



TWILIGHT HOMES-CORDOVA

CORDOVA RESIDENCE
 911 OLD SANTA FE TRAIL
 SANTA FE, NEW MEXICO 87505



S&V Designs, LLC
 (505) 249-4157
 sandvdesignsllc@gmail.com

NOTE: CONTRACTOR SHALL
 COORDINATE ALL SHOP
 DRAWINGS AND REVIEW THEM
 FOR ACCURACY AND
 COMPLETENESS.

AREA TABULATION

FIRST FLOOR LIVING	2963
SECOND FLOOR LIVING	0
TOTAL LIVING	2963
ENTRY PORCH	124
BACK PORCH	810
GARAGE	884
TOTAL AREA	4781

SHEET LIST

- A-1 COVER SHEET
- A-2 ELEVATIONS
- A-3 SIDE ELEVATIONS
- A-4 SITE PLAN
- A-5 FLOOR PLAN
- A-6 FOUNDATION PLAN
- A-7 DIMENSION PLAN
- A-8 FRAMING PLAN
- A-9 ELECTRICAL PLAN
- A-10 BRACE WALL PLAN
- A-11 DETAILS

COVER SHEET

SCALE:
 APRIL 7, 2025

A-1

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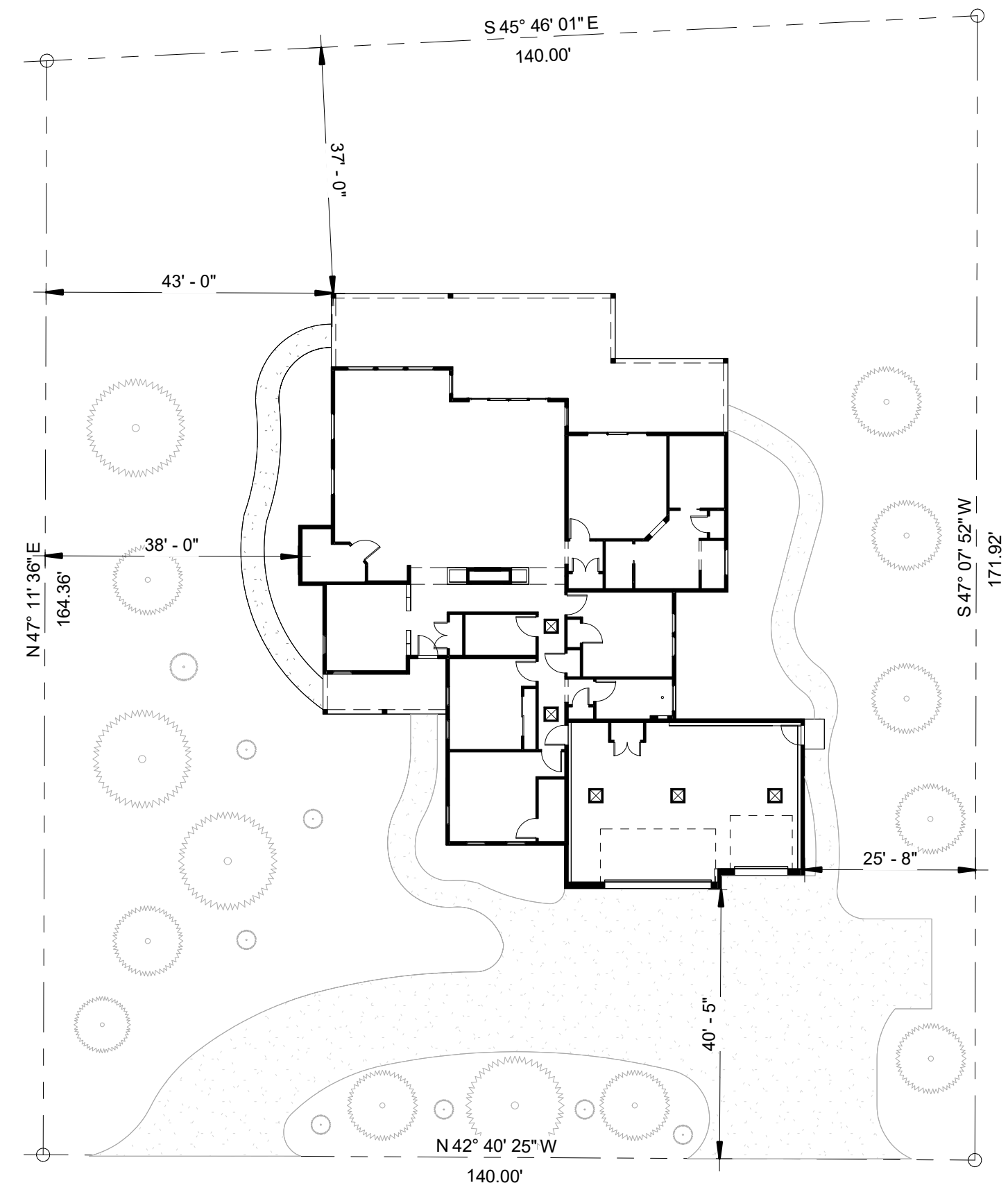
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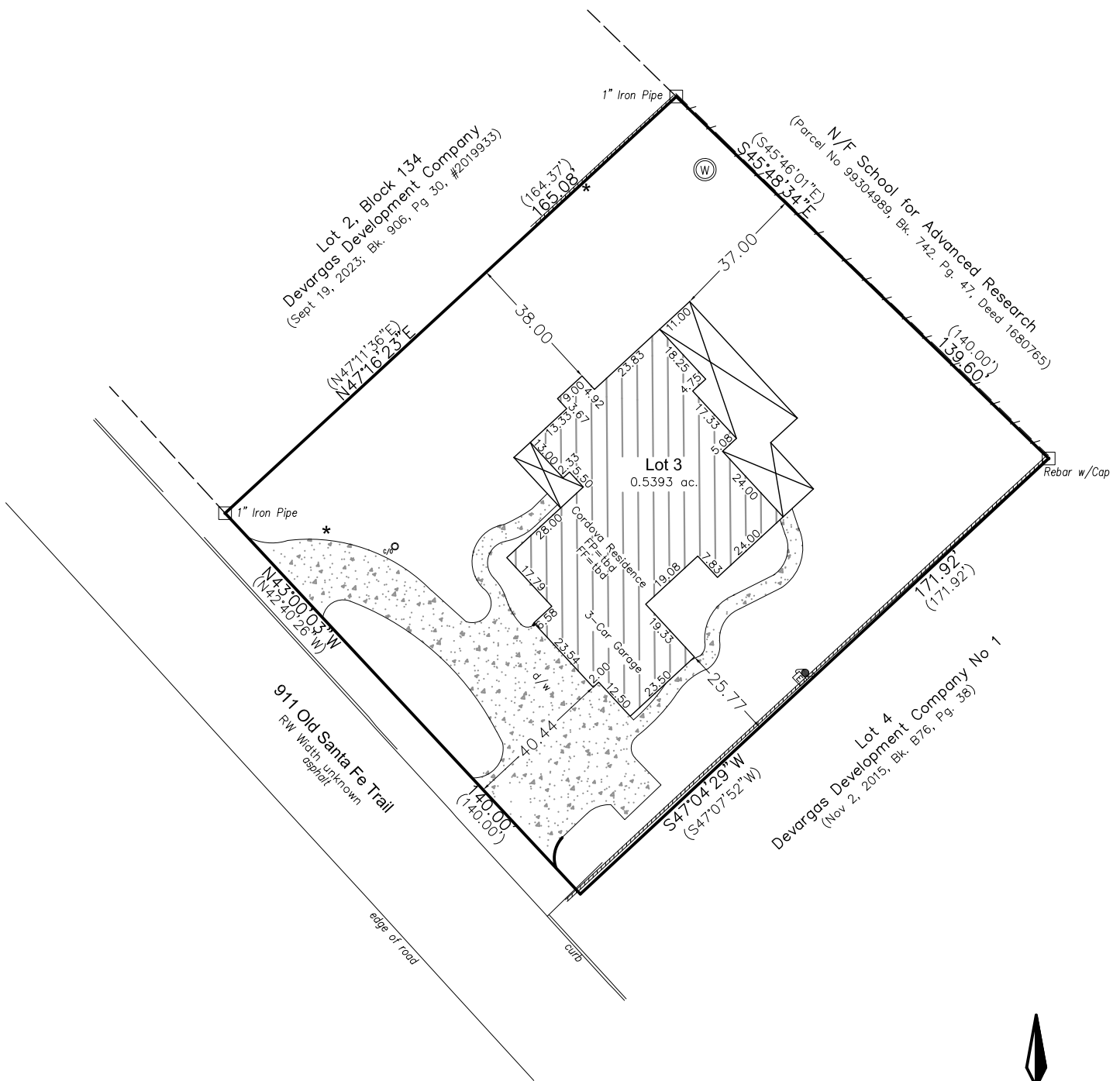
SITE PLAN	
SCALE: 1" = 20'-0"	A-4
APRIL 7, 2025	



911 SANTA FE TRAIL

SITE PLAN

SCALE: 1" = 20'-0"



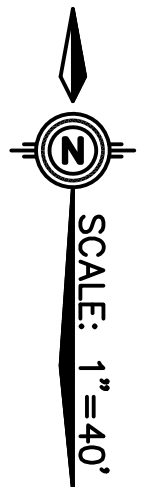
Legend

Symbols shown are graphic only. The symbol size and orientation does not necessarily represent the real size or orientation of the feature.

- Fnd Monument (As Noted)
- Underground Well Equipment
- Spigot
- Cleanout
- Utility / Power Pole
- Electric Meter
- Fence
- Wall

Concrete Table

Driveway	TBD sf
Apron	TBD sf
Sidewalk	TBD sf
Leadwalk	184 sf



PLOT PLAN

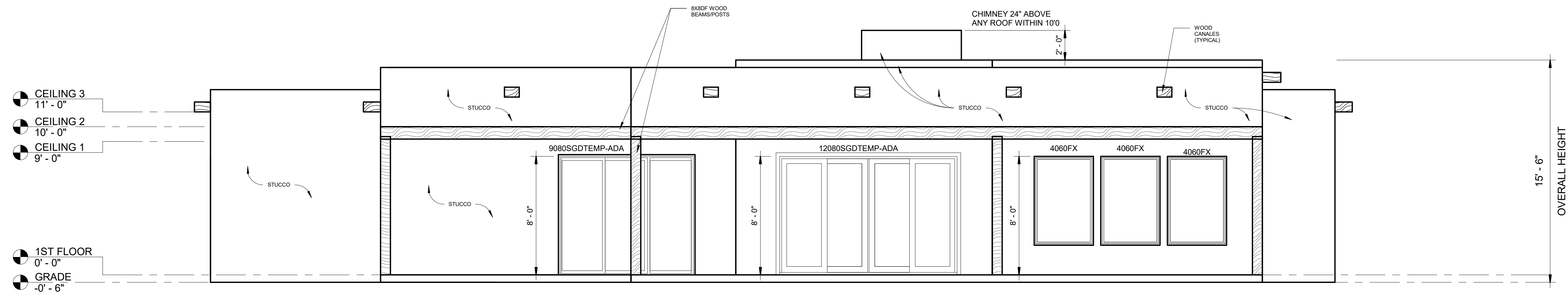
Lot 3
Devargas Development Company
911 Old Santa Fe Trail

1. PROVIDE 28' WIDE DRIVEWAY WITH MATCHING CURB.
2. EXTERIOR COLORS & LANDSCAPING SHALL COMPLY TO THE SECTOR DEVELOPMENT PLAN AND/OR SUBDIVISION REQUIREMENTS

MTV ENTERPRISES, LLC

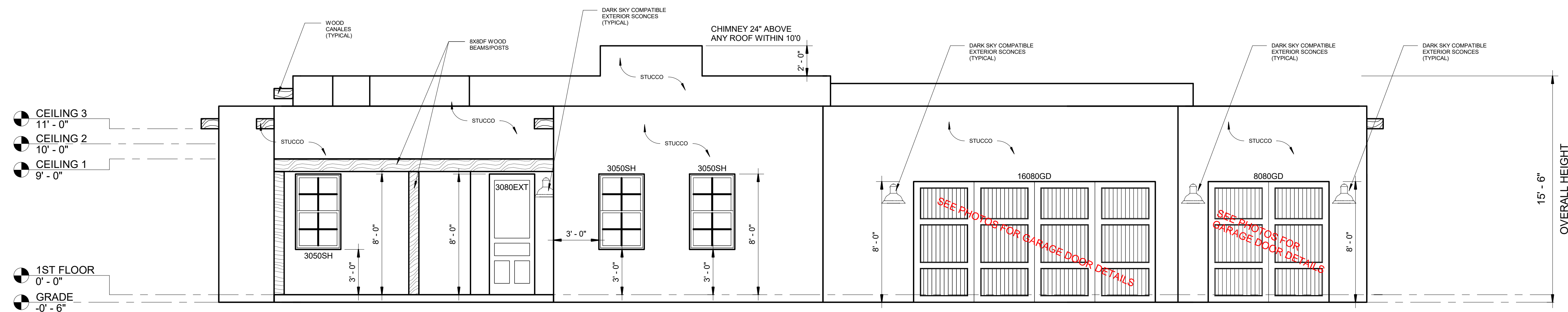
Community Sciences Corporation
 Land Surveying
 (505) 897.0000

- *STUCCO NOTES:**
1. STUCCO CONTROL JOINTS EVERY 18" VERTICALLY AND AT EVERY TOP PLATE HORIZONTALLY
 2. ALL EXTERIOR CORNERS TO HAVE ROUNDED STUCCO CORNERS



