALT ELEVATION
FG 6504'	FRESH GRADE ELEVATION
TS 6504'	TOP OF SIDEWALK ELEVATION
TC 6504'	TOP OF CONCRETE ELEVATION
	DIRECTIONAL FLOW ARROWS
"ADA"	ADA PARKING SPACE
	GRAVEL
	BILL

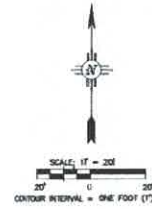
NOT ALL SYMBOLS WILL NECESSARILY APPLY TO THIS PROJECT

TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE TOPOGRAPHIC, WALKER ENGINEERING'S RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.



City Engineering & Public Resources & Traffic Engineering

W-E Walker Engineering
902 Camino Nuevo Vista, # 200, San Jose, CA 95128
408-299-7900
FAX: 408-299-7900
E-MAIL: cti@wke.com

NO.	REVISION	BY	DATE

PROJECT: CASA DE TODOS SUBDIVISION
SHEET TITLE: ADA PLAN
DATE: 10/4/21
SHEET NO.: C-14

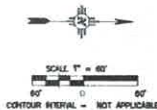
C-14

CITY OF SANTA FE PUBLIC SANITARY SEWER CONSTRUCTION GENERAL NOTES

1. PRIOR TO THE WASTEWATER MANAGEMENT DIVISION APPROVAL OF THE PLAN SET, A LETTER WILL BE REQUIRED FROM THE PROJECT ENGINEER INDICATING THEY ARE PROVIDING THEIR INSPECTION AND RECORD DRAWING SERVICES FOR THE PROJECT.
2. THE CONTRACTOR MUST OBTAIN ALL SEWER HOODUP PERMITS FROM THE CITY'S BUILDING PERMITS DIVISION PRIOR TO COMMENCING ANY SEWER LINE CONSTRUCTION. A COPY OF THE PERMIT MUST BE KEPT AT THE CONSTRUCTION SITE.
3. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD MANHOLE DETAIL SHEET SHOWN ON THE CITY STANDARD DRAWINGS.
4. A COPY OF THE APPROVED PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES DURING WORKING HOURS.
5. ALL MODIFICATIONS TO THE SANITARY SEWER PLANS MUST BE REVIEWED AND APPROVED BY THE CITY'S WASTEWATER MANAGEMENT DIVISION PRIOR TO CONSTRUCTION.
6. ADDITIONAL GENERAL NOTES ARE CONTAINED IN THE STANDARD CITY DETAIL SHEETS FOR SANITARY SEWER CONSTRUCTION.
7. ALL PUBLIC GRAVITY SEWER LINES SHALL BE A MINIMUM 8 INCH DIAMETER WITH A MINIMUM CLASS C BEDDING (CURRENT NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION).
8. ALL 4 INCH AND 6 INCH DIAMETER GRAVITY SEWER PIPE SHALL BE PRIVATE. NO PRIVATE SEWER SYSTEM SHALL USE LARGER THAN A 6 INCH DIAMETER PIPE UNLESS APPROVED BY THE WASTEWATER DIVISION. NO PUBLIC GRAVITY SEWER LINE TO BE ACCEPTED BY THE CITY OF SANTA FE FOR PERMANENT MAINTENANCE SHALL BE LESS THAN 8 INCHES DIAMETER.
9. NO CONDUITE CHANGEOVER OF NEW OR EXISTING PUBLIC SEWER PIPES SHALL BE ALLOWED UNLESS APPROVED BY THE CITY OF SANTA FE WASTEWATER MANAGEMENT DIVISION.
10. CORE DRILLING IS REQUIRED FOR ALL NEW CONNECTIONS TO AN EXISTING MANHOLE.
11. NO PUBLIC SEWER MAIN LINE OR MANHOLES SHALL BE ALLOWED UNDER OR WITHIN A STORM WATER DETENTION/RETENTION POND.
12. PRIOR TO PAVING OVER ANY SANITARY SEWER LINES, SURFACE VOID TAPES AND LOGS, PRESSURE TESTS, COMPACTION TESTS, CONCRETE CURBING TESTS AND THE ENGINEER'S CERTIFICATION TO THE CITY'S WASTEWATER MANAGEMENT DIVISION. AFTER THE WASTEWATER MANAGEMENT DIVISION RECEIVES THE ABOVE LISTED INFORMATION, A PRELIMINARY MANHOLE INSPECTION WILL BE CONDUCTED. WHEN ALL THE ITEMS LISTED ABOVE ARE COMPLETED TO MEET THE STANDARDS OF THE WASTEWATER MANAGEMENT DIVISION, A LETTER APPROVING PAVING WILL BE ISSUED IN RELATION TO THE SANITARY SEWER. NOTE: A FINAL MANHOLE INSPECTION WILL BE CONDUCTED AFTER THE FINAL PAVING IS COMPLETED.
13. ALL SEWER MANHOLES WITH SEWER LINES 12 INCHES IN DIAMETER AND LARGER ARE REQUIRED TO HAVE APPROVED VENTED AND LOCKING MANHOLE COVERS.
14. LOCATE WIRES SHALL BE INSTALLED FOR ALL SANITARY SEWERS (GRAVITY/FORCE MAINS). THE LOCATE WIRE MUST BE VISIBLE IN THE MANHOLE OR ACCESS STRUCTURE. THIS WILL BE VERIFIED DURING THE PRELIMINARY MANHOLE INSPECTION PRIOR TO PAVING. THE LOCATE WIRE IS TO BE A CONTINUOUS 12-GAUGE, SOLID STRAND INSULATED COPPER WIRE.

15. OFF-ROAD PUBLIC SEWER ACCESS WILL BE PROVIDED FOR ALL PUBLIC SEWER LINES AND MANHOLES. ACCESS ROADS ARE TO BE A MINIMUM 10 FEET WIDE WITH A DRIVING SURFACE OF 8 INCHES OF COMPACTED BASE COURSE AND COMPACTED SUBGRADE. NO ACCESS ROAD SHALL HAVE A GRADE GREATER THAN 10% UNLESS APPROVED BY THE WASTEWATER DIVISION. MANHOLES ARE TO BE FLOODED WITH THE CENTER LINE OF THE ACCESS ROAD. SEWER EASEMENTS ARE TO BE A MINIMUM OF 20 FEET IN WIDTH.
16. OFF ROAD SANITARY SEWER - CALL THE WASTEWATER MANAGEMENT DIVISION AT 805-428-4400 FOR A FIELD REVIEW OF THE GRADING OF ALL OFF ROAD SANITARY SEWER ROADS TO ENSURE THAT THE CITY'S MAINTENANCE VEHICLES CAN ACCESS ALL MANHOLES. THE GRADES MAY BE REQUIRED TO BE ADJUSTED BASED UPON THIS INSPECTION. ADDITIONAL BANK AND EROSION PROTECTION MAY BE REQUIRED BASED UPON A FINAL INSPECTION BY THE WASTEWATER MANAGEMENT DIVISION AND THE PROJECT ENGINEER.
17. FOR RECORD DRAWINGS, THE MANHOLE TO A CITY OF SANTA FE SURVEY MONUMENT AS PART OF THE FINAL RECORD DRAWINGS, SHOW CONNECTED DISTANCES, SLOPES, H/M AND INVERT ELEVATIONS AND SEWER SERVICES ALONG THE HORIZONTAL ALIGNMENT OF THE SANITARY SEWER FOR RECORD DRAWINGS. A SEPARATE SUMMARY TABLE ADDED TO THE EXISTING PLAN SHEETS OR AS AN ADDITIONAL SHEET SHALL BE REQUIRED. THE SUMMARY SHEET SHALL LIST DATA FOR THE SEWER LINE SEGMENTS BETWEEN MANHOLES SHOWING THE UPSTREAM AND DOWNSTREAM MANHOLE WITH THE DESIGN SYMBOLS LISTING SLOPES AND DEPTHS AND THE AS-BUILT SYMBOLS LISTING SLOPES AND DEPTHS. THE SUMMARY SHEET SHALL INDICATE THE TOTAL NUMBER OF NEW PUBLIC MANHOLES CONSTRUCTION, THE TOTAL NUMBER OF CONNECTIONS TO EXISTING PUBLIC MANHOLES, THE TIE TO A CITY CONTROL MONUMENT AND THE TOTAL LENGTH OF AS-BUILT PUBLIC SEWER LINE CONSTRUCTED BY SIZE.
18. THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIRING AND LOCATING THE SEWER SYSTEM UNTIL CITY ACCEPTANCE FOR MAINTENANCE. DAMAGES RESULTING FROM A STOPPAGE IN ANY GRAVITY AND/OR PRESSURE SEWER SYSTEM WILL BE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER UNTIL A FINAL ACCEPTANCE LETTER FOR PERMANENT MAINTENANCE HAS BEEN PROVIDED BY THE WASTEWATER MANAGEMENT DIVISION.
19. WATER METERS WILL NOT BE PLACED UNTIL A FINAL ACCEPTANCE LETTER HAS BEEN ISSUED BY THE WASTEWATER DIVISION FOR ALL ON-SITE SANITARY SEWER NEEDED IN ORDER FOR THE PROJECT TO CONNECT TO THE SANITARY SEWER SYSTEM.
20. 24-FOOT-DEEP ACCESS GATES SHALL BE PROVIDED AT ALL FORCE MAINS OR OTHER CONNECTIONS THAT CROSS A PUBLIC SEWER LINE. ACCESS GATES TO BE LOCATED WITHIN THE SANITARY SEWER EASEMENT.
21. THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR LOCATING EACH SEWER SERVICE AT THE TIME EACH LOT IS READY TO CONNECT TO THE SEWER. IT IS SUGGESTED THAT THE OWNER/DEVELOPER RETURN A COPY OF THE TELEPHONE INSPECTION VIDEO ALONG WITH THE HOOD LOGS. EACH SERVICE SHALL BE CLEARLY MARKED FOR EACH LOT AT POINT OF CONNECTION. ALL T-CALLS RECEIVED BY THIS DIVISION REGARDING THE LOCATION OF SERVICE WILL BE FORWARDED TO THE OWNER/DEVELOPER.
22. THE CONTRACTOR SHALL CALL THE WASTEWATER MANAGEMENT DIVISION (DOWNSIDE FLOWS AT TELEPHONE # 805-428-4400) FOR A FINAL MANHOLE INSPECTION AND FINAL FLOWING OF THE SEWER LINES. THIS INSPECTION WILL BE RELATED TO THE MANHOLES AND FLOWING OF THE SEWER LINES. THE CITY'S PLANNING AND MECHANICAL INSPECTORS WILL CONDUCT ALL OTHER NECESSARY PLUMBING INSPECTIONS. NOTE- THE CITY'S PLUMBING AND MECHANICAL INSPECTORS WILL INSPECT THE INDIVIDUAL SEWER SERVICE TAPS AND LATERALS, WHICH CONNECT TO THE PUBLIC SANITARY SEWER.

