



April 07, 2025

Historic Preservation Division  
Land Use Department  
200 Lincoln Avenue  
Santa Fe, NM 87501  
Via Email:hpdsuubmittal@santafenm.gov

**Re: Proposed One-Garage Addition at  
439 Camino del Monte Sol  
Lot 1-A of the Cinco Soles Subdivision**

Dear Historic Preservation Division,

Hoopes Architects, acting as agent for our client - who owns the above-referenced property, are proposing a one-car garage addition with a connecting breezeway. We are requesting HDRB approval.

This residence is currently undergoing interior renovations. We have all the proper Historic Preservation Division approvals (reference Case # 2024-009101) and a City of Santa Fe Building Permit (# 2024-39006-EXTR) where Tierra Concepts is acting as the General Contractors. Once approved, we wish to construct this garage addition in a seamless manner with on-going construction.

It is our interpretation of the City of Santa Fe codes for the Eastside Historic District that the garage must be 10 ft from the house and its connection (breezeway) 10 ft back from the front façade. Our proposed garage at 10'-3" high is well under the 14 ft height limit. These code sections are cited on our drawing set Cover Sheet attached to this submitted.

We wish to "match existing conditions". Namely, by matching existing house stucco (same color), matching windows and lintels (same detailing, paint, and stain colors), and matching the same garage doors and lintel that exist at other Cinco Soles Compound garages.

For your review and comment, we have submitted herein:

- A drawing set (Cover Sheet, Site Plan, Floor Plans and Exterior Elevations).
- Labeled exterior photos of the street & all facades, including existing garage door at other Compound properties.
- Color Chart (Stucco, Stain, and Paint).
- Architects Color Renderings

After HDRB approval we wish to submit for a Building Permit as soon as possible. We appreciate your expeditious review and consideration of this matter. If you have any questions, please contact me at the number below. Thank you!

Thank you for your review.

Sincerely,

Charles William Rosenberg,  
Project Architect

Hoopes Architects Ltd. Co.  
333 Montezuma Ave.  
Santa Fe, NM 87504  
505.986.1010



N/T BERQUE DAVIS CLODEN  
C.L.D. NO. 1817-C-872  
SURVEY BY  
GEORGE WALKER, L.L.P.  
PROJ. NO. A2-248

LINE & CURVE DATA FOR DIVISION  
7 WATER SERVICE EASEMENT  
Ref 1 & 2

LINE	LENGTH	BEARING
L17	1.72	N04°48'E
L18	1.72	N04°48'E
L19	1.72	N04°48'E

CURVE (FACTS)	RADIUS	DELTA	CHORD	BEARING	CHORD
18	12.0	18.0°	29.54	S17°14'W	21.1

LINE TABLE FOR  
OPEN SPACES &  
DRAINAGE EASEMENT  
Ref 1 & 2

LINE	LENGTH	BEARING
L68	22.7	N04°48'E
L69	22.7	N04°48'E
L70	13.0	S17°14'W
L71	13.0	S17°14'W
L72	13.0	S17°14'W
L73	13.0	S17°14'W
L74	13.0	S17°14'W
L75	13.0	S17°14'W
L76	13.0	S17°14'W
L77	13.0	S17°14'W
L78	13.0	S17°14'W
L79	13.0	S17°14'W
L80	13.0	S17°14'W