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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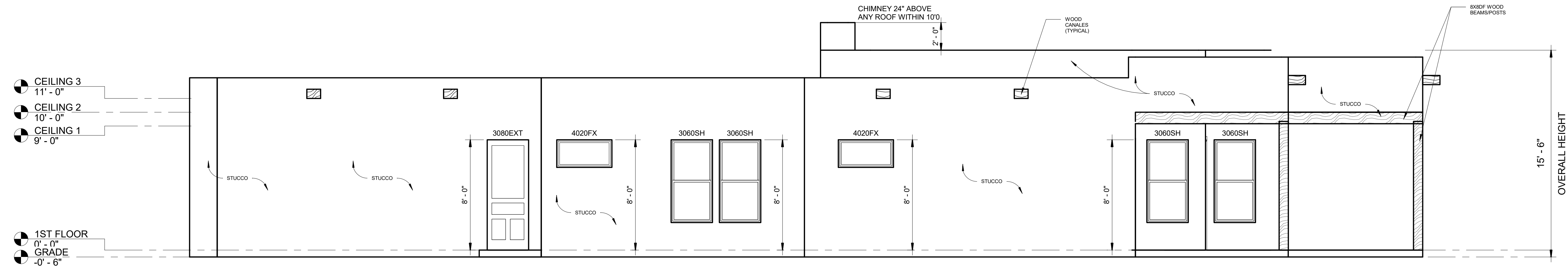
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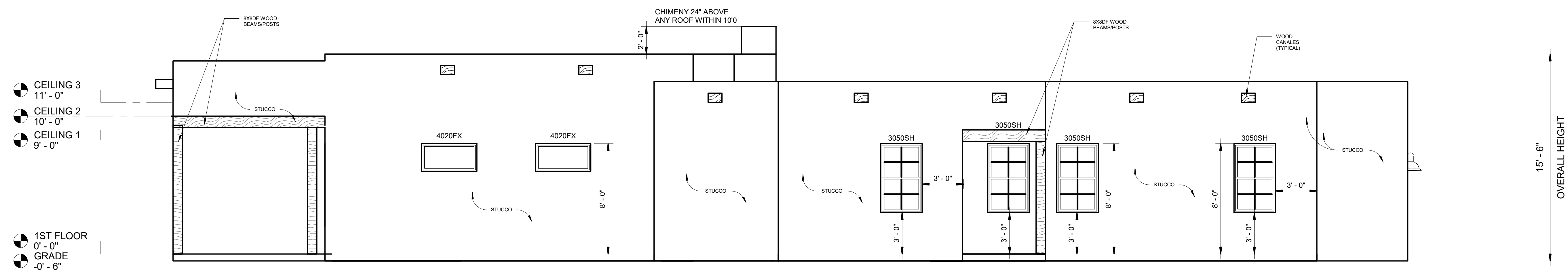
ELEVATIONS	
SCALE: 1/4" = 1'-0"	A-2
APRIL 7, 2025	

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EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

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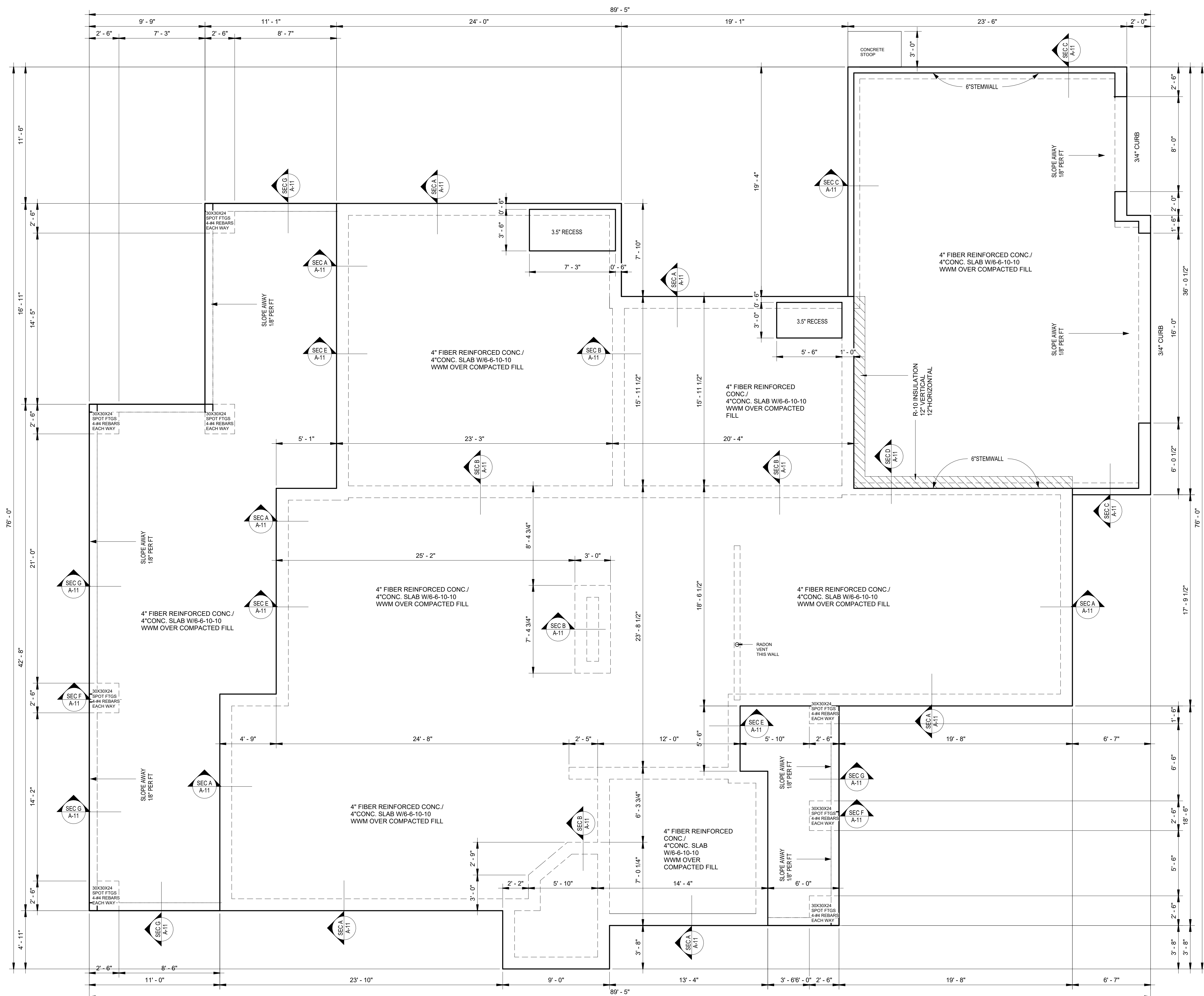
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SIDE ELEVATIONS	
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CONCRETE SLAB REINFORCEMENT R506.2.4

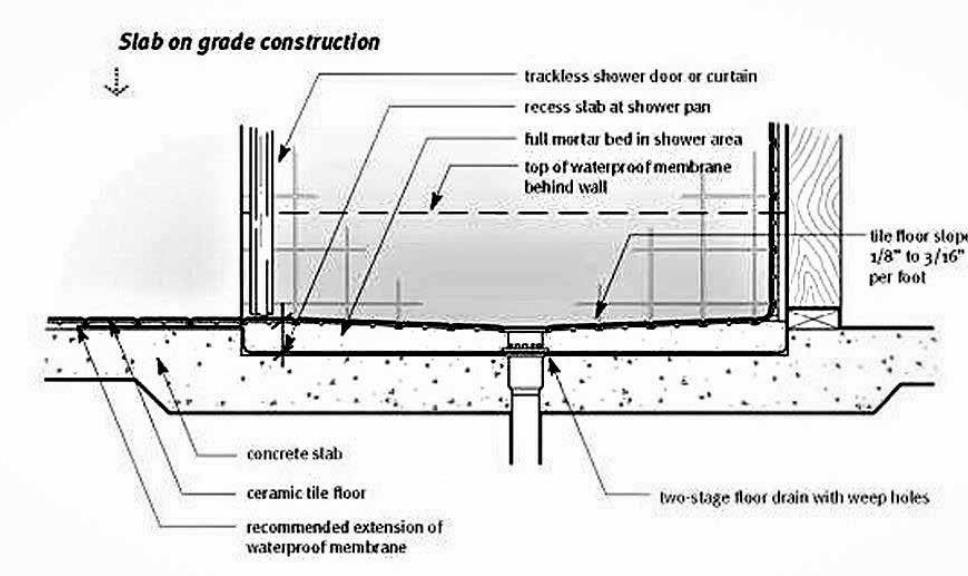
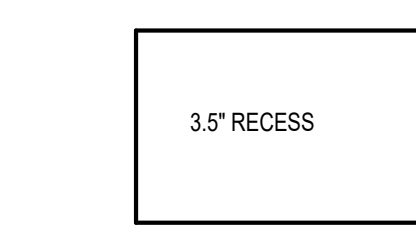
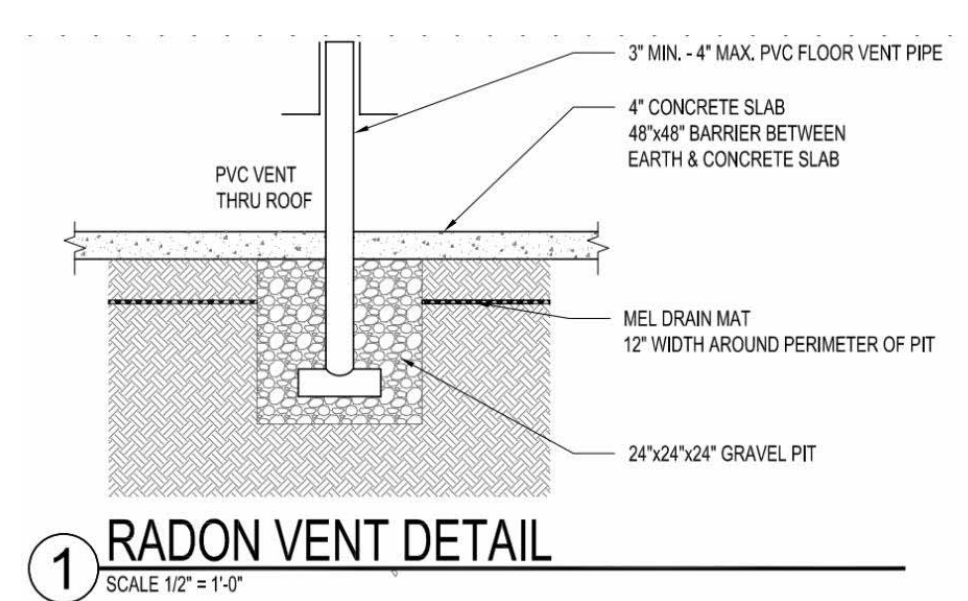
*WHERE PROVIDED REINFORCEMENT SHALL BE SUPPORTED IN CENTER TO UPPER 1/3 OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT.

ELECTRICAL CONDUIT
TO BE PLACED BEFORE SLAB POUR.

FOUNDATION NOTES

1. ALL WORK SHALL CONFORM TO 2021 IRC.
2. THE AREA WITHIN THE FOUNDATION WALLS SHALL HAVE ALL VEGETATION, TOP SOIL, AND FOREIGN MATERIAL REMOVED.
3. FILL MATERIAL SHALL BE FREE OF VEGETATION FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTH SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL AND 8" FOR EARTH.
4. ENGINEER CERTIFICATION SHALL BE REQUIRED FOR ANY CONCRETE POURED WITHOUT INSPECTION.
5. CAST IN PLACE CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
6. CONCRETE SLAB-ON GRADE FLOORS SHALL BE A MINIMUM OF 4" WITH A MINIMUM OF 12" WIDTH AND 24" DEPTH.
7. ALL CMU WALLS FOR FOUNDATION TO BE 8"x8"x16" MIN WITH JOINT REINFORCEMENT 16" O.C. VERTICALLY AND 48" O.C. MAX.
8. MINIMUM 1/2"x10" ANCHOR BOLTS AT 4' O.C. AND 12" FROM EVERY CORNER. POWDER ACTUATED FASTENERS 24" O.C. MAX AND WITHIN 12" FROM END PLATE FOR INTERIOR BEARING SIDE PLATES, EXCLUDING CMU STEM WALLS.
9. 2-#4 CONTINUOUS REBAR AT FOOTINGS MIN WITH MIN 40" DIAM LAP AT JOINTS. REINFORCEMENT STEEL SECURED IN PLACE WITH MIN 3" COVERAGE.
10. INTERIOR LOAD BEARING WALLS 12" MIN WITH X 12" MIN DEPTH AT ALL INTERIOR FOOTINGS.
11. ALL ADOBE WALL FOOTINGS TO BE 2" WIDER THAN WALL ABOVE FLOOR. STABILIZED BOND BEAM MIN 5"x10" WITH 2-#4 REBAR.
12. 2"x24" R-10 RIGID INSULATION AT EXTERIOR PERIMETER OF HEATED SPACE AND AT GARAGE SEPARATION WALL. WOOD FLOOR JOISTS AND 12" TO BOTTOM OF WOOD GIRDERS. PROVIDE A MIN CRAWL SPACE OF 18"x24" WITH CROSS VENTILATION OF MIN 1 SF PER 150 SF OF UNDER FLOOR AREA.
13. MIN 3"x3" LANDING IS REQUIRED OUTSIDE OF EVERY DOOR LEADING TO EXTERIOR OF BUILDING.
14. AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE SHOULD BE LOCATED IN AND NEAR BOTTOM OF CONCRETE FOUNDATION OR FOOTING IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20" OF ONE OR MORE ELECTRICALLY CONDUCTIVE STEEL REINFORCING REBAR OF NOT LESS THAN 1/2" DIAM.
15. DESIGN SOIL BEARING PRESSURE 2000 PSI WITH FOOTINGS AND SLAB PLACED ON ENGINEERED COMPACTED FILL.
16. RIGID INSULATION TO BE 2" R-10 MIN. EXTRUDED POLYSTYRENE OR POLYISOCYANURATE FOAM.
17. SLABS SHALL BE PLACED ON COMPACTED FILL. COMPACTION SHALL EXTEND 5 FEET BEYOND EDGES OF FOOTINGS. LATERALLY SHALL GIVE A DEPTH OF 2 FT BENEATH BEARINGS. ELEVATIONS OF FOOTINGS AND 12" IN BENEATH SLABS ON GRADE. FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BENEATH SLABS.
18. LAP ALL REINFORCING BARS 40" DIAM (UNLESS OTHERWISE NOTED).
19. ALL HORIZONTAL REINFORCING IN FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND SPACING AS THE HORIZONTAL BARS WITH LAP LENGTH.