23. WHEN REQUIRED BY THE WASTEWATER DIVISION THE EXISTING SANITARY SEWER LINE MUST BE 1/2" TAPERED PRIOR TO A NEW SERVICE CONNECTION BEING PLACED AS WELL AS TAPED AFTER THE SERVICES HAVE BEEN COMPLETED. THIS IS TO ENSURE THAT THE EXISTING SANITARY SEWER LINE IS NOT DAMAGED, AND THE NEW SERVICE IS INSTALLED CORRECTLY.
24. ALL COSTS ASSOCIATED WITH THE OPERATION, MAINTENANCE AND REPLACEMENT OF GROUND PUMPS FOR HERETOFORE LOTS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER AND/OR OTHERS ASSOCIATED FOR GROUND PUMPS THAT CONNECT TO A PRESSURE SEWER MAIN. THE GROUND PUMP WILL BE A MODEL MANUFACTURED BY ENVIRONMENT-ONE OR A TYPE APPROVED BY THE CITY OF SANTA FE WASTEWATER MANAGEMENT DIVISION. FOR PUMPS THAT CONNECT TO A GRAVITY MAIN, THE PUMP SHALL BE OF A TYPE APPROVED BY THE CITY OF SANTA FE PLUMBING CODE.
25. A MINIMUM 12 INCHES OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN THE SEWER LINE AND ANY EXISTING DRAIN PIPING.
26. ALL PRESSURE SEWER SYSTEMS SHALL BE AIR OR HYDROSTATICALLY PRESSURE TESTED @ 100 PSI FOR 2 HOURS MINIMUM. THE TEST IS TO BE WITNESSED AND CERTIFIED BY THE PROJECT ENGINEER OR AUTHORIZED REPRESENTATIVE. PRIOR TO BEING PUT INTO SERVICE AND ACCEPTANCE BY THE CITY OF SANTA FE, ALL PRESSURE SEWER SYSTEM MAIN LINES WILL BE FILLED WITH WATER.
27. NO PUBLIC PRESSURE SEWER SYSTEM PIPING MAY BE INSTALLED IN A COMMON TRENCH WITH OTHER UTILITIES.
28. ALL SEWER SERVICE LATERAL CONNECTIONS TO SEWER MAINS 12 INCHES OR GREATER IN DIAMETER MUST BE MADE AT AN EXISTING OR NEW MANHOLE. SEWER SERVICE CONNECTIONS TO SEWER MAINS WITH PIPE SIZE DIAMETER OF 12 INCHES AND GREATER WILL NOT BE MADE WITHOUT APPROVAL FROM THE WASTEWATER MANAGEMENT DIVISION.
29. SEWER BACKWATER CHECK VALVES SHALL BE REQUIRED ON ALL SEWER SERVICE LATERALS FROM THE CITY OF SANTA FE PLUMBING CODE. 30. ALL PVC SEWER PIPES EIGHT INCHES AND GREATER SHALL BE 200 PSI PVC PIPE. ALL 4 AND 6 INCH SEWER PIPE SHALL BE SCHEDULE 40 PVC PIPE. 31. ALL AS-BUILT SEWER LINE AND MANHOLE DATA SHALL BE OBTAINED AND CERTIFIED BY A LICENSED SURVEYOR OR ENGINEER. AS-BUILT DATA SUPPLIED BY OTHER THAN A LICENSED SURVEYOR OR ENGINEER SHALL NOT BE VALID FOR FINAL AS-BUILTS.
32. ALL EXISTING AND NEW PUBLIC MANHOLES WITHIN A PROJECT SHALL HAVE ACCESS FOR CITY SEWER MAINTENANCE EQUIPMENT. ALL ACCESS IS SUBJECT TO FIELD VERIFICATION AND MODIFICATION AS REQUIRED BY THE WASTEWATER DIVISION PRIOR TO FINAL PROJECT CLOSE OUT WITH THE CITY OF SANTA FE.
33. ALL SEWER LINE CROSSINGS OF RIVERS, STREAMS, ARROYOS, DRAINAGE CHANNELS, ETC. SHALL REQUIRE A BASIS OF DESIGN ANALYSIS PREPARED BY A LICENSED ENGINEER.
34. AN APPROVED BACKFLOW VALVE AND ISOLATION VALVE ARE REQUIRED ON ALL LOW-PRESSURE SEWER SERVICE LINES AS PER THE CITY OF SANTA FE STANDARD SEWER SPECIFICATIONS.
35. TERMINAL PLUMBING CONNECTIONS AND IN-LINE PLUMBING CONNECTIONS ARE REQUIRED ON ALL LOW-PRESSURE SEWER SYSTEMS. THE MAXIMUM SPACING BETWEEN IN-LINE PLUMBING CONNECTIONS SHALL BE 500 FEET. DISTANCES GREATER THE 500 FEET BETWEEN LOW PRESSURE SEWER IN-LINE PLUMBING CONNECTIONS SHALL BE APPROVED BY THE WASTEWATER DIVISION.
36. ALL SANITARY SEWER MANHOLES FIFTEEN (15) FEET IN DEPTH OR GREAT SHALL BE SIX (6) FOOT DIAMETER.
37. PVC SEWER PIPE SHALL BE RUN CONTINUOUS THROUGH MANHOLES WHEN PIPES OF APPROPRIATE EQUAL SLOPES ARE ENTERING AND LEAVING THE MANHOLES.
38. ALL NEW CONNECTIONS TO AN EXISTING SANITARY SEWER MANHOLE SHALL INCLUDE THE REBAR/STABILIZATION REQUIRED TO MEET CITY OF SANTA FE WASTEWATER DIVISION STANDARD CONSTRUCTION DETAILS.



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NO.	REVISION	BY	APP.	DATE

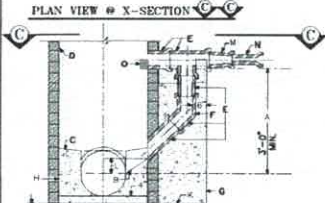
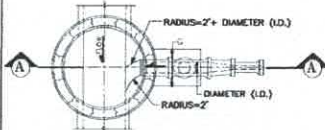
PROJECT: **CASA DE TODOS SUBDIVISION**
 SHEET TITLE: **CITY OF SANTA FE SAS CONSTRUCTION GENERAL NOTES**