**LEGEND/DEED-PLAT REFERENCES**

- REFERENCE A PLAT OF SURVEY TITLED "LOTIC ADJUSTMENT SURVEY PLAT PREPARED FOR TAMINA L.L.C. OF LOTS 1 THRU 5, 433, 435, 439B & 439C CAMINO DEL MONTE SOL, CITY AND COUNTY OF SANTA FE, NEW MEXICO" DATED 01/29/04, BY JEFFERY L. LUDWIG, N.M.L.S. 13054 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 416, PAGE 14 AS INST. NO. 1367875.
- REFERENCE A PLAT OF SURVEY TITLED "BOUNDARY SURVEY PLAT PREPARED FOR TAMINA L.L.C. AFFECTING LOTS 1 THRU 5, 433, 435, 439B & 439C CAMINO DEL MONTE SOL, CITY AND COUNTY OF SANTA FE, NEW MEXICO" DATED 01/29/04, BY JEFFERY L. LUDWIG, N.M.L.S. 13054 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 416, PAGE 14 AS INST. NO. 1426309.
- REFERENCE A PLAT OF SURVEY TITLED "EASEMENT SURVEY PLAT PREPARED FOR TAMINA L.L.C. AFFECTING LOTS 1 THRU 5, 433, 435, 439B & 439C CAMINO DEL MONTE SOL, CITY AND COUNTY OF SANTA FE, NEW MEXICO" DATED 01/29/04, BY JEFFERY L. LUDWIG, N.M.L.S. 13054 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 416, PAGE 14 AS INST. NO. 1426309.
- REFERENCE WARRANTY DEED FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 1772, PAGE 544.
  - MONUMENT CARRIED REBAR "13054" FOUND AND USED OR AS NOTED.
  - COMPUTED POINT.
  - CONTROL MONUMENT.
  - UTILITY POLE, OVERHEAD UTILITY LINES, AND POLE GUY ANCHOR WHERE APPLICABLE.
  - TELEPHONE PEDESTAL.
  - ELECTRIC METER.
  - GAS CONNECT.
  - WATER METER.
  - WATER VALVE.
  - SEWER MANHOLE COVER.
  - TELEPHONE MANHOLE COVER.
  - FIRE HYDRANT.
  - LIGHT POLE.
  - CLEAN-OUT.
  - AIR CONDITIONING UNIT.
  - WATER CONTROL BOXES.
  - SPIGOT.
  - LANDSCAPING STONES.

**NOTES:**

BEARINGS ARE IN STATE PLANE CENTRAL ZONE - NAD83. DISTANCES ARE REFERRED TO 6800' ANGLES. DISTANCES ARE GROUND. COMBINED SCALE FACTOR 0.999858883. LINE AND OR CURVE DATA IS NOT TO BE USED WITH OS FOR BREAK LINE DISTANCES EXCEPT FOR L30.

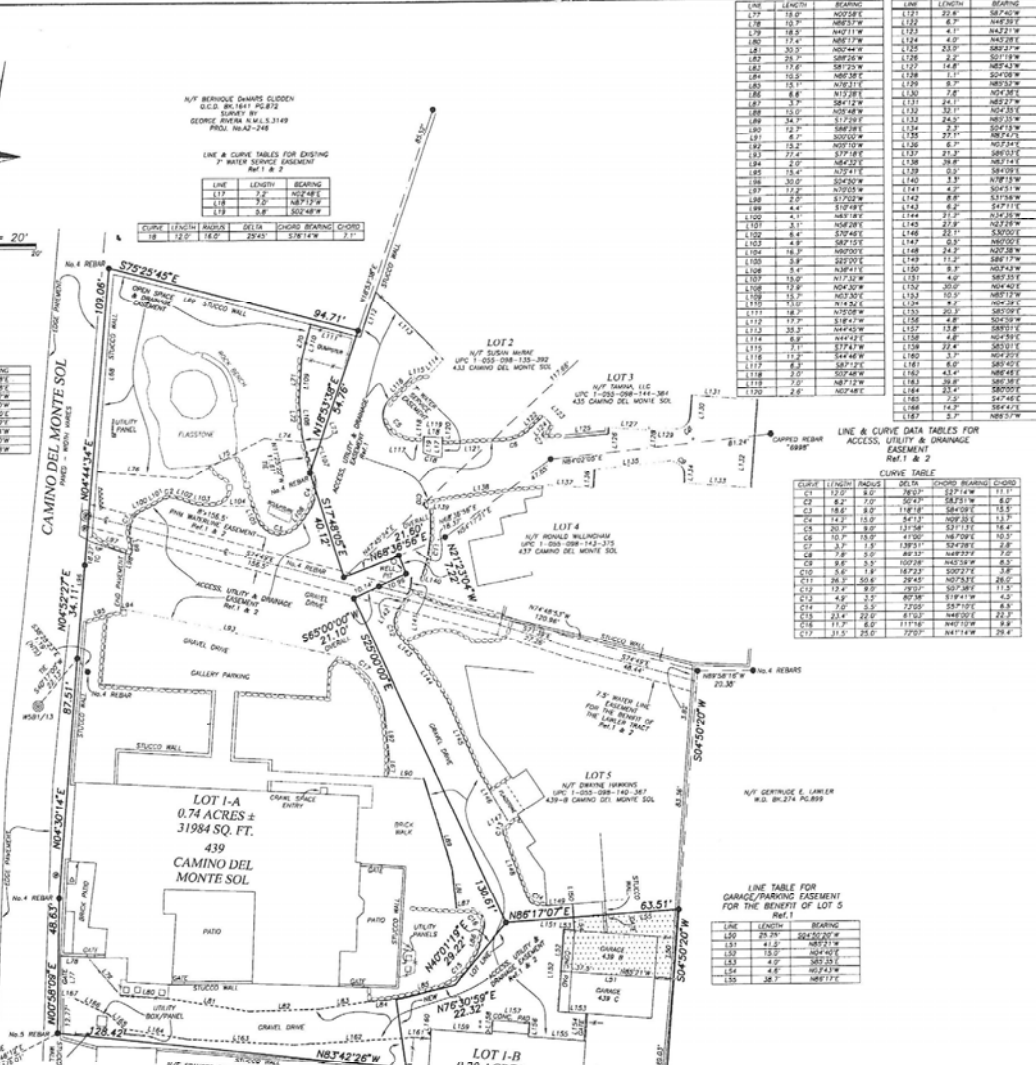
**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS LOT SURVEY PLAT AND THE FIELD SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL, AND THAT THE DATA SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THIS SURVEY MEETS OR EXCEEDS ANY TITLE AND CORRECT TO THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS. FIELD WORK COMPLETED IN 04/10.