NOTE: MIN 2 ANCHOR BOLTS @ ALL WALL BRACE LOCATIONS



RECESS CONCRETE @ SHOWER

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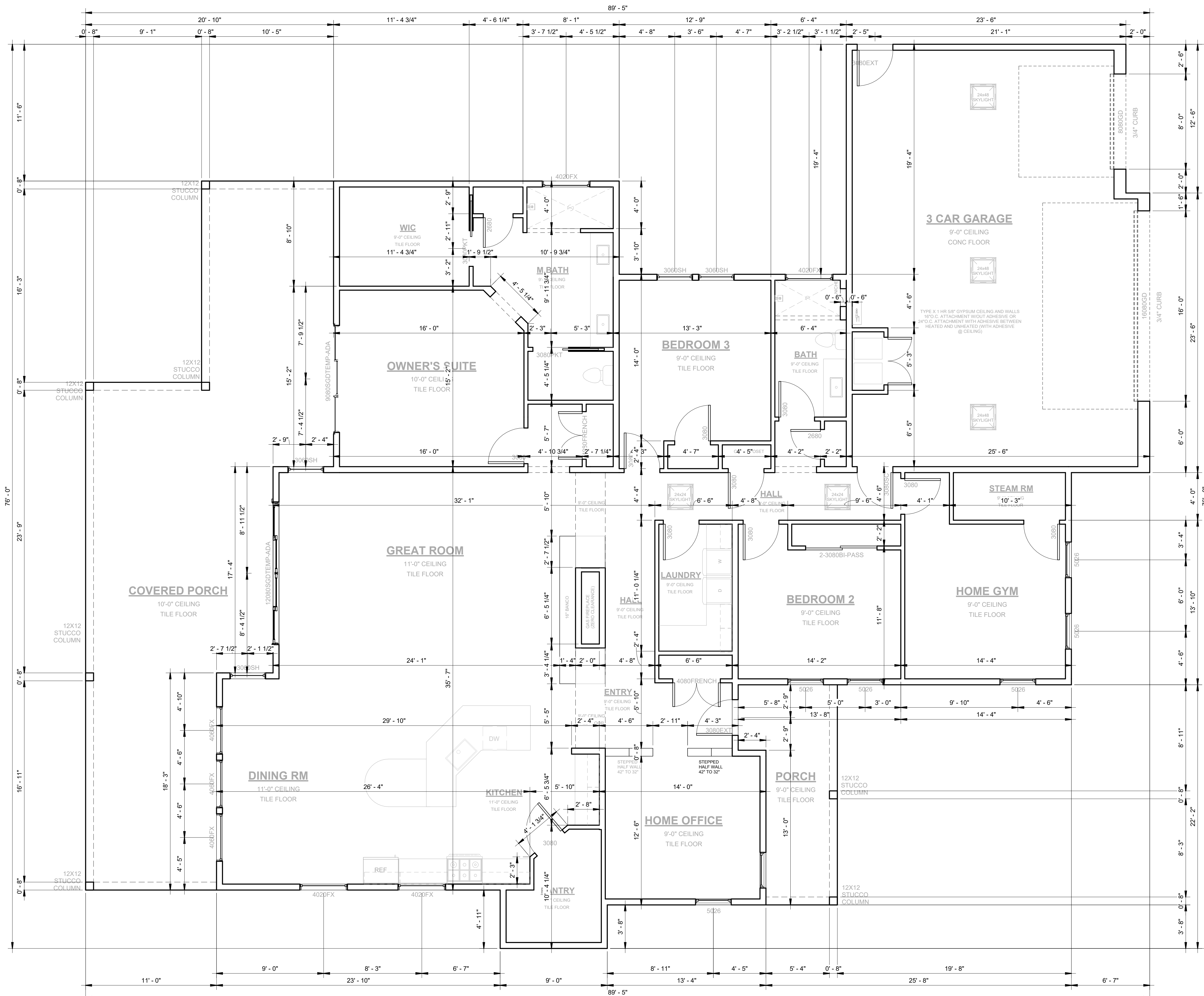
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
APRIL 7, 2025

A-6

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



DIMENSION PLAN

SCALE: 1/4" = 1'-0"

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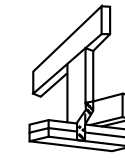
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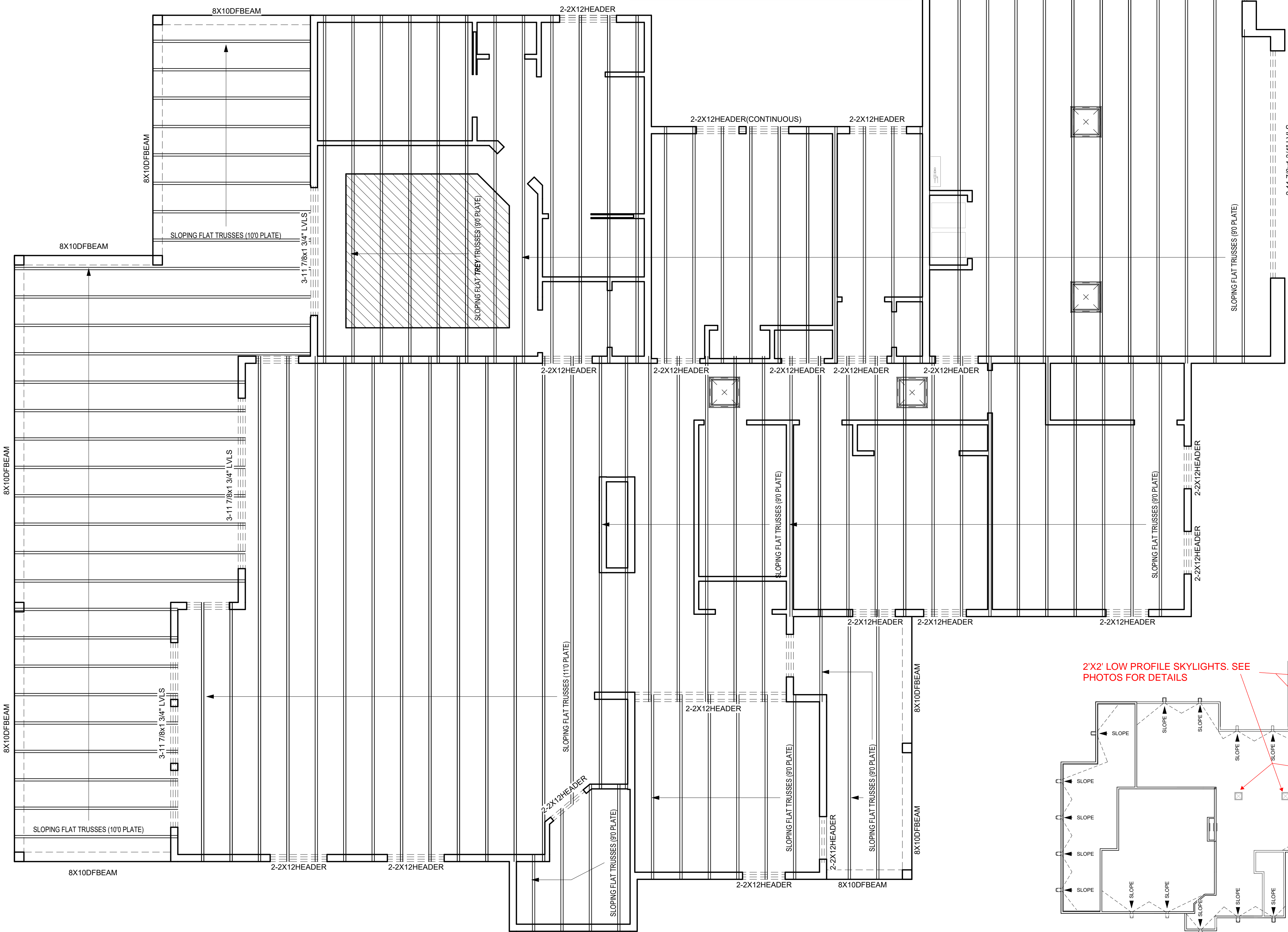
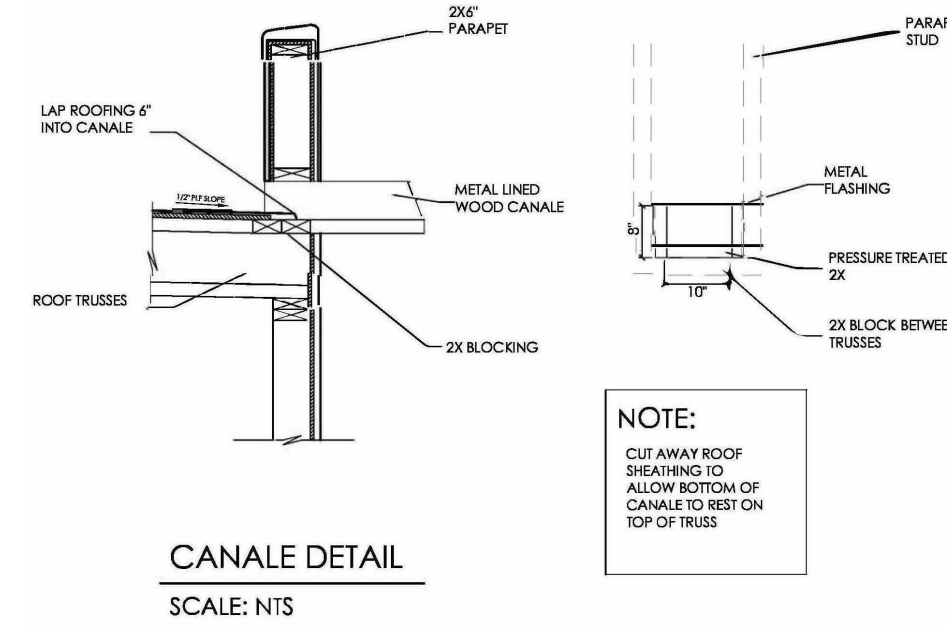
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DIMENSION PLAN	
SCALE: 1/4" = 1'-0"	A-7
APRIL 7, 2025	



NOTE: SIMPSON STRONG-TIE H2.5A 18-GUAGE (TYPICAL)



FRAMING PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES FRAMING:

- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE 2021 IRC REQUIREMENTS AND REGULATIONS OF THE CITY, COUNTY, AND STATE JURISDICTION.
- A HOUSE NUMBER SHALL BE DISPLAYED IN A PROMINENT MANNER SO IT IS REASONABLE VISIBLE TO EMERGENCY VEHICLES TO LOCATE THE RESIDENCE. MATERIAL LOCATION AND MOUNTING HEIGHT PER OWNER/BUILDER DISCRETION.

TRUSS NOTES

- ENGINEERING FOR ALL TRUSSES TO BE PROVIDED BY MANUFACTURER.
- PRE-FABRICATED WOOD TRUSSES TO BE PROVIDED BY AN APPROVED FABRICATOR. TRUSS DIAGRAMS TO BE AVAILABLE AT THE TIME OF FRAMING INSPECTION.
- ALL SLOPING FLAT TRUSSES TO HAVE A LOW END HEEL HEIGHT OF 16" (UNLESS OTHERWISE NOTED).
- TRUSS MFR. TO KEY TRUSSES LIKE PLAN.

CARPENTRY NOTES

- ALL SILL PLATES SHALL BE TREATED OR FOUNDATION REDWOOD PER 2015 IRC. EXTERIOR SILL PLATE SHALL BE SEALED AND BOLTED TO FOUNDATION WALL PER DETAILS.
- ALL PRE-MANUFACTURED ROOF AND FLOOR TRUSSES SHALL CONFORM TO ANSI STANDARDS AND SHALL BE MANUFACTURED BY A CODE APPROVED FABRICATOR. TRUSS DRAWINGS SHALL BEAR THE SEAL OF AN ENGINEER HOLDING CURRENT REGISTRATION IN THE STATE OF NEW MEXICO.
- IT SHALL BE THE RESPONSIBILITY OF THE FABRICATOR OF THE STRUCTURAL UNITS TO DESIGN THE UNITS AND TO SUBMIT STRUCTURAL CALCULATIONS FOR APPROVAL. STRUCTURAL CALCULATIONS SHALL BEAR THE SEAL OF AN ENGINEER HOLDING CURRENT REGISTRATION IN THE STATE OF NEW MEXICO.
- ALL SAWN LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY. ROOF JOISTS, FLOOR JOISTS, LEDGERS AND PLATES TO BE SPF #2 OR BETTER. STUDS TO BE SPF #2 OR BETTER. POSTS TO BE DOUGLAS FIR #2 OR BETTER.
- ROOF SHEATHING SHALL BE 7/16" THICK 5 PLY CDX EXTERIOR PLYWOOD WITH EXTERIOR GLUE OR 7/16" THICK ORIENTED STRAND BOARD (OSB).
- ALL ROOF SHEATHING SHALL BE FASTENED WITH 8D COMMON NAILS AT 6" O.C. AT EDGES AND BOUNDARY. 8D AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS OR 16" GAUGE X 1/4" LONG X 7/16" O.C. CROWN GALVANIZED WIRE STAPLES AT 3' O.C. AT EDGES AND BOUNDARY, AND 6" O.C. AT INTERMEDIATE.
- ALL SHEATHING SHALL BE INSTALLED WITH STAGGERED JOINTS AND THE FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS WITH A TWO SPAN MINIMUM.
- ALL COLUMNS AND CORNERS ARE TO HAVE 90 DEGREE SQUARE CORNERS WITH FLAT SURFACES FROM EDGE TO EDGE. NO INWARD OR OUTWARD BOWING ACROSS FLAT PORTIONS OF ANY COLUMN OR WALL.