DATE: 10/20/2021
 CHECKED BY: M.A.E.
 DESIGNED BY: J.E.D.
 DRAWN BY: M.A.E.
 SCALE: AS SHOWN

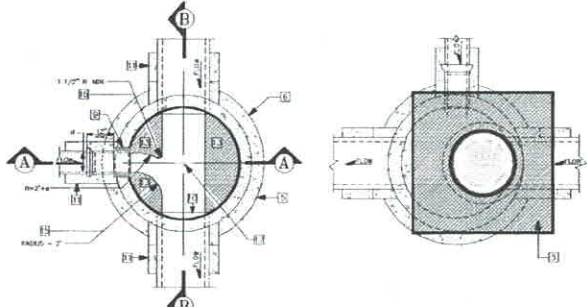
C-18

LEGEND

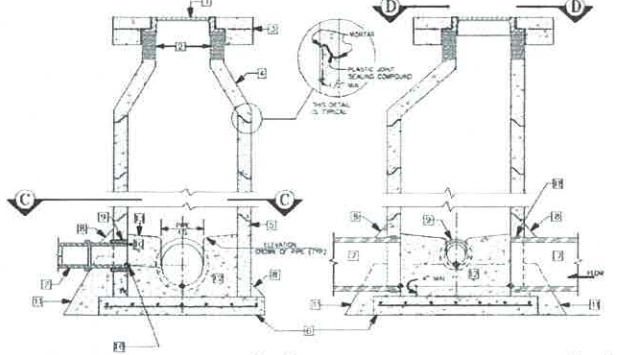
ITEM	DESCRIPTION
1	MANHOLE FRAME & COVER, refer to manhole frame and cover detail Dwg. No. SAS-4
2	CONCRETE ADJUSTMENT RISER, OR CONCRETE BRICK, refer to concrete adjustment detail Dwg. No. SAS-5
3	CONCRETE COLLAR, refer to concrete collar detail Dwg. No. SAS-6
4	PRECAST REINFORCED CONCRETE RISER, CONE OR FLAT TOP, with 5"(14) wall thickness, refer to general note CM-2
5	PRECAST REINFORCED CONCRETE RISER, with suitable sized openings, refer to general note CM-2A
6	CONCRETE BASE, refer to concrete base detail Dwg. No. SAS-7
7	SEWER PIPE, refer to general note CM-1
8	6"(15) OROUT FILLET, on upper half of pipe and around base
9	ADAPTER, MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
10	PIPE PENETRATION INTO MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
11	PIPE SUPPORT, CONCRETE, shall extend out-side of manhole a minimum of 18"(46) to half of that total and shall grade pipe half pipe
12	CONCRETE FILL, SOOO p.s.i., refer to general note CR-8
13	SNELF, to be 9"(23) minimum width with 1"(25) per 1'-0" slope, from crown of pipe
14	CUT UPPER HALF OF PIPE, after manhole has been completed and inspected by engineer
15	HAND FORMED CHANNELS, shall be on a uniform radius and shall not hold water
16	INVERT ELEVATIONS OF LATERAL LINES, shall be the same as the spotline elevation of the sewer main, where possible
17	CHANGE SLOPE OF PIPE, at center of manhole
18	APPROVED WATER STOP, to be with type of pipe



DROP MANHOLE DETAIL
DWG. #: SAS-1 NOT TO SCALE



PLAN VIEW @ X-SECTION (C) (C) PLAN VIEW @ X-SECTION (D) (D)



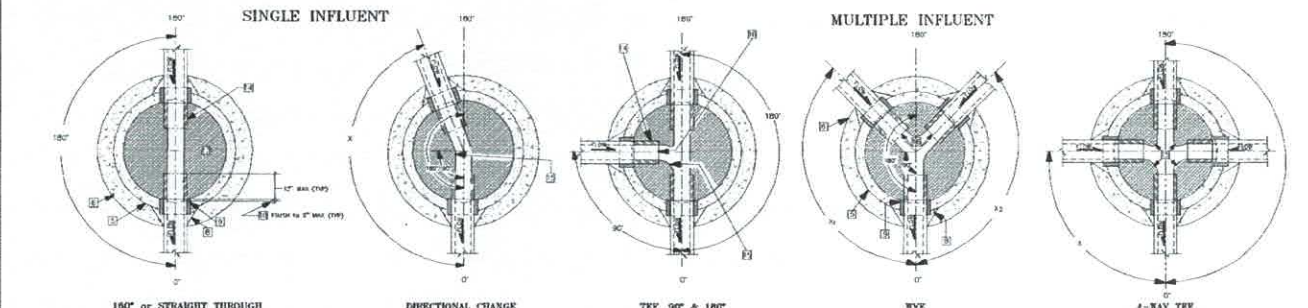
PROFILE VIEW @ X-SECTION (A) (A) PROFILE VIEW @ X-SECTION (B) (B)

MANHOLE TYPE "E" DETAIL/DWG # SAS-2 (See Dwg. # SAS-14 for Type "C" Flat Top)

GENERAL NOTES

CONSTRUCTION REQUIREMENTS	INSTALLATION
<p>CM-1 MATERIALS AND WORK: CURRENT AND PREVIOUS SPECIFICATIONS OR PUBLIC WORKS CONTRACT (referred to as the PWS) NEW SPECIFICATIONS ISSUED BY THE CITY OF SANTA FE.</p> <p>CM-2 APPROVED PLANS: USE PLANS BEARING THE OFFICIAL STAMP OF THE DESIGN ENGINEER AND BEARING THE APPROVAL SIGNATURE OF THE CITY WATER QUALITY DIVISION OR APPROVED CONTRACTOR. CONSTRUCTION REQUIREMENTS SHOWN APPROVED PLANS ONLY, BE REJECTED.</p> <p>CM-3 REPAIR WORK-OF-PIPER: OBTAIN PERMITS FOR THE PROJECT BEFORE CONSIDERING ANY REPAIR CONSTRUCTION. CONSTRUCTION PERFORMED WITHOUT OBTAINED PERMITS SHALL BE REJECTED.</p> <p>CM-4 SUBSTITUTIONS OR CHANGES: ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY WATER QUALITY DIVISION OR CITY APPROVED REPRESENTATIVE PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS OR CHANGES MUST BE SUBMITTED BY THE DESIGN ENGINEER TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE, WHERE APPROPRIATE. SUBSTITUTIONS MUST INCLUDE FABRICATION DIMENSIONS, SECTION ELEVATIONS AND MATERIAL SPECIFICATIONS OF BEST QUALITY TO AVOID SUBSTITUTIONS OR CHANGES. DESIGN ENGINEER SHALL APPROVE AND SIGNIFY THE SUBSTITUTIONS AND CHANGES AND SUBMIT THEM TO THE CITY WATER QUALITY DIVISION FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED.</p> <p>CM-5 CONTRACTOR REQUIREMENTS: CONTRACTOR PERFORMING WORK ON PUBLIC SEWER LINES SHALL BE A LICENSED UTILITY CONTRACTOR.</p>	<p>1-1 LAYERS PVP: AS PER SECTION 101, AN APPROX. PVP SHALL BE PLACED AND BENTED IN A FURROW BENT REGION. GASKET SHALL BE FULLY SEATED AND NOT EXPOSED. PVP SHALL BE LINED THROUGH MANHOLE LOCATIONS ON STRAIGHT AND UP TO 22 1/2 INCHES BENTIONS.</p> <p>1-2 MANHOLE CONSTRUCTION: A. CAST IN PLACE ON UNDERGROUND FROM FREE BOARD. B. FINISH SHALL BE PER PERMANENT WITH COMPLETE COAR BEARING. C. FINISH SHALL BE COMPLETELY WITH NON-SHEDDING COAT AND TYPICAL. D. JOINTS SHALL COMPLETELY WITH NON-SHEDDING COAT AND TYPICAL. E. MANHOLE ADAPTER SHALL BE WITH PVC PIPE AND FILL IN FIBERGLASS WITH NON-SHEDDING COAT. F. CAST IN PLACE MANHOLE SHALL ACHIEVE A MINIMUM OF 2800 PSI COMPRESSIVE STRENGTH BEFORE SETTING PRECAST MANHOLE SECTIONS.</p> <p>1-3 EXISTING AND REPAIRS: AS PER SECTION 101, AN APPROX. EVALUATION BY A REGISTERED PROFESSIONAL ENGINEER SHALL BE REQUIRED. A SOIL ENGINEERING REPORT RECOMMENDING THESE METHODS, MATERIALS OR WORKMANSHIP CONDITIONS SHALL BE USED ON THE REGION AND 12" DIA. OF MANHOLE. CONTRACTOR SHALL BE DETERMINED PER PARTS 1-101.</p>

CONSTRUCTION MATERIALS	FIELD QUALITY CONTROL
<p>CM-1 REINFORCED CONCRETE: A. MANHOLE CAST IN PLACE TO SECTION 101, AS PER PWS FOR EXTRA STRENGTH PVP. B. PLASTER FINISH TO SECTION 101, AS PER PWS, AS APPROVED BY THE CITY. C. 12" MIN. DIA. (305) MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER. D. MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER. E. MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER. F. MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER. G. MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER. H. MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER. I. MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER. J. MANHOLE ADAPTER SHALL BE WITH 12" DIA. (305) MANHOLE ADAPTER.</p>	<p>FOC-1 TESTING AND INSPECTION: A. INSPECTIONS CONDUCTED BY SEWER DIVISION. B. CERTIFICATION RECORD SHEETS SHALL VERIFY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE TO PLANS & SPECIFICATIONS AND SHALL BEHAVE A CERTIFICATION OF COMPLIANCE. SIGNATURE AND APPROVALS PROVIDED BY CONTRACTOR.</p> <p>FOC-2 LEAKAGE TEST: AIR TEST REQUIRED, REFER TO SECTION 101.7 FOR AIR TEST.</p> <p>FOC-3 MANHOLE INSPECTION: CONTRACTOR SHALL PROVIDE A CERTIFIED CITY REPRESENTATIVE INSPECTION AND RECORD TAPES AT HIS OWN EXPENSE.</p> <p>FOC-4 ALL CONSTRUCTION TO EXISTING MANHOLES INCLUDES: RECONSTRUCTION OF THE MANHOLE TO MEET THESE STANDARD CONSTRUCTION DETAILS.</p>