FRAMING NOTES

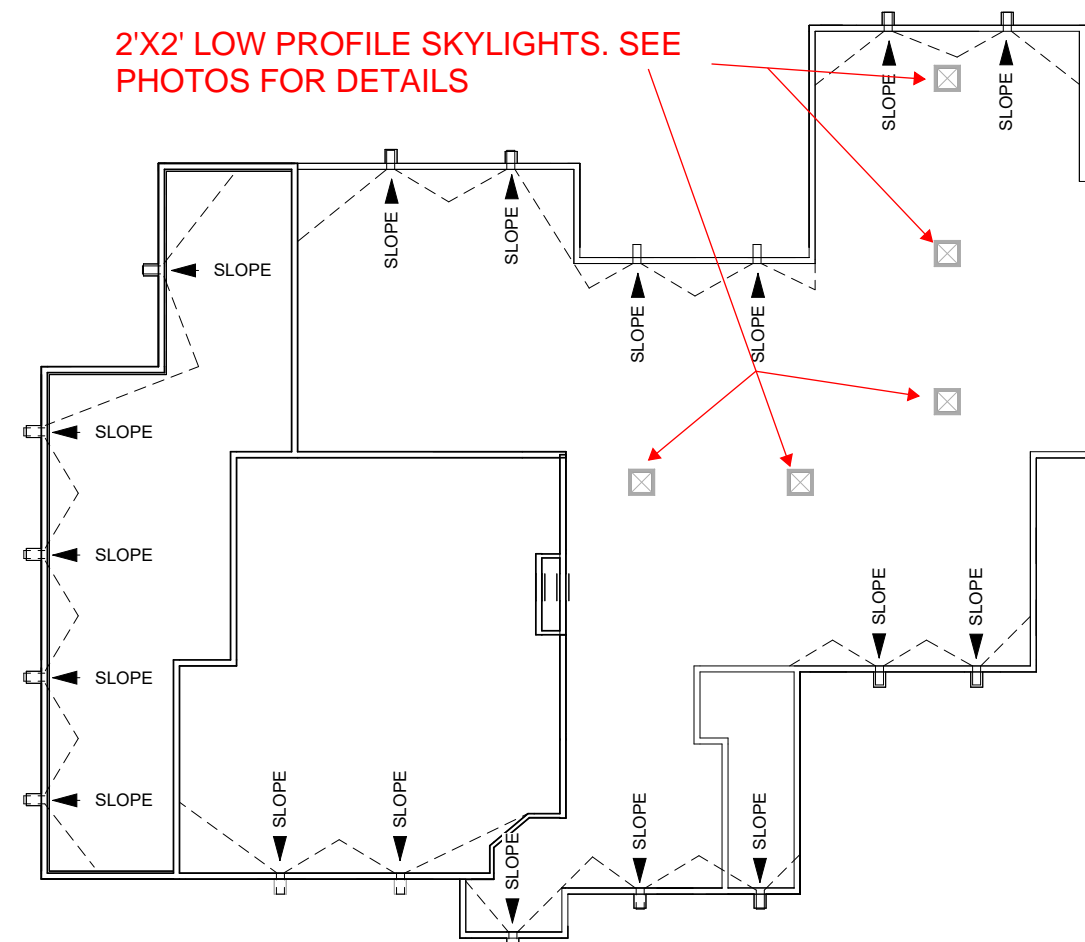
- PROVIDE 1/2" GYM BOARD FIRESTOP/DRAFTSTOP.
- COORDINATE FRAMING LAYOUTS WITH MECHANICAL TRADES. CUT AND BLOCK FOR ALL MECHANICAL INSTALLATIONS. CHIMNEY HOLES, ROOF VENTS, ETC.
- FLAT ROOF AREAS SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FT. ALL DECKS SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FT. REFER TO TRUSS CALCULATIONS AND LAYOUT PLANS FOR EXACT NUMBER OF PLYS AT GIRDER TRUSSES, TRUSS CONFIGURATION PLACEMENT AND LAYOUT.
- A REGLET TO BE INSTALLED AT BACK OF PARAPET.
- PROVIDE FIREBLOCKING IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OR STAGGERED STUDS AS FOLLOWS: VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.
 - AT ALL INTERCONNECTORS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.
 - AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
 - FOR THE FIRE BLOCKING OF CHIMNEY AND FIREPLACES.
 - FIREBLOCKING OF CORNERS OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
 - THE INTEGRITY OF ALL FIREBLOCKING AND DRAFT STOPS SHALL BE MAINTAINED.
- FOR DROPPED CEILING FRAMING.
- ALL BEARING HEADERS TO BE 2-2X12 SPF #2, 2-2X8 FOR 8'0" DOORS/WINDOWS WITH 9'0" CEILING (UNLESS OTHERWISE NOTED).
- ALL NON-BEARING HEADERS TO BE 2-2X4 SPF #2 (UNLESS OTHERWISE NOTED).
- ALL SHADED WALLS TO BE BEARING WITH STUDS AT MIN 24" O.C. TRUSSES AND RAFTERS TO BE FASTENED TO TOP PLATES WITH SIMPSON H2.5 CLIPS AT BOTH ENDS AND ANY INTERIOR BEARING PLATES.
- TAPERBOARD (1/2" TO 0") TO BE INSTALLED AT ALL CRICKET/CANT STRIPS, GAPS, AND INTERSECTIONS.
- CONCRETE SPLASH BLOCKS TO BE INSTALLED AT ALL CANALE DRAIN LOCATIONS THAT DRAIN FROM ONE ROOF ONTO A LOWER ROOF LEVEL.
- ALL WALL TIES AND CORNERS SHALL BE INSULATED PRIOR TO INSTALLING SHEATHING.
- PROVIDE SOLID BACKING AT ALL GRAB BARS AND TOWEL BAR LOCATIONS. VERIFY LOCATIONS AND FRAME STAGE WITH OWNER.
- FOR CEILING JOIST SPANS.
- PARAPET HEIGHTS NOT TO EXCEED 12" ABOVE HIGHEST POINT OF ROOF TRUSSES. CONFIRM MAXIMUM ALLOWABLE BUILDING HEIGHTS AND REQUIRED MASSING REQUIREMENTS PRIOR TO CONSTRUCTION OF ALL PARAPETS.
- ROOF SHEATHING TO BE MIN 7/16" OSB.

WALL CONSTRUCTION

- ALL EXTERIOR AND/OR INTERIOR LOAD-BEARING WALLS TO BE 2'X6" SPF #2 STUDS @ MIN 24" O.C. TO 10'-0" (UNLESS OTHERWISE NOTED).
- ALL WALLS TO 12'-0" SHALL BE 2'X6" (OR AS SPECIFIED ON PLAN) FIR #2 @ MIN 16" O.C.
- ALL WALLS TO 14'-0" SHALL BE FIR #2 @ 12" O.C.
- INTERIOR NON-BEARING WALLS WITHOUT PASSAGE DOORS MAY BE 2'X4" SPF STUDS @ MIN 16" O.C.
- GARAGE WALLS SHALL BE 2'X6" SPF STUDS AT MIN 16" O.C. (UNLESS OTHERWISE NOTED).
- FIRE-BLOCK ALL WALLS 10'-0" OR GREATER.
- PROVIDE 2" SOLID WALL BACKING AT ALL WALL HANGING LOCATIONS (SEE BUILDER/OWNER), TOWEL BAR PAPER HOLDER LOCATIONS, CABINET UPPER AND SHELVING LOCATIONS, SHOWER SEAT LOCATIONS, AND FUTURE GRAB-BAR LOCATIONS AT ALL BATH LOCATIONS.
- 2-2'X4" NON-LOAD-BEARING HEADERS AND 2-2'X12" LOAD-BEARING HEADERS.
- 1" THICK OSB IS STRUCTURAL SHEATHING FOR SHEAR STRENGTH U.N.O. ON SHEAR PLAN. CONTINUOUS 2X BLOCKING AT ALL EDGES OF SHEATHING.
- 17 GAUGE STUCCO NETTING WITH 3 COAT STUCCO OR OPTIONAL 20 GAUGE NETTING WITH 2 COAT POWER WALL OR WESTERN 1 COAT FIBERGLASS REINFORCED STUCCO SYSTEM.

ATTIC VENT CALCULATION:

- 2474 SF/150=17
 - 28 X 144=2448 SQ. IN.
- (VENTS CAN INCLUDE: SOFFIT, RIDGE, PARAPET, & ROOF VENTS TOTALING 2448 SQ. IN.)



ROOF PLAN

SCALE: 1/16" = 1'-0"

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FRAMING PLAN

SCALE: As indicated
APRIL 7, 2025

A-8



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

*NOTE: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2020 NEC AND THE NMEC.

OUTLETS

1. OUTLETS SHALL BE 12" ABOVE FINISH FLOOR (AFF) (UNLESS OTHERWISE NOTED).
2. OUTLETS IN KITCHEN, LAUNDRY AND GARAGE SHALL BE 4' AFF.
3. COPPER WIRING SHALL BE USED THROUGH INTERIOR. EXTERIOR LIGHTING FIXTURES, OUTLETS, AND SWITCHES TO BE GFI AND WEATHER PROOFED.
4. BATHROOM OUTLETS SHALL BE GFI.
5. AFCI-NEC 210.12(A) ALL BRANCH CIRCUITS SUPPLYING 125-VOLT, 15 AND 20 AMPERE OUTLETS IN DWELLING UNIT, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS HALLWAYS, OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

CARBON MONOXIDE DETECTORS

SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF MANUFACTURERS INSTALLATION INSTRUCTIONS AND THE HOUSEHOLD FIRE-WARNIGN EQUIPMENT OF NFPA 72. CARBON MONOXIDE DETECTORS SHALL BE LOCATED WITHIN 15 FT OF EACH BEDROOM OR SLEEPING ROOM.

SMOKE DETECTORS

SMOKE DETECTORS SHALL BE HARDWIRED AND HAVE BATTERY BACK-UP SYSTEM AND BE EQUIPPED WITH AN ALARM AND INSTALLED IN EVERY BEDROOM, HALLWAY OUTSIDE OF BEDROOMS, AND EVERY CHANGE IN CEILING HEIGHT OF 24".

CEILING FANS

CEILING FANS TO HAVE VARIABLE SPEED CONTROL.

SPA TUBS

WHIRLPOOL SWITCH SHALL BE LOCATED NOT LESS THAN 5 FT FROM TUB AND HAVE AN AIR ACTIVATED SWITCH.

ELECTRICAL PANEL

TWO FULL HEIGHT STUDS SHALL BE PLACED ON EITHER SIDE OF BLOCKOUT, WITH WALL PLATES TO BE CONTINUOUS OVER BOX BLOCKOUT AND SUPPORT STUDS. MAXIMUM BLOCKOUT OPENING WIDTH TO BE 16" (ACTUAL ROUGH OPENING WIDTH 14.5").

NOTE: ALL ELECTRICAL WIRE TO BE A MINIMUM NM 12 GAUGE PER CODE. OUTDOOR LIGHTING TO COMPLY WITH NM NIGHT SKY PROTECTION ACT. 1/3 OF OUTDOOR LIGHTING TO BE TIMED/OR CONTAIN SENSORS. A LISTED NON-FLEXIBLE 1-1/4" ELECTRICAL RACEWAY SHALL BE PROVIDED TO ROOF FOR FUTURE PHOTOVOLTAIC WIRING.

MECHANICAL NOTES

1. ALL RADIANT PIPING BURIED IN THE CONCRETE FLOOR SLABS, STAIRS, ETC., SHALL BE WIRSBO 1/2" NOM. PE PEX CROSS LINKED POLYETHYLENE OXYGEN DIFFUSER BARRIER TUBING DESIGNED FOR CLOSED LOOP RADIANT PANELS, MANUFACTURED TO ASTM F876 STANDARD AND RATED 180 DEGREES F AT 100 PSI.
2. FURNISH AND INSTALL SUPPLY/RETURN MANIFOLDS WITH THE NUMBER OF LOOPS REQUIRED, MOUNTED HORIZONTALLY OR VERTICALLY WITHIN STUD WALLS, WITH END CAPS AND VENTS, ADAPTERS AND FITTING ASSEMBLIES INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DIRECTIONS.
3. FURNISH, INSTALL AND WIRE 24 VOLT T8th WIRSBO ROOM THERMASTATS AND TRANSFORMERS AS REQUIRED.
4. UNDERGROUND DIRECT BURIED RADIANT PIPING SHALL BE INSULATED WITH 1" THICK ARMAFLEX INSULATION AND SHALL BE TYPE L COPPER OR 1/2" WIRSBO PEX TUBING. SYSTEM SHALL BE FILLED WITH A MIXTURE OF 45% BY VOLUME OF NON-TOXIC PORPYLENE GLYCOL AND WATER BY THE CONTRACTOR.

EVAPORATIVE COOLERS

EVAPORATIVE COOLERS SHALL HAVE HIGH-LOW SWITCH SETTINGS AND SHALL BE LOCATED PER OWNER/BUILDER CONTRACTORS SPECIFICATIONS.

ELECTRODE

AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE AND LOCATED WITHIN NEAR BOTTOM OF CONCRETE FOUNDATION/FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH AND CONSISTING OF AT LEAST 20' OF ONE OR MORE ELECTRICALLY CONDUCTIVE STEEL REINFORCING REBAR OF NOT LESS THAN 1/2" DIAM.

PLUMBING NOTES

1. 1" LEAD-IN-PIPE FROM WELL OR PUBLIC WATER SUPPLY. MINIMUM 100' FROM WELL TO SEPTIC SYSTEM.
2. HOSEBIB TO BE LOCATED IN FRONT, BACK, AND SIDES, ACCORDING TO OWNER/BUILDER SPECIFICATIONS.
3. PLUMBING TO BE PERMITTED AND EXECUTED ACCORDING TO THE IRC 09 CODE.
4. ICE-MAKER ROUGH-IN TO BE LOCATED BEHIND REFRIGERATOR.

ELECTRICAL SYMBOLS KEY

	ONE-WAY SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	110 RECEPTACLE
	220 RECEPTACLE
	GFI RECEPTACLE
	WATER PROOF GFI RECEPTACLE
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE ALARM
	GAS STUB
	CEILING LIGHT
	WALL SCONCE
	RECESSED LIGHT
	MINI RECESSED CAN
	SPOT LIGHT
	CEILING FAN
	FLOURESCENT LIGHT
	HOSE BIB

CORDOVA RESIDENCE
911 OLD SANTA FE TRAIL
SANTA FE, NEW MEXICO 87505



S&V Designs, LLC
(505) 249-4157
sandvdesignsllc@gmail.com

NOTE: CONTRACTOR SHALL COORDINATE ALL SHOP DRAWINGS AND REVIEW THEM FOR ACCURACY AND COMPLETENESS.