PLAN VIEW OF MANHOLE BASE CONNECTION/DWG. # SAS-3 NOT TO SCALE

CITY OF SANTA FE
WATER QUALITY DIVISION

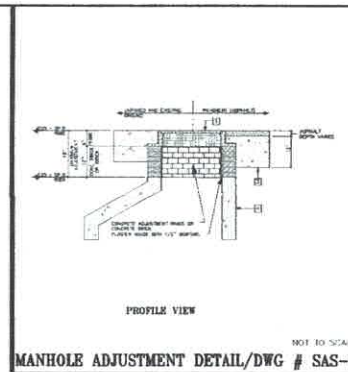
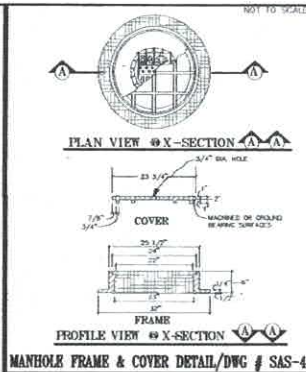
TITLE: SANITARY SEWER
STANDARD CONSTRUCTION DETAILS

DATE: 04-11-2017
DRAWN BY: C. GAYE
CHECKED BY: M. J. GAYE
APPROVED BY: E. BROWN

SHEET NO. SF-1

LEGEND

ITEM	DESCRIPTION
1	MANHOLE FRAME & COVER, refer to manhole frame and cover detail Dwg. No. SAS-4
2	CONCRETE ADJUSTMENT RINGS OR CONCRETE BRICK, refer to concrete adjustment detail Dwg. No. SAS-5
3	CONCRETE COLLAR, refer to concrete collar detail Dwg. No. SAS-6
4	PRECAST REINFORCED CONCRETE RISER, CONE or FLAT TOP, with 5/8"(n) wall thickness, refer to general note CM-2
5	PRECAST REINFORCED CONCRETE BASE RISER, with suitable sized openings, refer to general note CM-2A
6	CONCRETE BASE, refer to concrete base detail Dwg. No. SAS-7
7	SEWER PIPE, refer to general note CM-1
8	0"(n) GROUT FILLET, on upper half of pipe and around base
9	ADAPTER, MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
10	PIPE PENETRATION INTO MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
11	PIPE SUPPORT, CONCRETE, shall extend out-side of manhole a minimum of 18"(n) to top of first joint and shall expose half pipe
12	CONCRETE FILL, 3000 p.s.i., refer to general note CM-6
13	SHELF, to be 0"(n) minimum width with 1"(n) per 1'-0" slope, from crown of pipe
14	CUT UPPER HALF OF PIPE, after manhole has been completed and inspected by engineer
15	HAND FORMED CHANNELS, shall be on a uniform radius and shall not hold water
16	INVERT ELEVATIONS OF LATERAL LINES, shall be the same as the springline elevation of the sewer main, where possible
17	CHANGE SLOPE OF PIPE, at center of manhole
18	APPROVED WATER STOP, to be with type of pipe



GENERAL NOTES

CONSTRUCTION REQUIREMENTS

- CM-1 MATERIALS AND WORK:
 - A. CONFORM WITH THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (Standard as set forth) WITH MODIFICATIONS NOTED BY THE CITY OF SANTA FE.
- CM-2 APPROVED PLANS:
 - A. THIS PLAN BEHIND THE OFFICIAL STAMP OF THE DESIGN ENGINEER AND BEARING THE SIGNATURE OF THE CITY WATER QUALITY CONTROL OR APPROVED REPRESENTATIVE. CONSTRUCTION PERMITTED WITHOUT APPROVED PLANS WILL BE REJECTED.
- CM-3 SEWER HOSE-UP FINISH:
 - A. COVER FINISH FOR THE PROJECT BEFORE CONSTRUCTION AND SEWER CONSTRUCTION PERMITTED WITHOUT APPROVED FINISH WILL BE REJECTED.
 - B. CONSTRUCTION PLANS SHALL INDICATE THE CLASS OF FINISH TO BE USED. CHANGE OF FINISH WILL BE REJECTED IN PVC CLASSIFICATION IS WALL THICKNESS.
- CM-4 SUBSTITUTIONS OR CHANGES:
 - A. ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY WATER QUALITY CONTROL OR CITY APPROVED REPRESENTATIVE PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS OR CHANGES MUST BE IN THE CITY WATER QUALITY CONTROL OR APPROVED REPRESENTATIVE. THESE SUBSTITUTIONS, CHANGES AND MATERIALS SUBSTITUTIONS, INCLUDING SUBSTITUTIONS AND MATERIALS SUBSTITUTIONS OF THE KIND TO JUSTIFY SUBSTITUTION OR CHANGE, SEWER ENGINEER SHALL APPROVE ANY SUBSTITUTION OR SUBSTITUTIONS AND CHANGES AND SEWER TIES IN THE CITY WATER QUALITY CONTROL FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED.
- CM-5 MANUFACTURER'S CERTIFICATE:
 - A. WHEN CERTIFICATE OF COMPLIANCE AND TEST RESULTS ARE REQUIRED FOR MATERIALS, THE MANUFACTURER SHALL BE REQUIRED TO SUBMIT TO THE CITY WATER QUALITY CONTROL APPROVED REPRESENTATIVE AT THE TIME OF DELIVERY EVIDENCE OF COMPLIANCE.
- CM-6 CONTRACTOR REQUIREMENTS:
 - A. CONTRACTOR PERFORMING WORK IN PUBLIC SEWER LINES SHALL BE A LICENSED VITRIFIED CONTRACTOR.

INSTALLATION

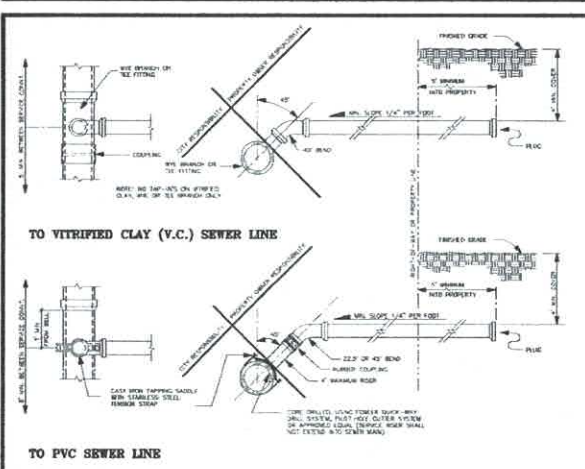
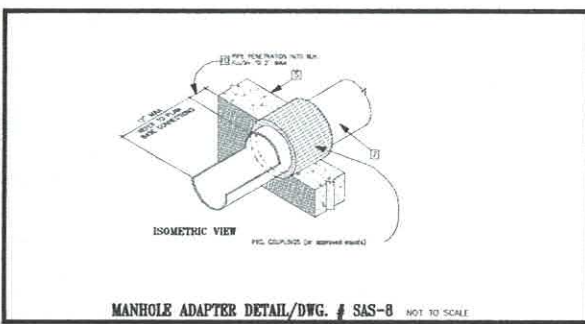
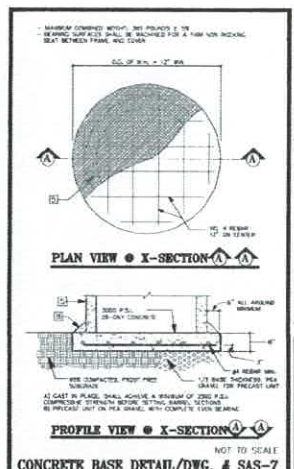
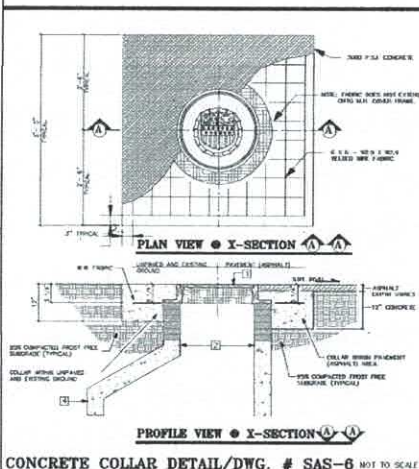
- I-1 LAYING PIPE:
 - A. AS PER SECTION 906, 908 AND 909, PVC SHALL BE PLACED AND BORED IN A PROPER FRESH TRACK. GASKET SHALL BE FULLY SEATED AND NOT EXPOSED. PIPE SHALL BE Laid THROUGH MANHOLE LIGATIONS ON STRAIGHT AND UP TO 20 1/2\"/>
- I-2 MANHOLE CONSTRUCTION:
 - A. SEWER:
 - 1. LAY IN PLACE ON UNDERGROUND FRONT FACE
 - 2. PRECAST LINES ON FEA GROUND WITH COMPLETE OVER BEARING
 - 3. PRECAST RINGS:
 - 1. JOINTS WILL COMPLETELY WITH HOSE-UP FINISH
 - 2. JOINTS AND RINGS SHALL OVER PVC PIPE AND WILL IN PLACEMENT WITH HOSE-UP FINISH
 - 3. LAY IN PLACE WITH HOSE-UP FINISH AND JOINTS OF HOSE UP CONCRETE STRUCTURE BEFORE SETTING PRECAST RINGS SECTION.
 - B. CLEANOUT AND BACKFILL:
 - 1. AS PER SECTION 906, 908 AND 909, MANHOLE WITH PLACING OR SETTING BEHIND IS NOT PERMITTED WITHOUT A SOIL ENGINEERING REPORT RECOMMENDING THE METHOD, MATERIALS OR METHODS OF CONSTRUCTION. SHALL BE USED ON THE BOTTOM AND 12\"/>