AREA TABULATION

FIRST FLOOR LIVING	2963
SECOND FLOOR LIVING	0
TOTAL LIVING	2963
ENTRY PORCH	124
BACK PORCH	810
GARAGE	884
TOTAL AREA	4781

SHEET LIST

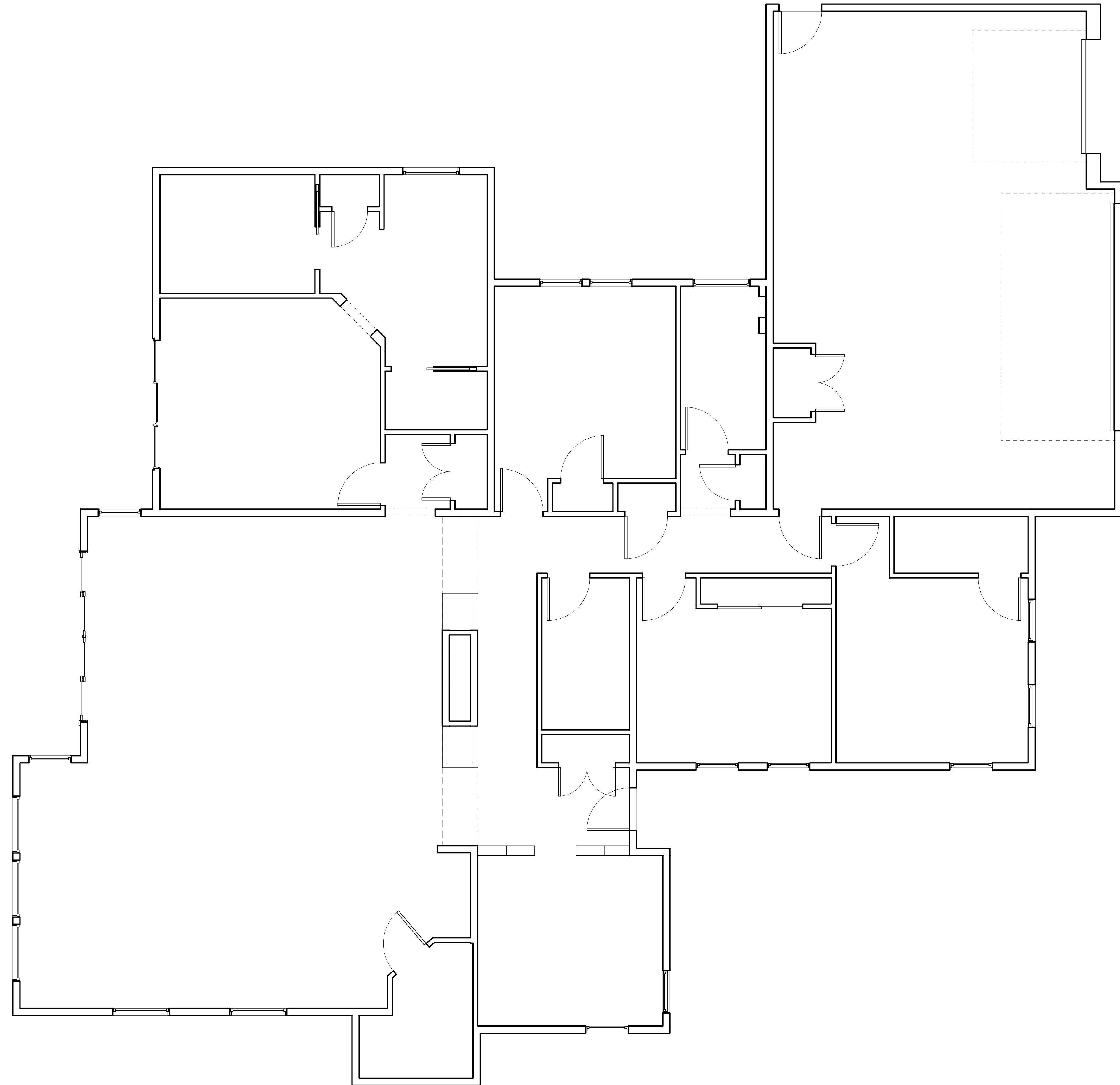
A-1	COVER SHEET
A-2	ELEVATIONS
A-3	SIDE ELEVATIONS
A-4	SITE PLAN
A-5	FLOOR PLAN
A-6	FOUNDATION PLAN
A-7	DIMENSION PLAN
A-8	FRAMING PLAN
A-9	ELECTRICAL PLAN
A-10	BRACE WALL PLAN
A-11	DETAILS

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

APRIL 7, 2025

A-9



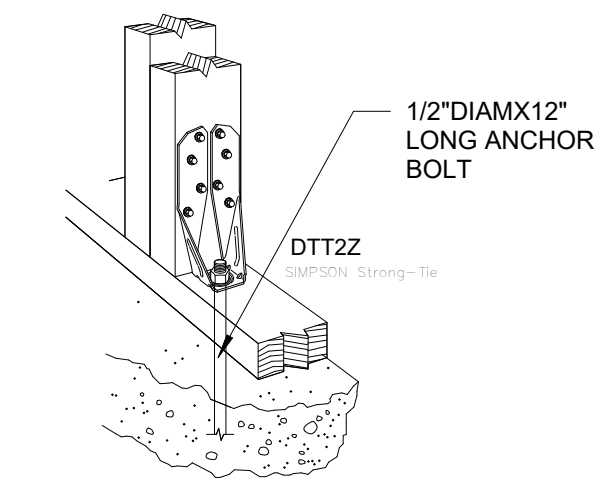
SHEATH ALL EXTERIOR WALLS WITH 1" THICK OX-IS STRUCTURAL SHEATHING ATTACHED WITH 16 GAUGE 7/16" CROWN STAPLES X2" LONG @ 3" O.C. EDGES AND FIELD UNLESS NOTED OTHERWISE IN THE SHEAR WALL SCHEDULE.

SHEAR WALL SCHEDULE

- ① 5/8" THICK GYPBOARD ON BOTH SIDES OF THE WALL EACH LAYER ATTACHED WITH 8D COOLER NAILS OR #8 DRYWALL SCREWS @ 4" O.C. EDGES AND FIELD WITH ALL EDGES BLOCKED WITH 2" NOMINAL LUMBER. ATTACHED SILL PLATE WITH 1/2" DIAM X 10" LONG ANCHOR BOLTS @ 30" O.C.
- ② 1" THICK OX-IS STRUCTURAL SHEATHING WITH 16 GAUGE X 7/16" CROWN STAPLES X 2" LONG AT 3" ON CENTER EDGES AND FIELD. 1/2 GYPSUM WALL BOARD ON INTERIOR FACE ATTACHED WITH #6 SCREWS AT 16" ON CENTER EDGES AND FIELD. ATTACH SILL PLATE WITH 1/2" DIAM X 10" LONG ANCHOR BOLTS AT 24" ON CENTER.
- ③ 1" THICK OX-IS STRUCTURAL SHEATHING ATTACHED W/NO. 16 GAUGE X 7/16" CROWN STAPLES X 2" LONG @ 3" O.C. EDGES AND FIELD. 1/2" GYPSUM WALL BOARD ON INTERIOR FACE ATTACHED WITH #6 SCREWS @ 8" O.C. EDGES AND FIELD. ATTACH SILL PLATE WITH 1/2" DIAM X 10" LONG ANCHOR BOLTS @ 18" O.C.
- ④ PORTAL FRAME PER DETAIL THIS SHEET.

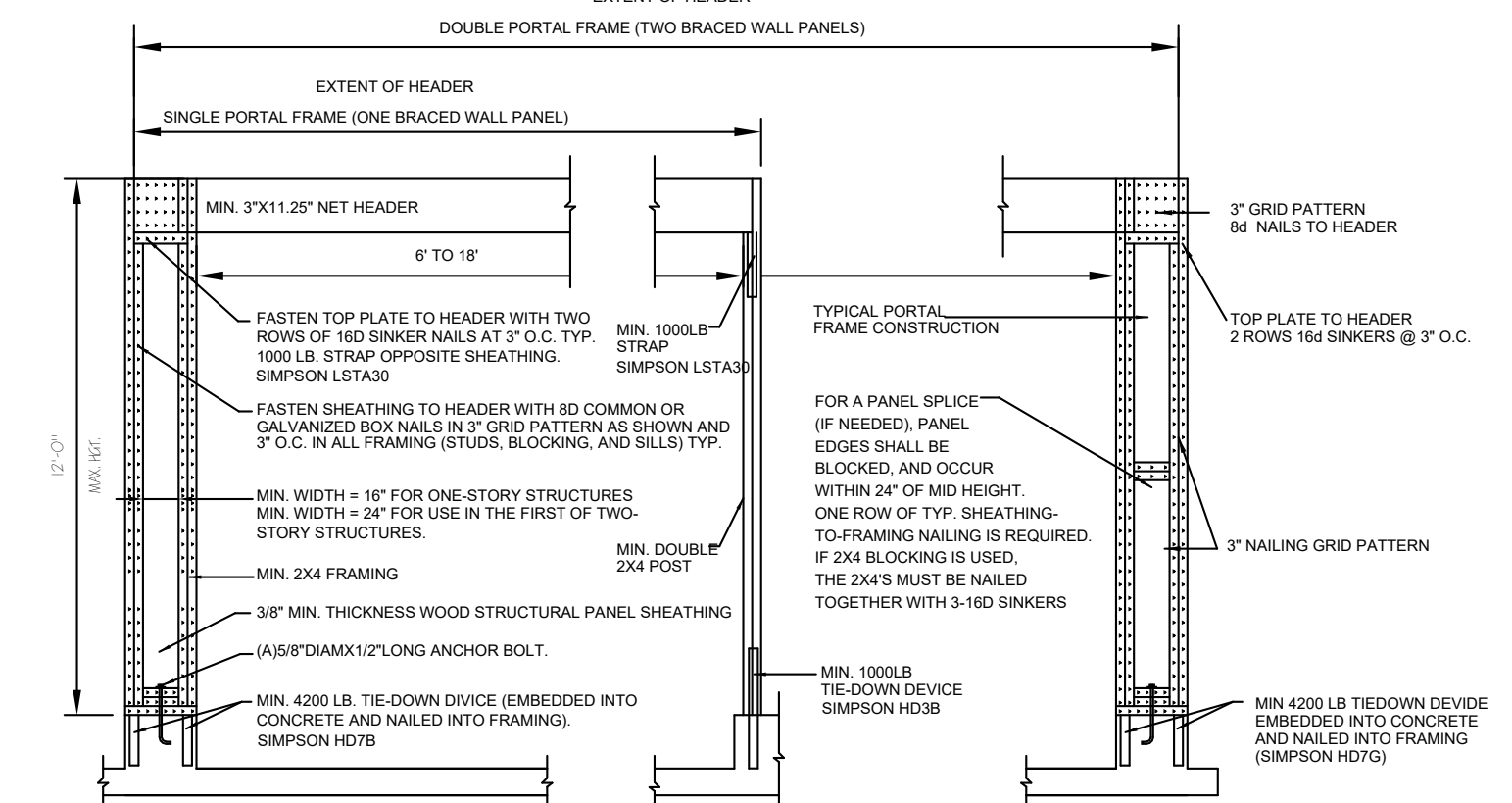
NOTES:

- 1. SHEATH ENTIRE PORTAL FRAME WITH 7/16" THICK OSB.
- 2. ALL SHEAR WALLS TO HAVE ANCHOR BOLTS.
- 3. ALL ANCHOR BOLTS TO BE SPACED AT 4'-0" MAXIMUM.
- 4. STAPLES TO PENETRATE WOOD FRAMING A MINIMUM OF 1".
- 5. FASTENERS ARE TO BE INSTALLED WITH THE CROWN PARALLEL TO THE FRAMING.
- 6. FASTENER EDGE DISTANCE SHALL BE A MINIMUM OF 3/8".
- 7. THE FASTENER HEAD SHALL BEE IN CONTACT WITH THE PANEL SURFACE.
- 8. DRYWALL SCREWS FOR 1/2" THICK GYPBOARD ARE TO BE #6 TYPE W OR S BY 1/4" LONG WITH MINIMUM 3/8" EDGE DISTANCE.
- 9. ALL EDGES OF OX-IS STRUCTURAL SHEATHING TO BE BLOCKED WITH 2" NOMINAL LUMBER.



① SIMPSON STRONG-TIE
14 TOTAL PLACES

PORTAL FRAME WITH HOLD-DOWNS FIGURE



BRACE WALL PLAN

SCALE: 1/4" = 1'-0"

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- A-11 DETAILS

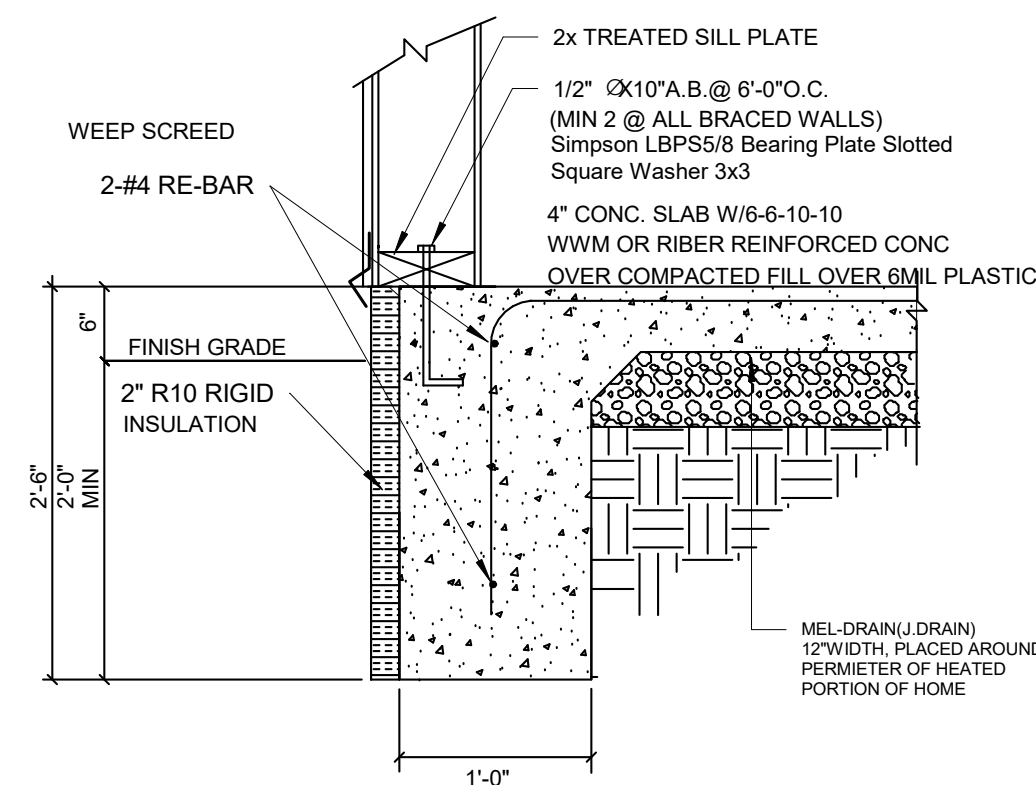
BRACE WALL PLAN

SCALE: 1/4" = 1'-0"