CONSTRUCTION MATERIALS

- CM-1 SEWER PIPE (EXCEPT AS NOTED):
 - A. VITRIFIED CLAY, REFER TO SECTION 121.10, 121.10.1 AND 121.10.2.
 - B. PLASTIC (PVC), REFER TO SECTION 121.10, 121.10.1 AND 121.10.2.
 - 1. 18\"/>
 - C. PVC:
 - 1. 12\"/>
 - D. PVC:
 - 1. 12\"/>
 - E. MANHOLE ADAPTERS, ADAPTER GASKET (AG) UNMOUNTED ADAPTERS, OR ADAPTER ADAPTERS:
 - 1. SHALL BE SERVICE STRENGTH CAST IRON DUCT, PVC OR POLYPROPYLENE.
 - 2. VCP PIPE, FACTORY BUILT FITTINGS.
 - 3. PVC PIPE, CAST IRON SERVICE STRENGTH SLABING WITH STAINLESS STEEL STRAP AND FITTINGS, POLYESTER REINFORCED CONCRETE, OR APPROVED EQUAL.
 - 4. POLYPROPYLENE, POLYESTER REINFORCED CONCRETE, OR APPROVED EQUAL.
 - F. SOIL CLASSIFICATION:
 - 1. VCP PIPE, FACTORY BUILT FITTINGS.
 - 2. PVC PIPE, CAST IRON SERVICE STRENGTH SLABING WITH STAINLESS STEEL STRAP AND FITTINGS, POLYESTER REINFORCED CONCRETE, OR APPROVED EQUAL.
 - 3. SOIL CLASSIFICATION PER ASTM D 2487 SHALL BE AS FOLLOWS:

FIELD QUALITY CONTROL

- FC-1 TESTING AND INSPECTION:
 - A. SUPERVISION CONDUCTED BY DESIGN ENGINEER, INSPECTION BY CITY ENGINEER SHALL VERIFY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE TO PLANS & SPECIFICATIONS AND SHALL SUBMIT A CERTIFICATION OF COMPLIANCE THEREWITH WITH PERMITS AND RECORDS.
 - B. CONTRACTOR AND ASSISTANTS PROVIDED BY CONTRACTOR.
- FC-2 LINE AND GRADE:
 - A. ALL GRADE ALLOWABLE TOLERANCE BETWEEN STRUCTURES FROM RECORDS.
 - B. 1/8\"/>
- FC-3 LOADING TESTS:
 - A. AS PER SECTION 906.17, 908.17 AND 909.17.
- FC-4 DEFLECTION TESTING:
 - A. CONTRACTOR SHALL PROVIDE A CERTIFIED CITY ENGINEER INSPECTION AND RECORDS SHEET AT HIS OWN EXPENSE.
- FC-5 ALL CONNECTIONS TO EXISTING MANHOLES:
 - A. RECONSTRUCTION OF EXISTING MANHOLES SHALL BE IN ACCORDANCE TO LATEST REE STANDARD CONSTRUCTION DETAILS.



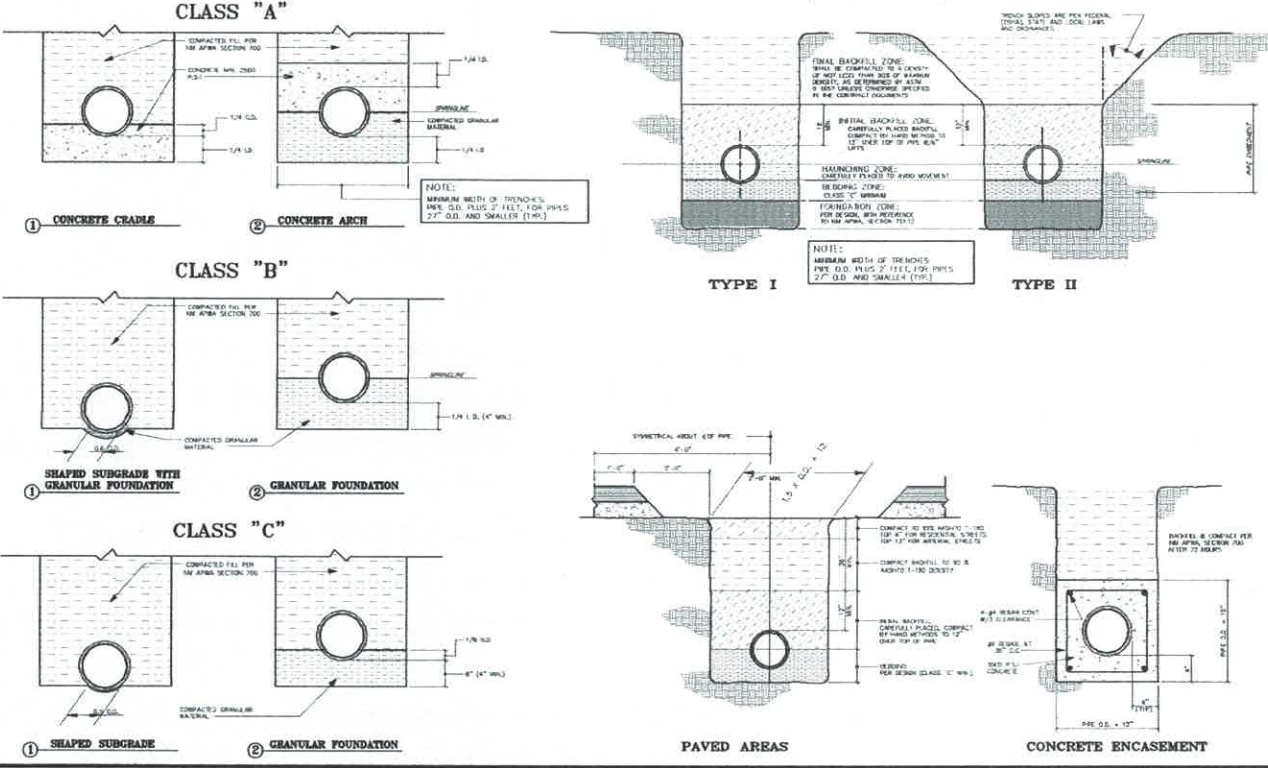
CITY OF SANTA FE
 WATER QUALITY CONTROL
 TITLE: SANITARY SEWER
 STANDARD CONSTRUCTION DETAILS

SHEET NO.