APRIL 7, 2025

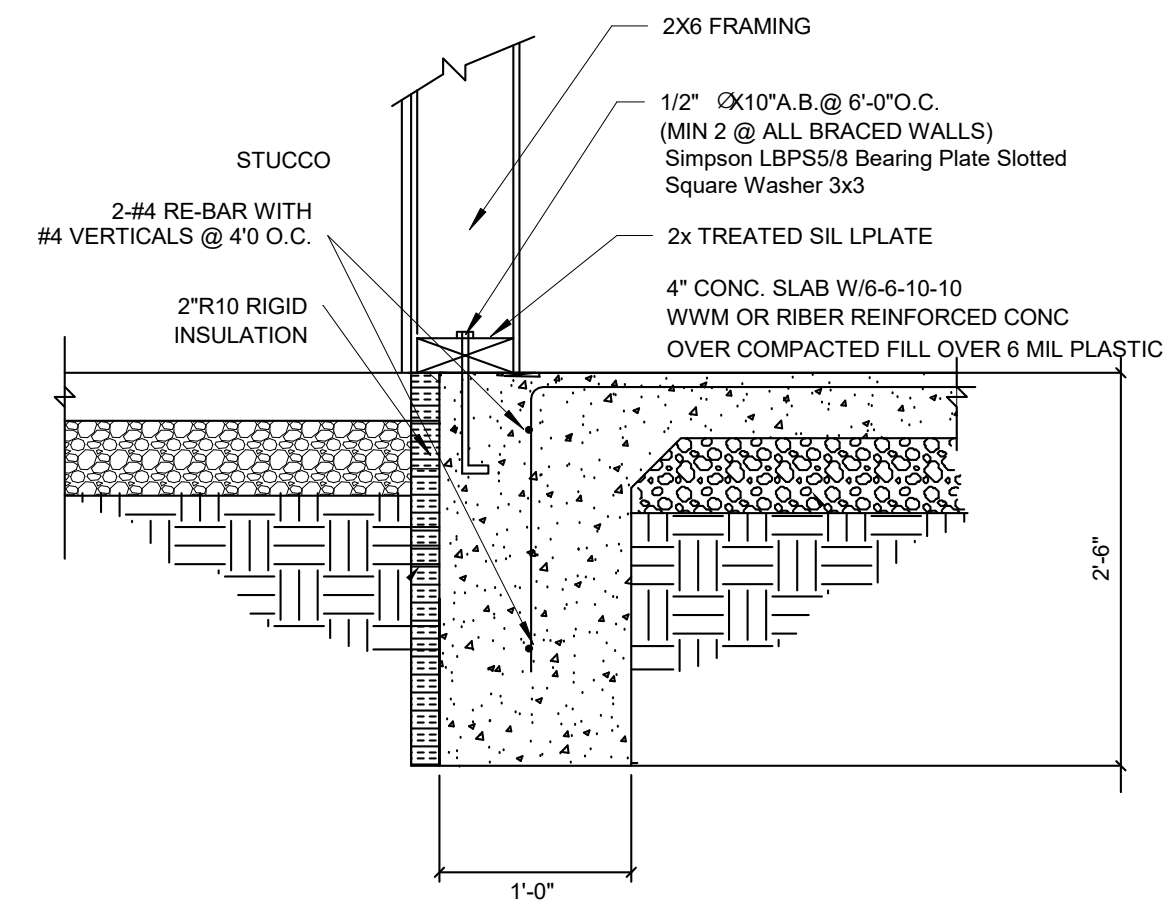
A-10

MONOLITHIC FOUNDATION



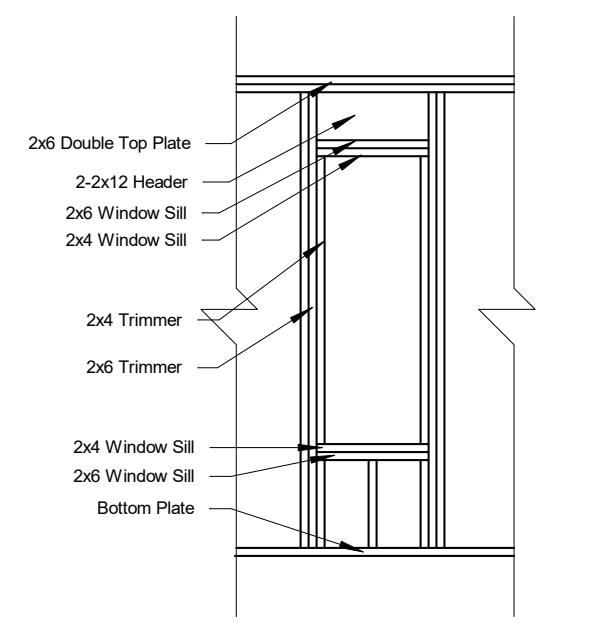
(A) EXTERIOR FOOTING

SCALE: 1"=10'



(E) EXTERIOR FOOTING @ DOORS

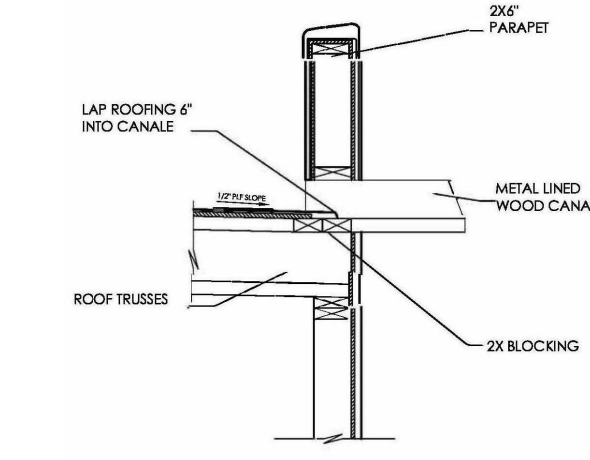
SCALE: 1"=10'



WINDOW ROUGH-IN DETAIL

2.5" RECESS

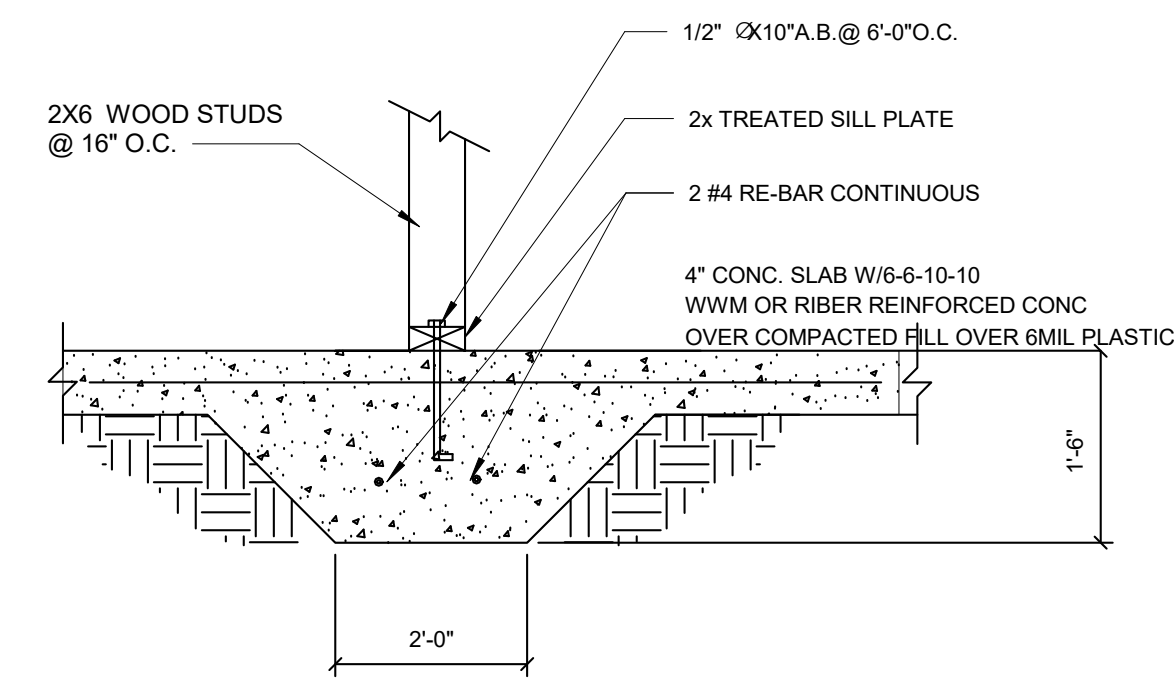
SCALE: NTS



CANALE DETAIL

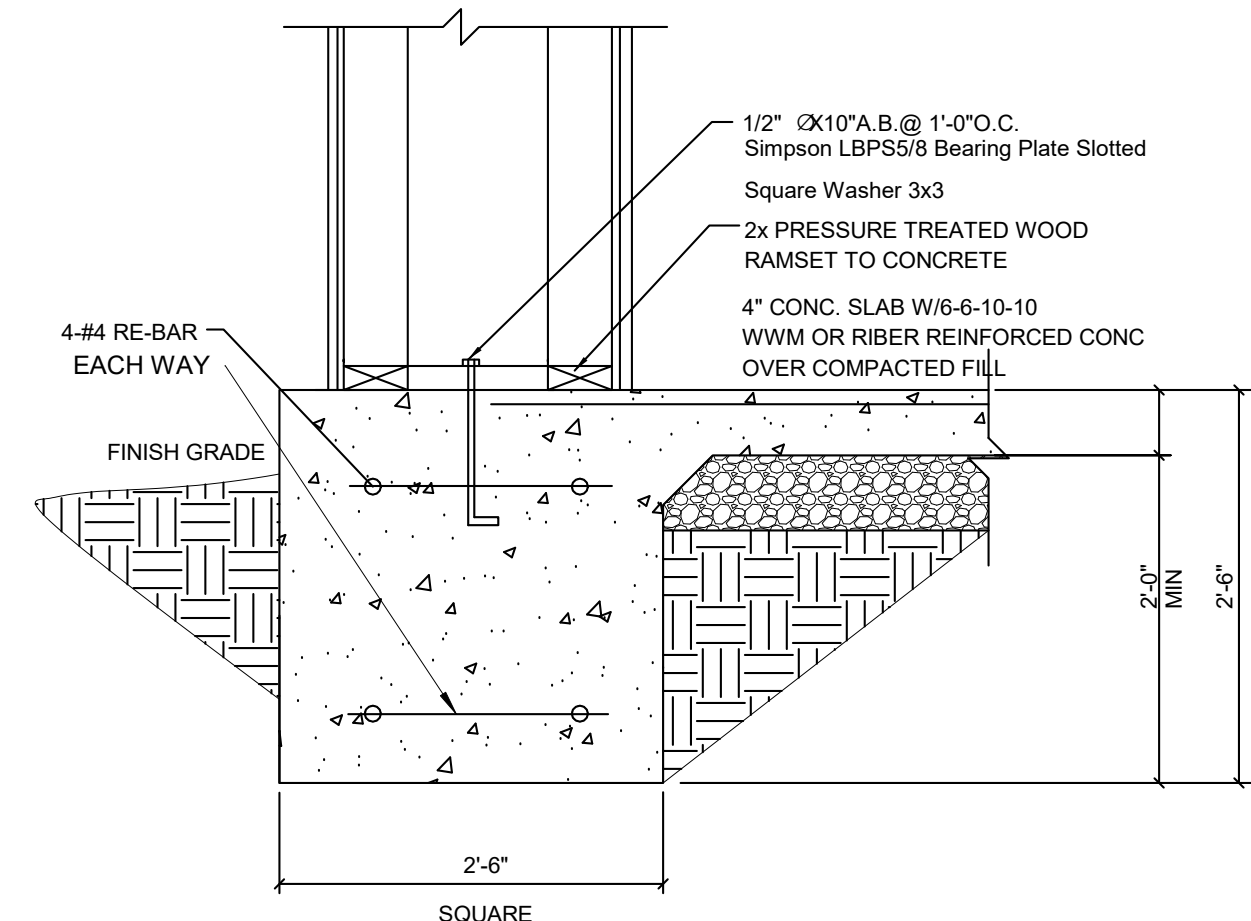
SCALE: NTS

NOTE:
CLIP AWAY ROOF SHEATHING TO ALLOW BOTTOM OF CANALE TO REST ON TOP OF TRUSS



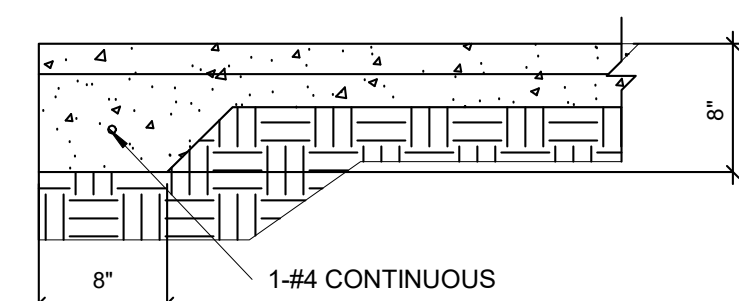
(B) INTERIOR FOOTING

SCALE: 1"=10'



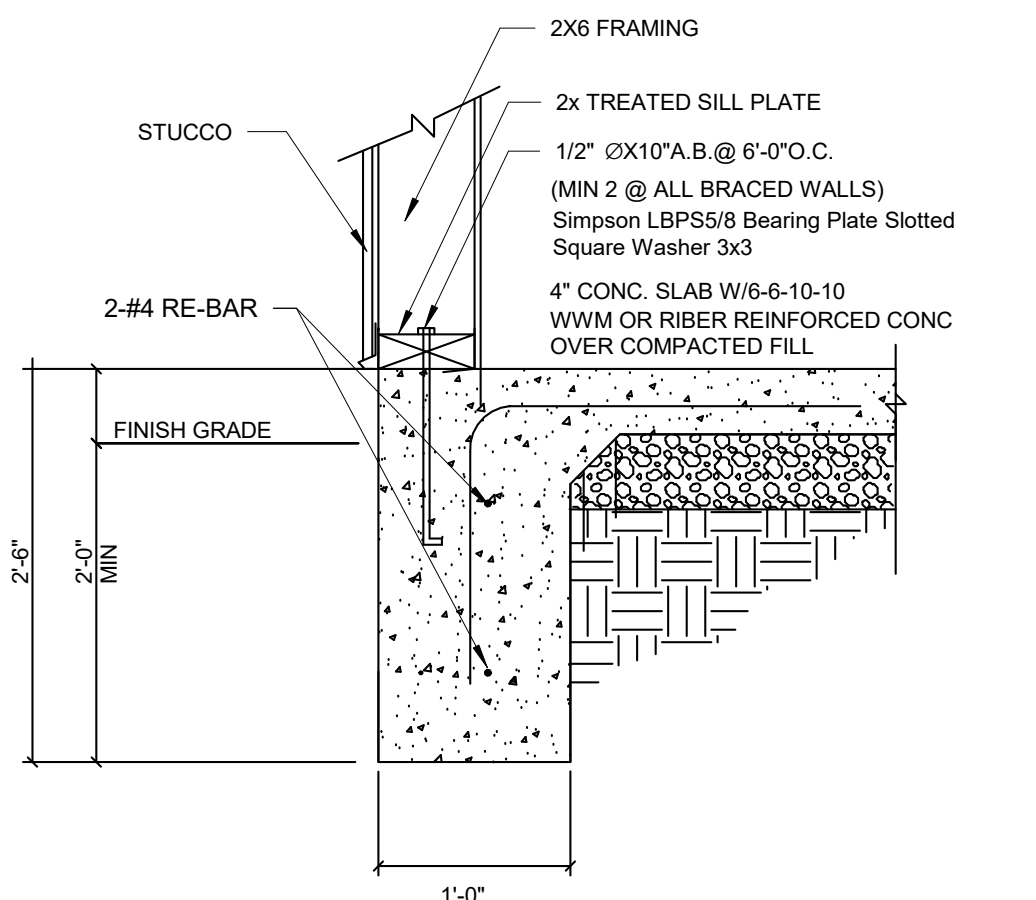
(F) EXTERIOR COLUMN FOOTING

SCALE: 1"=10'



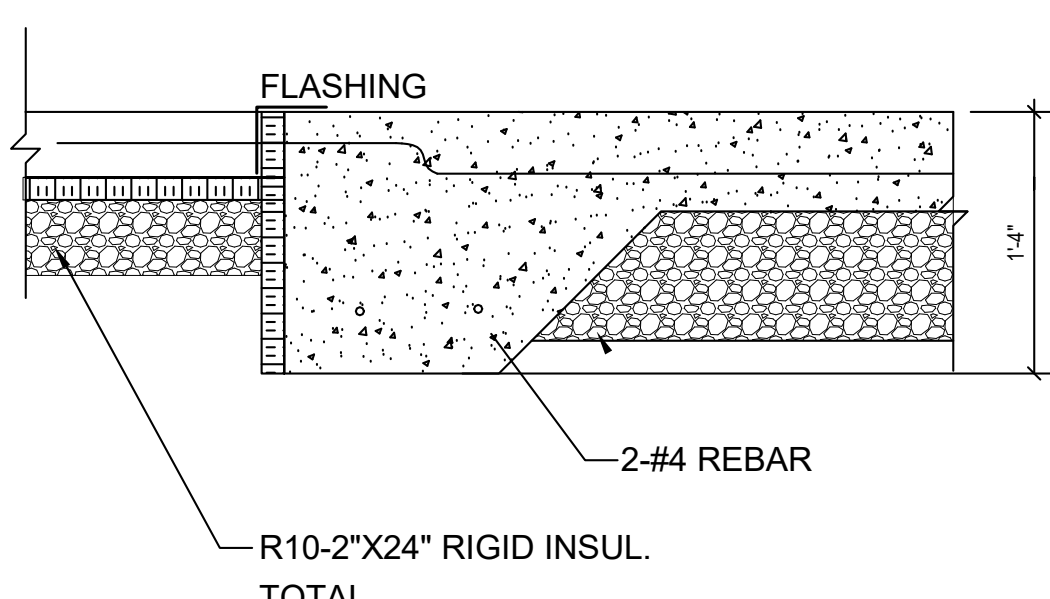
(G) EXTERIOR TURNED DOWN SLAB

SCALE: 1"=10'



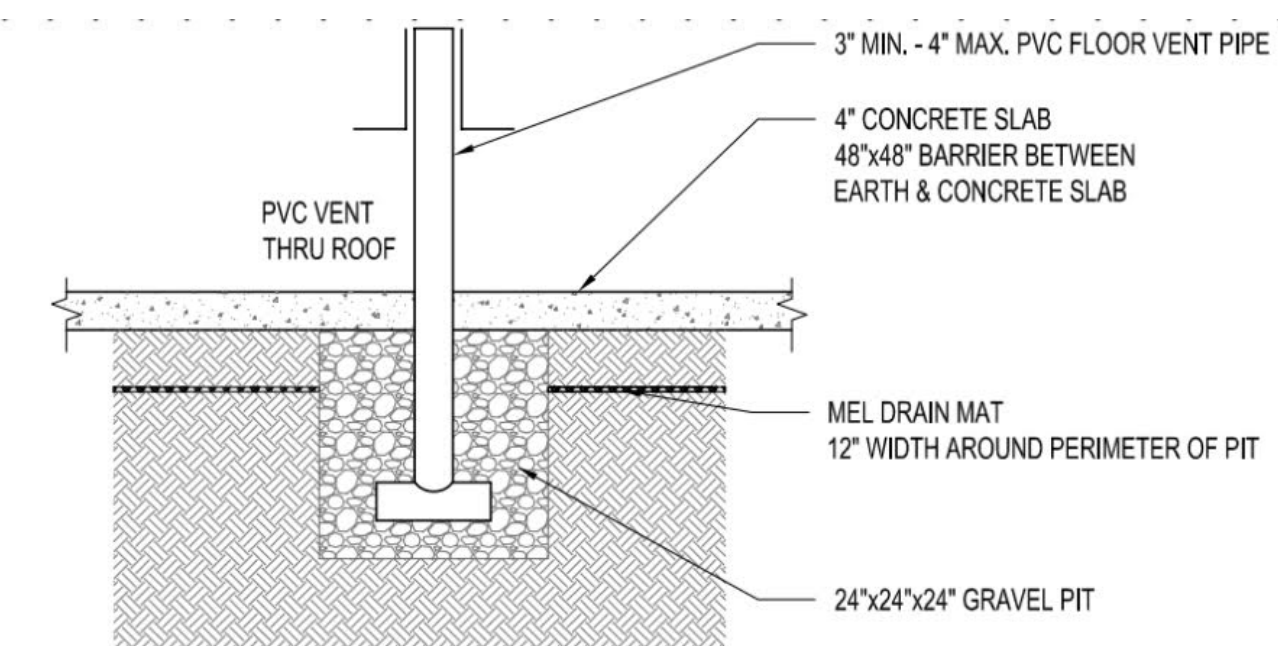
(C) EXTERIOR FOOTING @ GARAGE

SCALE: 1"=10'



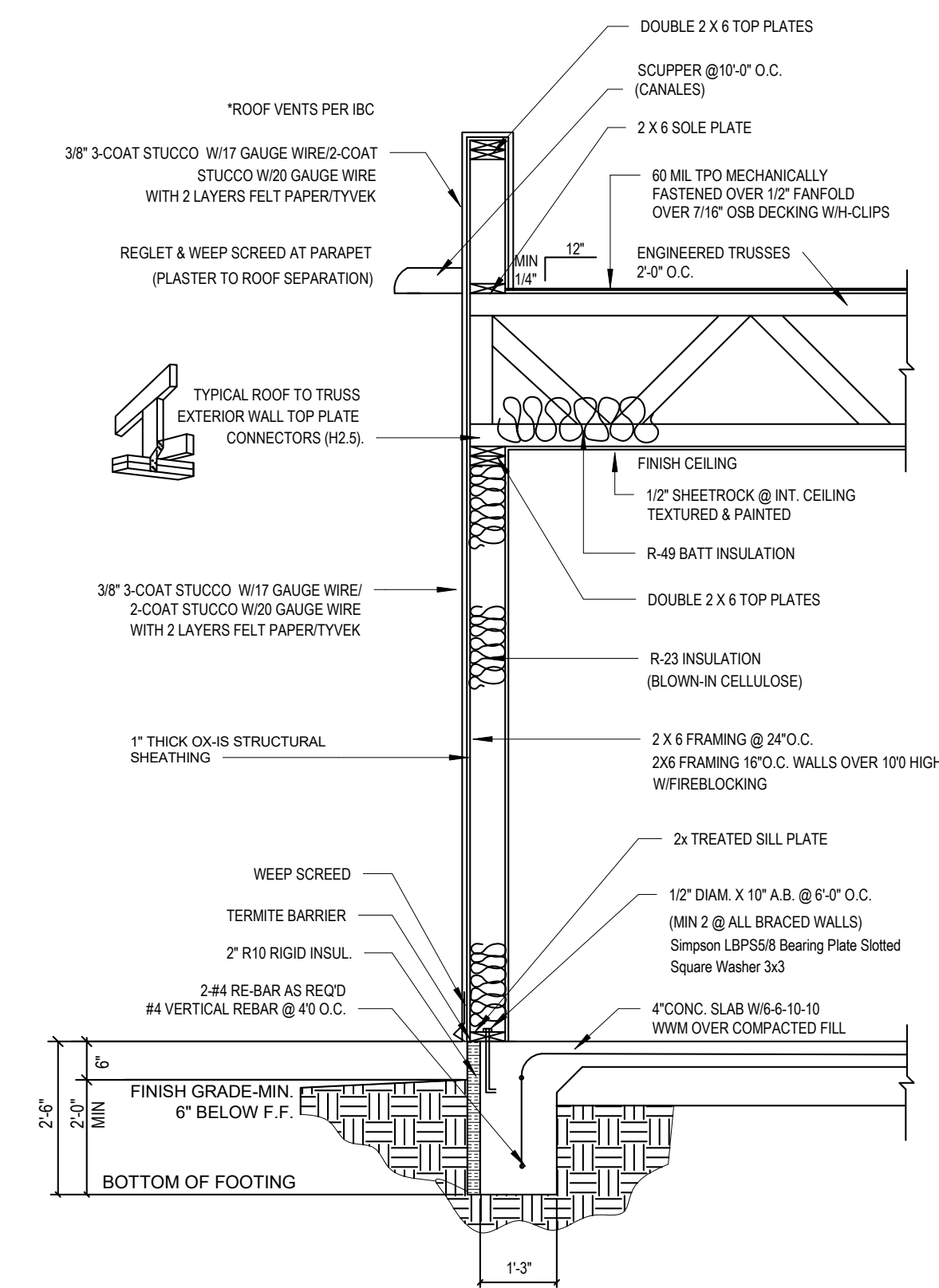
(D) ZERO THRESHOLD @ GARAGE

SCALE: 1"=10'



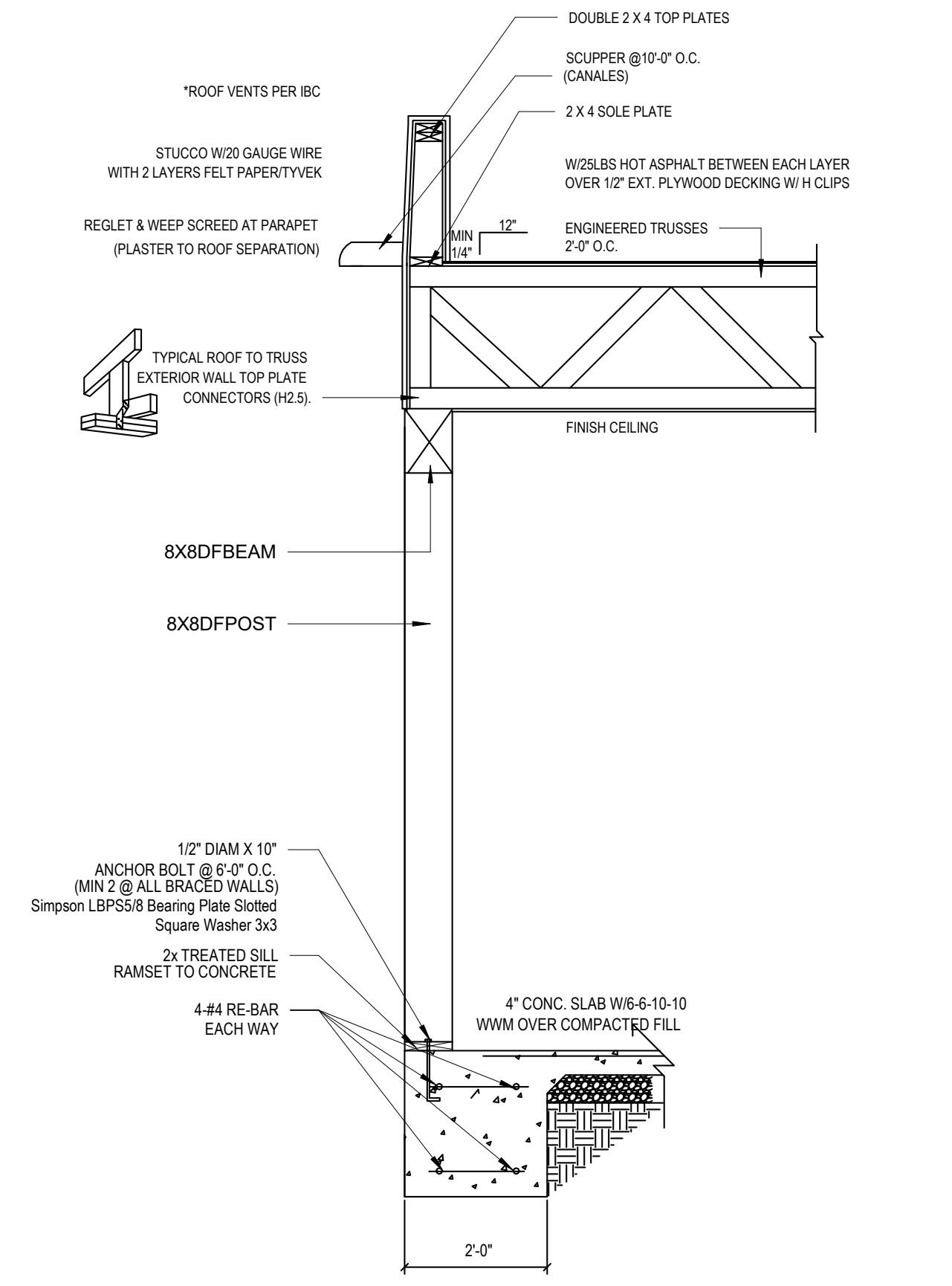
1 RADON VENT DETAIL

SCALE 1/2" = 1'-0"