SF-2

DATE REVISION	BY	REASON	FILE #	REVISION

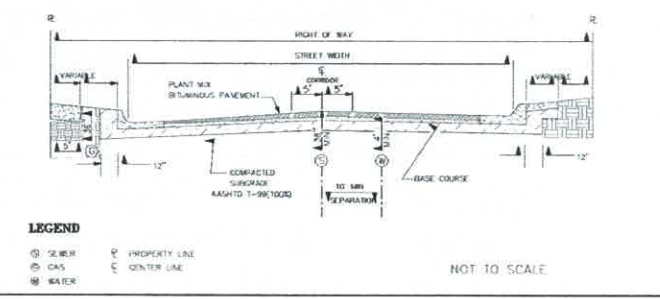
TRENCH BEDDING AND INSTALLATION DETAILS/DWG. # SAS-11 NOT TO SCALE



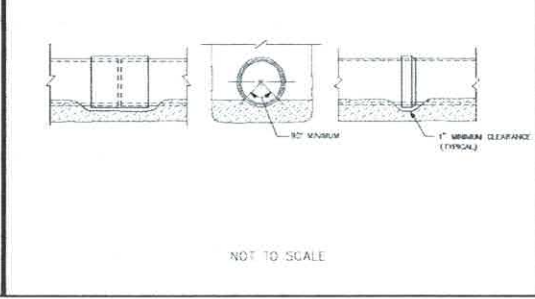
GENERAL NOTES


<p>CONSTRUCTION REQUIREMENTS</p> <p>CS-1 MATERIALS AND WORK: CONSULT NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (Updated to 9th Ed. APWA) WITH MODIFICATIONS ISSUED BY THE CITY OF SANTA FE.</p> <p>CS-2 APPROVED PLANS: USE PLANS BEARING THE OFFICIAL SEAL OF THE DESIGN ENGINEER AND RECORD THE APPROVAL SIGNATURE OF THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IF ANY VIOLATIONS OF THE APPROVED PLANS ARE OBSERVED.</p> <p>CS-3 SINKER HOLES: SINKER HOLES SHALL BE PERFECTLY PLACED BEFORE COMMENCING ANY OTHER CONSTRUCTION. CONSTRUCTION PERSONNEL SHALL OBTAIN PERMITS FROM THE CITY OF SANTA FE BEFORE ANY SINKER HOLES ARE DUG. THE DEPTH OF SINKER HOLES SHALL BE AS SPECIFIED IN THE PLANS. CHANGE OF SINKER HOLE DEPTH IS ALLOWED IF THE CLASSIFICATION OF THE TRENCH IS CHANGED.</p> <p>CS-4 SUBSTITUTIONS OR CHANGES: ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS OR CHANGES MUST BE SUBMITTED BY THE DESIGN ENGINEER TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. APPROVED REPRESENTATIVE MUST INCLUDE FABRICATION DRAWINGS, MATERIAL SPECIFICATIONS AND MATERIAL PROPERTIES OF TEST BARS TO VERIFY SUBSTITUTIONS OR CHANGES. MATERIALS SHALL BE APPROVED AND SUBMIT THEM TO THE CITY WATER QUALITY DIVISION FOR APPROVAL.</p> <p>CS-5 INSPECTION AND TESTING: WHEN CERTIFICATES OF COMPLIANCE AND TEST REPORTS ARE REQUIRED FOR MATERIALS, CONTRACTORS SHALL BE SUBMITTED TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE AT THE TIME OF MATERIAL DELIVERY TO THE JOB SITE.</p> <p>CS-6 CONTRACTOR REQUIREMENTS: CONTRACTOR PERFORMING WORK ON PUBLIC SEWER LINES SHALL BE A LICENSED UTILITY CONTRACTOR.</p>	<p>INSTALLATION</p> <p>I-1 LAYING PIPE: AS PER SECTION 901.08 APWA, PIPE SHALL BE PLACED AND BEDDED IN A FIRST FIVE BEDDING CLASS SHALL BE FULLY SLOTTED AND NOT SLOTTED. PIPE SHALL BE LINED THROUGH UNUSUAL LOCATIONS OR OBSTACLES AND UP TO 20 1/2' TRENCH DEPTHS.</p> <p>A. IF PIPE TRENCH INSTALLATION CONSTRUCTION OCCURS THE LAYERS OF THE APPROVED STANDARD BEDDING SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS. THE DESIGN ENGINEER WILL SPECIFY THE NEW PIPE CLASSIFICATION BY WALL THICKNESS.</p> <p>B. TYPE I TRENCH CONSTRUCTION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 5 FT OR LESS. TYPE II TRENCH CONSTRUCTION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 5 FT OR MORE. TRENCH DEPTHS SHALL BE AS SPECIFIED IN THE PLANS. REFER TO 901.08 APWA STANDARD SECTION 900.</p> <p>I-2 MANHOLE CONSTRUCTION:</p> <p>A. CAST IN PLACE OR PRECASTED FIRST FLOOR:</p> <ol style="list-style-type: none"> 1. CONCRETE SHALL BE P.O. PORTLAND CEMENT AND CLEAN SAND. 2. REINFORCE WITH 1/2" DIA. BARS WITH COMPLETE OVER LAPPING. <p>B. PRECAST MANHOLE:</p> <ol style="list-style-type: none"> 1. JOINTS SHALL BE COMPLETELY GROUTED WITH NON-SHrink GROUT AND FINISH. 2. MANHOLE JOINTS SHALL BE FINISHED WITH NON-SHrink GROUT. 3. CAST IN PLACE BARS SHALL ACHIEVE A MINIMUM OF 5000 PSI COMPRESSIVE STRENGTH BEFORE SETTING PRECAST MANHOLE SECTIONS. <p>I-3 EXCAVATION AND BACKFILL: AS PER SECTION 901.08 APWA, EXCAVATION BY PLACING OF JACOBS BRIDGE IS NOT PERMITTED WITHOUT A SOIL COMPASSION REPORT DETERMINING SOIL BEHAVIOR. MECHANICAL OR CHEMICAL CORROSION SHALL NOT BE USED ON THE BEDDING AND 17% OF MOISTURE. BACKFILL COMPACTION SHALL BE DETERMINED PER SECTION 9-100.</p>
<p>CONSTRUCTION MATERIALS</p> <p>CM-1 SINKER PIPE (CONCRETE REQUIRED):</p> <ol style="list-style-type: none"> 1. VERIFIED CLASS REFER TO SECTION 125.08 APWA FOR OTHER TRENCH VOP. 2. MANHOLE PIPES REFER TO SECTION 121.08 APWA AS REQUIRED BY THE CITY. 3. 12" DIA. (12" DIA) MANHOLE PIPES: <ol style="list-style-type: none"> 1. 12" DIA. (12" DIA) MANHOLE PIPES SHALL BE 12" DIA. (12" DIA) MANHOLE PIPES. 2. LARGER THAN 12" (12" DIA) MANHOLE PIPES SHALL BE 12" DIA. (12" DIA) MANHOLE PIPES. <p>CM-2 CONCRETE (CONCRETE REQUIRED):</p> <ol style="list-style-type: none"> 1. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 2. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 3. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 4. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 5. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 6. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 7. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 8. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 9. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 10. CONCRETE SHALL BE AS PER SECTION 101.08 APWA. 	<p>FIELD QUALITY CONTROL</p> <p>FOC-1 TESTING AND INSPECTION:</p> <ol style="list-style-type: none"> 1. SUPERVISION: CONDUCTED BY DESIGN ENGINEER. 2. INSPECTION: DESIGN ENGINEER SHALL VERIFY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE TO PLANS & SPECIFICATIONS AND SHALL SIGN & DATE ALL INSPECTION REPORTS. 3. INSPECTION AND ASSESSMENT: PROVIDED BY CONTRACTOR. <p>FOC-2 LINE BENCHING:</p> <ol style="list-style-type: none"> 1. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 2. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 3. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 4. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 5. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 6. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 7. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 8. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 9. BENCHING SHALL BE AS PER SECTION 101.08 APWA. 10. BENCHING SHALL BE AS PER SECTION 101.08 APWA. <p>FOC-3 LEAKAGE TEST:</p> <ol style="list-style-type: none"> 1. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 2. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 3. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 4. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 5. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 6. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 7. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 8. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 9. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. 10. LEAKAGE TEST SHALL BE AS PER SECTION 101.08 APWA. <p>FOC-4 TRENCH INSPECTION:</p> <ol style="list-style-type: none"> 1. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 2. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 3. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 4. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 5. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 6. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 7. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 8. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 9. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. 10. TRENCH INSPECTION SHALL BE AS PER SECTION 101.08 APWA. <p>FOC-5 ALL CONSTRUCTION TO EXISTING MANHOLES INCLUDES: CONTRACTOR SHALL PROVIDE A CHECKED COPY OF ALL CONSTRUCTION DETAILS TO MEET THESE REQUIREMENTS.</p>