WALL SECTION SLOPING FLAT TRUSS

SCALE: 1/2"=10'



WALL SECTION @ PORCHES

SCALE: 1/2"=10'

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DETAILS
SCALE: 1/4" = 1'-0"
APRIL 7, 2025

A-11

DETAILS



**TWILIGHT
HOMES**
Dreams Begin at Twilight

May 29, 2025

To Whom It May Concern,

Twilight Homes proposes building a new single dwelling residence at 911 Old Santa Fe Trail for Arthur and Susan Cordova. This is Lot 3 of the DeVargas Development and comprises of 0.5393 acres. The current lot has no permanent structures in place. The existing asphalt will be removed to make space for the new residence per the attached site plan. We will centrally locate the new structure on the lot with the following setbacks: 38' from the West boundary, 37' from the back lot line on the North boundary, 25.79' from the East boundary, and 40.44' from the street facing South boundary. The proposed residence is 4781 total square feet with 2963 sqft of heated space, 934 sqft of covered porches and patios, and 884 sqft of garage. Our poured concrete driveway will be semicircular with 2 street entrances. The west entrance will be 20' wide and the east entrance will be 25' wide to accommodate a 3-car garage and 40.44' deep to the closest face of the garage for 2730 sqft of driveway with grey gravel. We will have an uncovered lead walk from the driveway to the front porch 3'6" wide that runs 26'3" to the Northwest then turns 90 degrees to the entrance for 29'9" for 200 sqft of concrete for the lead walkway.

We will follow the Recent Santa Fe standards for our architectural elements. The highest point of the main structure will be 15'6" above the finished grade of the lot. We will have a stuccoed chimney that protrudes an additional 2' above the surrounding structure for 17'6" above the finished grade. To keep with the Santa Fe tradition we have 3 different masses. The garages and front bedrooms will have 9' tall ceilings with an exterior finished height of 13'6" above finished grade. The great room, kitchen, and dining room in the Northwest section of the building will step up to 11' ceilings with a 15'6" height above finished grade. The owner's suite in the Northeast corner of the residence and the far Northwest back patio step down to 10' plate height with an exterior height of 12'6" above finished grade. Our parapets shall extend 2' higher than the low side of the flat sloping roofs to hide the skylights and roof ventilation from the street view.

Our canals shall be nominally 11" wide X 5-1/2" tall with galvanized metal cladding draining the tan TPO covered roof beyond. The entire home will have a stucco finish in the attached "Buckskin" stucco color. We will use a rounded corner to finish all exterior



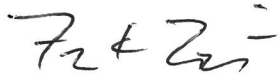


**TWILIGHT
HOMES**
Dreams Begin at Twilight

corners like the adjacent homes. All the windows will be vinyl windows with a taupe colored frame. Our framing application will create a 2-1/2” recess from the face of the wall for the windows along all sides of the building. The street facing windows at the South elevation and the front visible windows at the front West elevations shall have a cross grid pattern insert to meet Recent Santa Fe standards. We kept the windows under the portals with grids at the South elevation for consistency. We will have exposed “natural” stained posts and lintels at our front porch and back patio. We will not build any yard walls or adjust the existing perimeter fencing with this application.

Thank you for your consideration of this application.

Sincerely,



Frank Morrison
Design Manager – Twilight Homes
(505) 475-2328
FMorrison@MTVEnterprises.com



FCM Fixed Skylight

Technical Product Data Sheet

Description

- FCM Fixed Curb Mount Skylight that mounts to a site-built curb (residential curbs typically 2x4 or 2x6). Fixed skylight, provided with various insulated glass units. Manufactured with a neutral gray aluminum profile and integral gasket preventing air and water infiltration while allowing the removal of interior condensation.

Installation

- No designated top, bottom, or sides for installation in any direction.
- Single unit applications only (combination applications not possible).
- 0 degrees to 60 degrees, use standard installation procedure.
- Above 45 degrees, use water diverter as illustrated in installation instructions; water diverter provided by installer.

Flashings

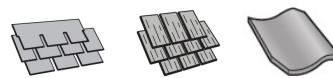
- ECL – Engineered neutral gray flashing for single installation with thin roofing material ($\frac{1}{2}$ " max) for roof pitch above 10-60 degrees.
- ECW – Engineered neutral gray flashing for single installation with tile (over $\frac{3}{4}$ ") roofing material for roof pitch above 14-60 degrees.
- Applications less than 10-degree roof pitch - flashing provided by others.

Interior Accessories

- Accessory Tray; mounts to curb required for installation of shades.
- FSCC - Solar powered Room darkening - double pleated shade.
- FSLC - Solar powered Light filtering - single pleated shade.

Type Sign

- Example: FCM 2222 0004D 01BF05
- Etched on bottom right of exterior frame cover.



Standard Sizes

- 1430, 1446, 2222, 2230, 2234, 2246, 2270, 3030, 3046, 3055, 3434, 3446, 4646, 4672
- Custom sizes available.

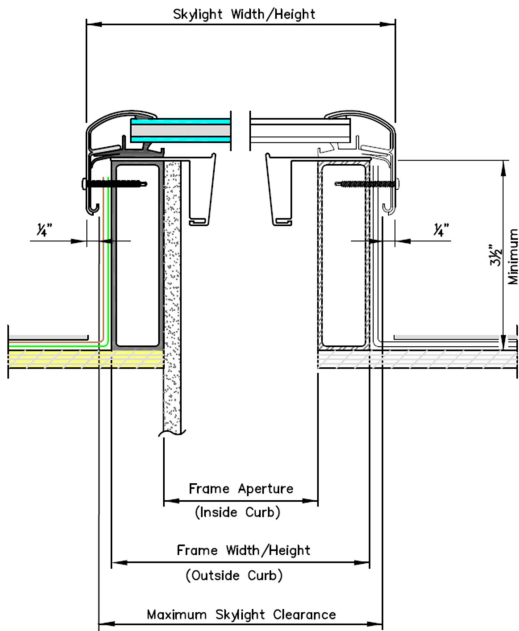
Special Stocked Sizes

- 190365, 190435, 210455, 225225, 225470, 245245, 245470, 245490, 260540, 280525, 315315, 315470, 315700, 315715, 365365, 385385, 385540, 420435, 460470, 460700

Warranty

- **Skylight** – 10 years from the date of purchase; VELUX warrants that the skylight will be free from defects in material and workmanship.
- **Installation** – 10 years from the date of purchase; VELUX No Leak Warranty warrants skylight installation. Must be installed with VELUX flashings and included adhesive underlayment.
- **Glass Seal** – 20 years from the date of purchase; VELUX warrants that the insulated glass pane will not develop a material obstruction of vision due to failure of the glass seal.
- **Hail Warranty** – 10 years from the date of purchase; VELUX warrants only laminated glass panes against hail breakage.
- **Accessories and Electrical Components** – 5 years from the date of purchase; VELUX warrants Velux shades and control systems will be free from defects in material and workmanship.

Cross Section



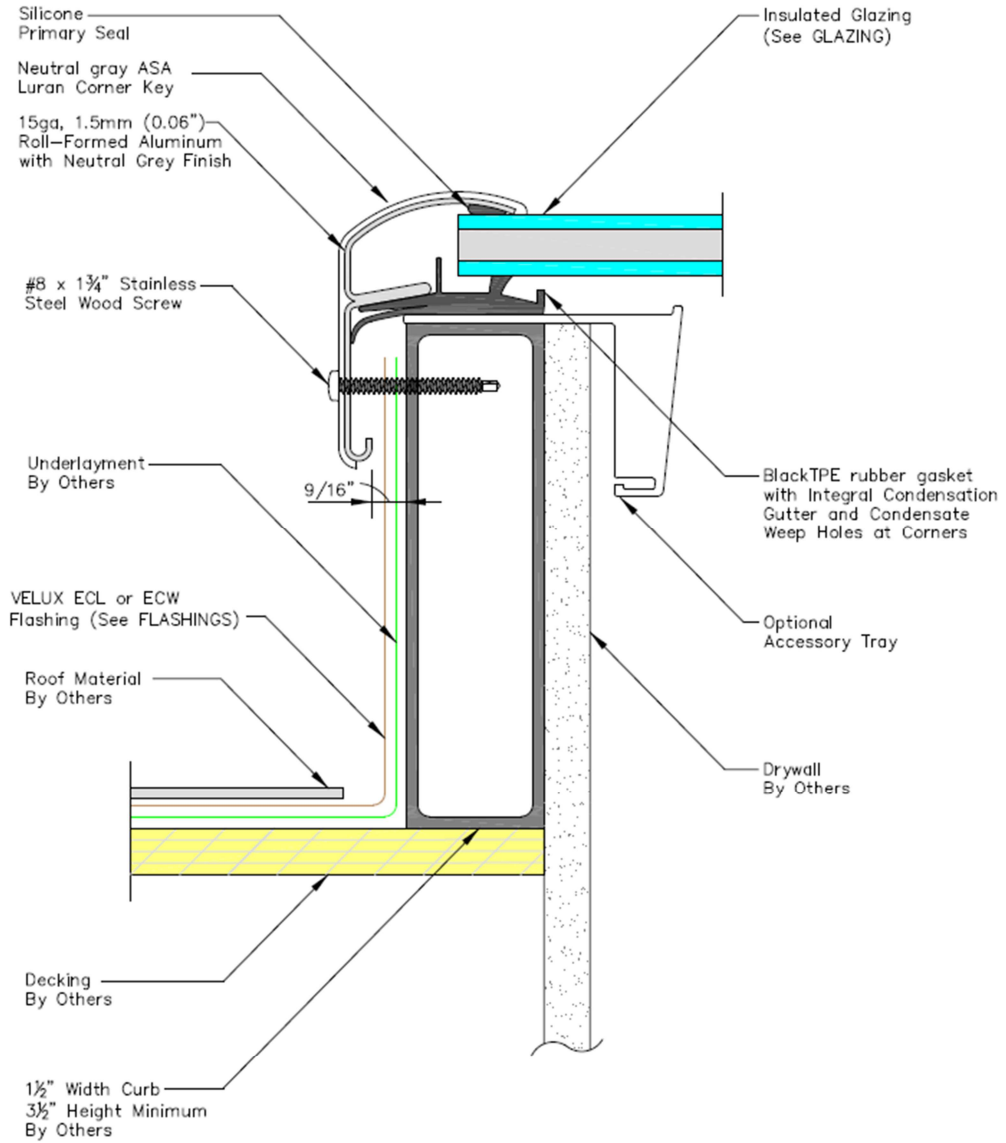
Size	Inside Curb	Outside Curb	Make Size
14	14-1/2"	17-1/2"	18-5/8"
22	22-1/2"	25-1/2"	26-5/8"
30	30-1/2"	33-1/2"	34-5/8"
34	34-1/2"	37-1/2"	38-5/8"
46	46-1/2"	49-1/2"	50-5/8"
55	55-1/2"	58-1/2"	59-5/8"
70	70-1/2"	73-1/2"	74-5/8"
72	72-1/2"	75-1/2"	76-5/8"

Custom Sizes	Width	Length
Min	18-3/4"	18-3/4"
Max	50-3/4"	76-1/2"

Glazings and Certification

Glazing	NFRC U-factor	NFRC SHGC	NFRC Vt	Hallmark 426-H-701	IAPMO-ES ER 199	Fla Prod Approval 13303	HVHZ	TDI
04 Laminated – 2.3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane.	0.48	0.27	0.63	✓	✓	✓		SK-03
05 Tempered – 3 mm tempered clear with tempered Low E366 outer pane.	0.45	0.28	0.63	✓		✓		SK-03
06 Impact – 2.3 mm laminated (2.28 mm interlayer) with tempered Low E366 outer pane for hurricane areas	0.46	0.27	0.63	✓	✓	✓	✓	SK-14
08 White laminated – 2.3 mm Laminated (0.76mm white interlayer) with tempered Low E366 outer pane.	0.48	0.27	0.57	✓	✓	✓		SK-03
10 Snowload – 3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane.	0.47	0.27	0.63	✓				
14 Laminated – 2.3 mm laminated (0.76 mm interlayer) with tempered Low E340 outer pane.	0.48	0.18	0.38	✓		✓		SK-03
15 Tempered – 3mm tempered clear with tempered Low E340 outer pane.	0.49	0.18	0.38	✓		✓		SK-03
16 Impact – 2.3 mm laminated (2.28 mm interlayer) with tempered Low E340 outer pane.	0.46	0.18	0.38	✓		✓	✓	SK-14
29 Laminated Triple Pane – 2.3 mm laminated (0.76mm white interlayer), with 3 mm tempered middle pane, and tempered Low E366 outer pane.	0.38	0.25	0.57	✓	✓	✓		
30 Tempered Triple Pane – 3 mm tempered clear with 3mm tempered middle pane and tempered Low E366 outer pane.	0.38	0.25	0.58	✓		✓		

Consult with Customer Service for special glazing options.









Stucco Color:

449
Buckskin



Stained Wood Color:



Natural 209

Vinyl Window Color:



TAUPE

TPO Roofing Color:



TAN