TYPICAL UTILITIES SEPARATION DETAIL/DWG. # SAS-12



BELL OR COUPLING INSTALLATION DETAIL/DWG. # SAS-13





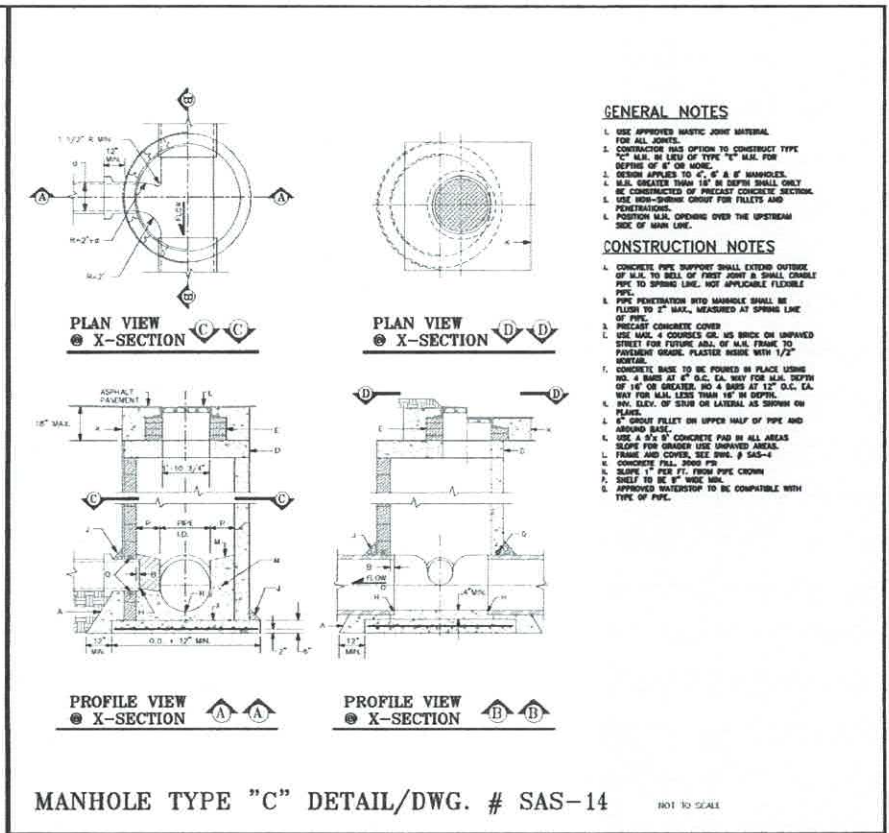
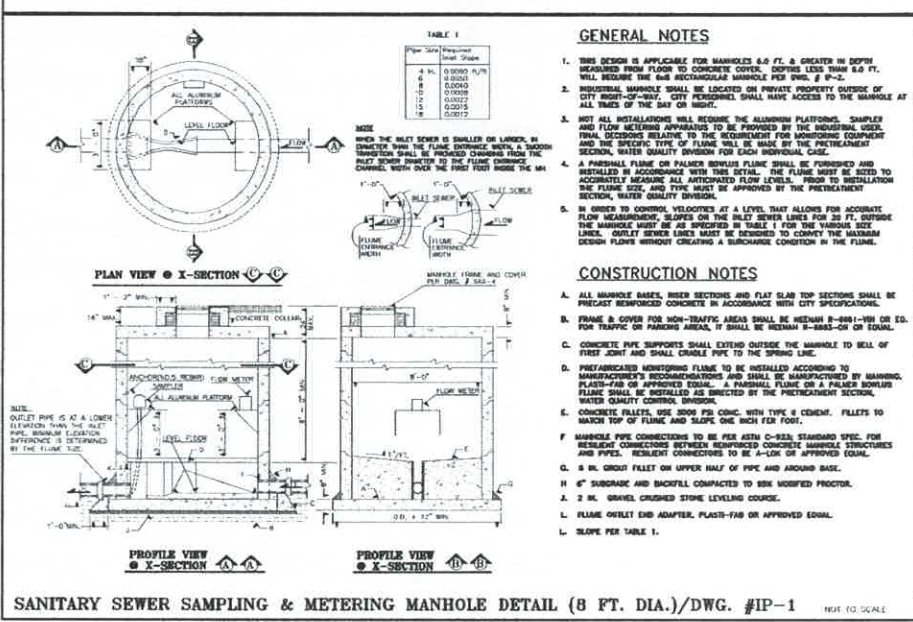
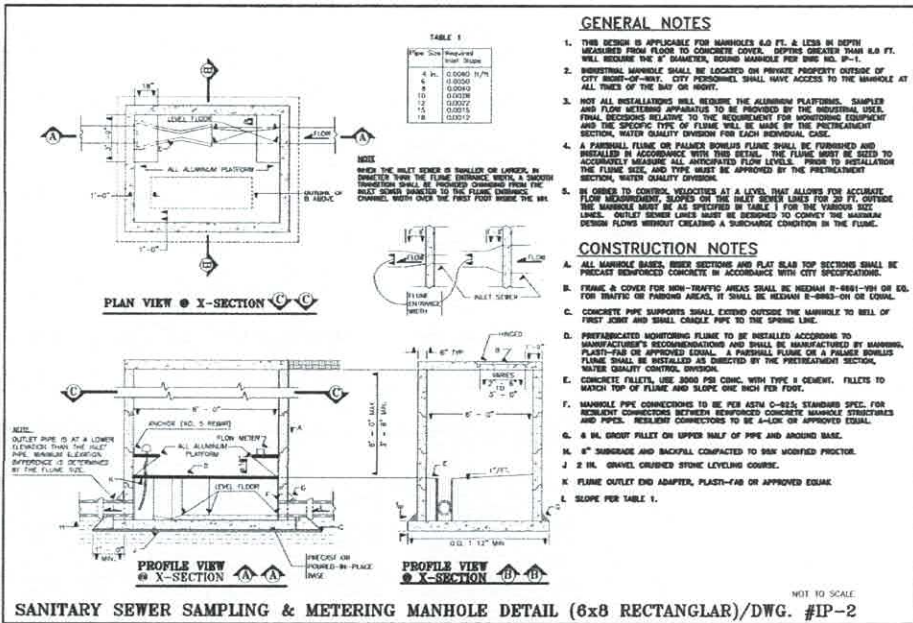
CITY OF SANTA FE
WATER QUALITY DIVISION

TITLE: SANITARY SEWER
STANDARD CONSTRUCTION DETAILS

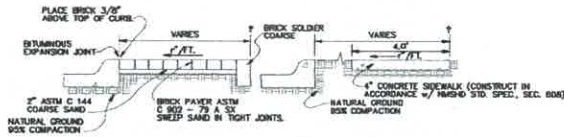
DATE: MAY 2002
DRAWN BY: S. CHANEY
CHECKED BY: S. CHANEY
APPROVED BY: S. CHANEY

SHEET NO.

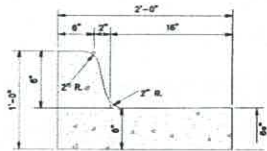
SF-3



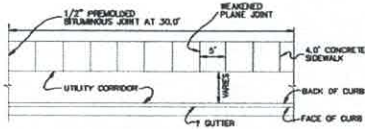
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	TITLE: SANITARY SEWER STANDARD CONSTRUCTION DETAILS	SF-4
DATE: JULY 1988 DRAWN BY: S. CHASE CHECKED BY: S. CHASE APPROVED BY: C. BOHNE	REVISIONS 1. 8-1-88 2. 10-1-88	FILE # 010001000000-4



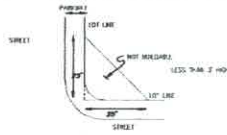
BRICK PAVER and SIDEWALK SECTION



STANDARD CURB & GUTTER

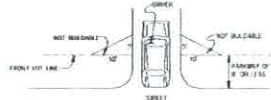


TYPICAL SIDEWALK PLAN

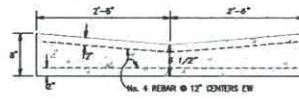


INTERSECTION SIGHT TRIANGLE

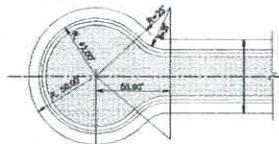
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DRIVEWAY SIGHT TRIANGLE



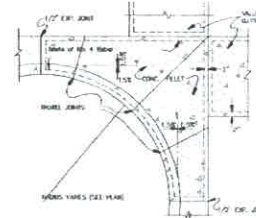
TYPE II VALLEY GUTTER



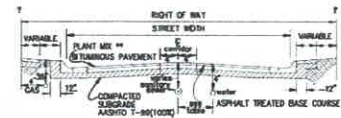
TYPICAL CUL-DE-SAC DETAIL



SECTION THROUGH STANDARD CURB RETURN



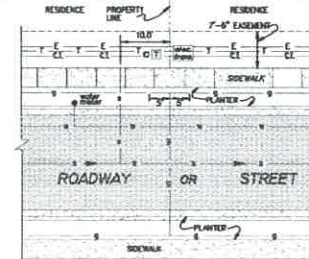
FILLET/CURB RETURN



TYPICAL RESIDENTIAL STREET

STREET CLASS	ACCESS DENSITY	ADT	2' CURB & GUTTER	RIGHT OF WAY	ASPHALT WIDTH	TREATED ASPHALT THICKNESS	PLANT SET REF. P.A.S.E.	UTILITY LOCATIONS	SEWER	WATER
ARTERIAL	---	---	YES	48.00'	48.00'	4"	---	---	---	---
COLLECTOR	125-375	1000-5000	YES	50.00'	38.00'	3"	2"	8.0' CORN.	10.0'	10.0'
SUB-COLLECT.	30-125	200-1300	YES	44.00'	24.00'	2"	2"	8.0' CORN.	10.0'	10.0'
LANE	0-30	25-350	NO	38.00'	20.00'	2"	2"	8.0' CORN.	5.0'	5.0'
PLACE	0-20	0-200	NO	38.00'	18.00'	2"	2"	8.0' CORN.	5.0'	5.0'

* REQUIRED ASHIRT OR NICHIO PAVEMENT DESIGN



UTILITY SERVICE LOCATIONS

- NOTE: SEWER STUBOUT INSTALLATION 0'-10' FROM LOWER PROPERTY LINE.
- UTILITIES MAY REQUIRE CLEARING & LEVELING OF EASEMENTS. VERIFY w/ APPROPRIATE UTILITIES BEFORE FINAL PLAT SUBMITTAL.
 - WATER ON NORTH AND EAST SIDE OF STREET.
 - GAS ON SOUTH AND WEST SIDE OF GRAVEL STREETS.
 - IF STREET IS CURVED OR LOOPED, SIDE OF STREET FOR UTILITIES WILL BE DETERMINED AT INTERSECTION CLOSEST TO THE PLAZA.

CITY OF SANTA FE

RESIDENTIAL STREET DETAILS

DRAWN BY: *Charles Gray* CHECKED BY: _____ DATE: _____

APPROVED BY: *SF02 07/01/06* SERIAL # _____

SF-5

GENERAL NOTES

1. THESE DETAILS ARE TO BE USED FOR ALL NEW CONSTRUCTION UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
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ACCESSIBLE PEDESTRIAN SIGNALS AND PAVEMENT SURFING

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ALTERATIONS TO EXISTING FACILITIES - GENERAL NOTES

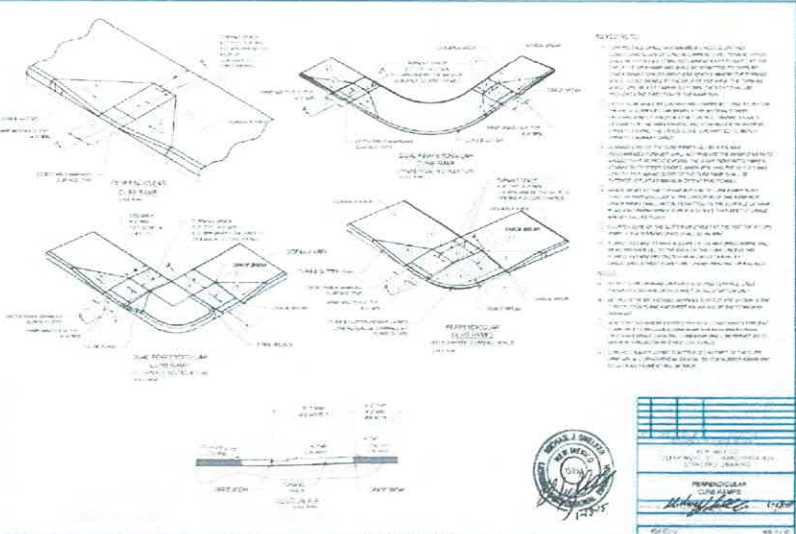
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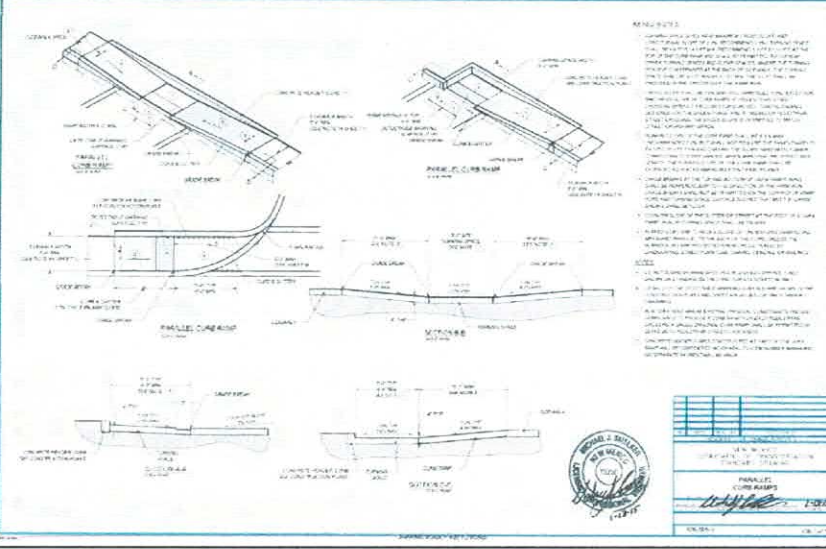
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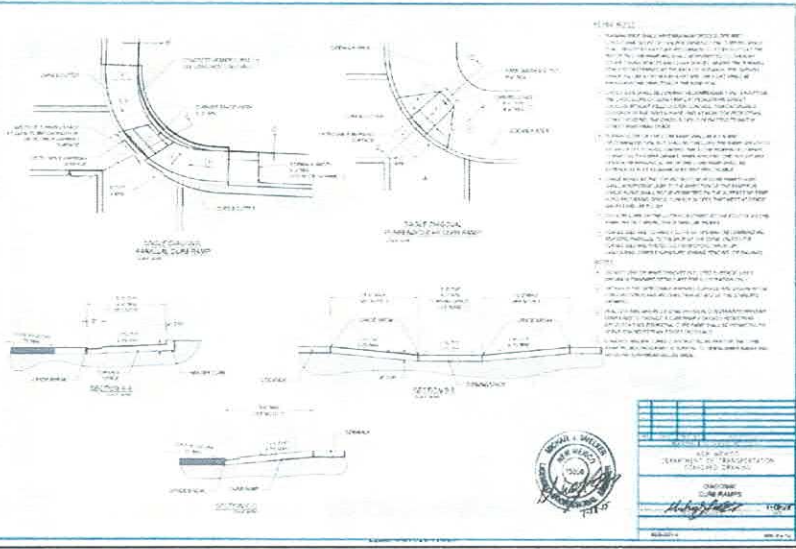
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 CHECKED BY: [Signature]
 DATE: 1/20/21



NO.	REVISION	DATE



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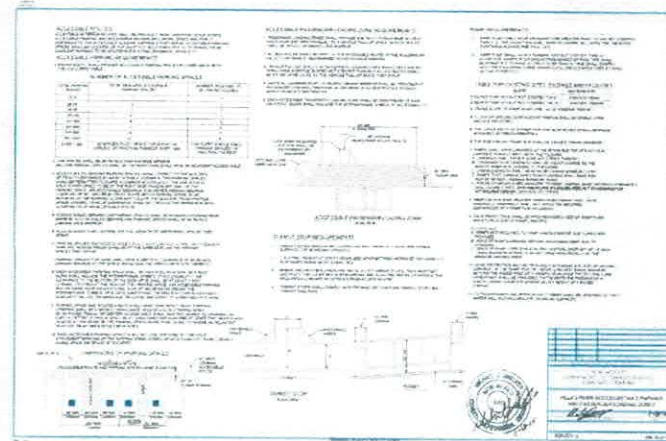
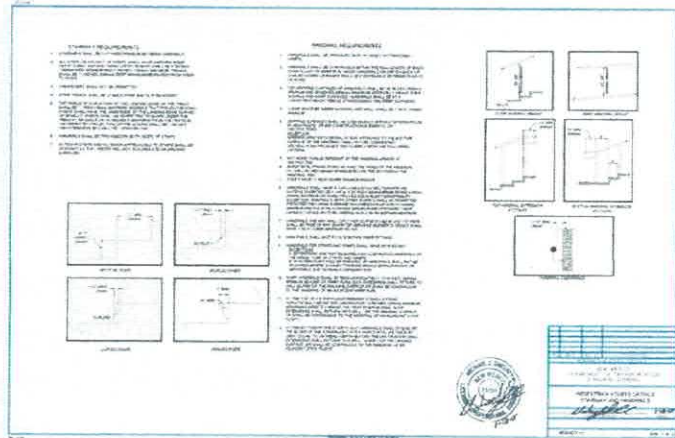
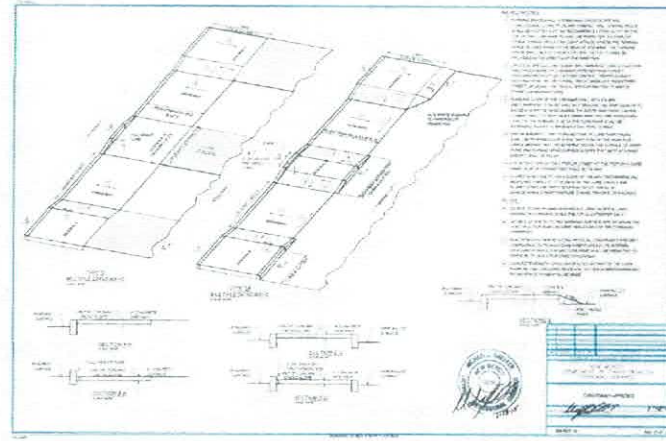
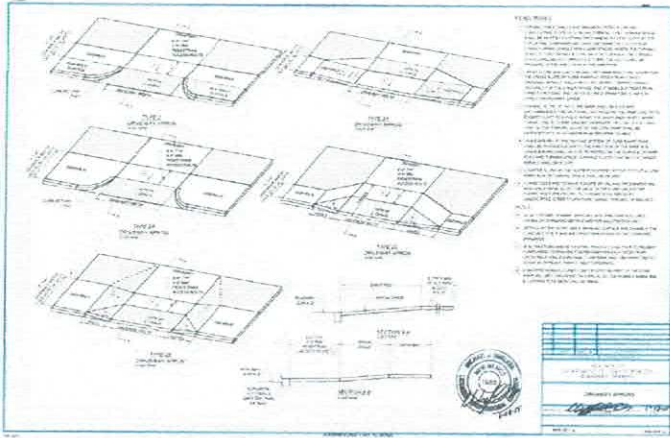


NO.	REVISION	DATE

Civil Engineering & Water Resources & Traffic Engineering
W.E. Walker Engineering
 800 Camino Sierra Vista • Santa Fe, NM 87505
 505-822-2800
 505-822-2801
 505-822-2802
 505-822-2803
 505-822-2804
 505-822-2805
 505-822-2806
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NO.	REVISION	DATE

CITY REVIEW SHEET DATE
 CITY OF SANTA FE
 STANDARD DETAILS
 SHEET TITLE
 SIDEWALK CURB
 DETAILS
 SHEET NO.
 PAD-1



Civil Engineering • Water Resources • Traffic Engineering
W. E. Walker Engineering
 905 Camino Sierra Vista • Santa Fe, NM 87505
 505-822-7880
 FAX 505-822-3039
 E-MAIL: info@wee-engineering.com

NO. REVISION BY APP DATE
 PROJECT: 700 INDIANOS BY: A.E.P. M.P.P.
 FILE: 608 PAD-3 DRAWN BY: M.P.P. M.P.P.
 DATE: 7/26/07 CHECKED BY: M.P.P. M.P.P.
 SCALE: AS NOTED

CITY REVIEW
 PROJECT: CITY OF SANTA FE
 STANDARD DETAILS
 STREET TITLE: PUBLIC SIDEWALK DETAILS

SHEET NO.
PAD3