Jeffery L. Ludwig  
06-21-2010  
N.M.L.S. 13054 DATE



COUNTY OF SANTA FE  
STATE OF NEW MEXICO  
I hereby certify that this instrument was filed for record on the 13th day of June, A.D. 2010 at 11:11 a.m. in the office of the County Clerk of Santa Fe County, New Mexico, and was duly recorded in book 2112, page 258 of the records of Santa Fe County.  
Witness my hand and Seal of Office of Yvonne Espinoza  
County Clerk, Santa Fe County, N.M.



LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L101	1.72	N04°48'E	L121	22.7	N04°48'E
L102	1.72	N04°48'E	L122	22.7	N04°48'E
L103	1.72	N04°48'E	L123	22.7	N04°48'E
L104	1.72	N04°48'E	L124	22.7	N04°48'E
L105	1.72	N04°48'E	L125	22.7	N04°48'E
L106	1.72	N04°48'E	L126	22.7	N04°48'E
L107	1.72	N04°48'E	L127	22.7	N04°48'E
L108	1.72	N04°48'E	L128	22.7	N04°48'E
L109	1.72	N04°48'E	L129	22.7	N04°48'E
L110	1.72	N04°48'E	L130	22.7	N04°48'E
L111	1.72	N04°48'E	L131	22.7	N04°48'E
L112	1.72	N04°48'E	L132	22.7	N04°48'E
L113	1.72	N04°48'E	L133	22.7	N04°48'E
L114	1.72	N04°48'E	L134	22.7	N04°48'E
L115	1.72	N04°48'E	L135	22.7	N04°48'E
L116	1.72	N04°48'E	L136	22.7	N04°48'E
L117	1.72	N04°48'E	L137	22.7	N04°48'E
L118	1.72	N04°48'E	L138	22.7	N04°48'E
L119	1.72	N04°48'E	L139	22.7	N04°48'E
L120	1.72	N04°48'E	L140	22.7	N04°48'E

LINE & CURVE DATA FOR  
ACCESS, UTILITY & DRAINAGE  
EASEMENT  
Ref 1 & 2

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING	CHORD
C1	17.2	8.6	36.0°	12.71	S17°14'W	11.1
C2	8.6	8.6	90.0°	12.71	S04°48'E	8.6
C3	18.8	8.6	146.3°	18.81	S04°48'E	15.5
C4	13.0	13.0	90.0°	18.81	S17°14'W	13.0
C5	20.7	8.6	131.54°	20.71	S17°14'W	18.2
C6	13.0	13.0	90.0°	18.81	S04°48'E	13.0
C7	13.0	13.0	90.0°	18.81	S17°14'W	13.0
C8	7.9	7.9	135.0°	12.71	S04°48'E	7.9
C9	13.0	13.0	90.0°	18.81	S17°14'W	13.0
C10	13.0	13.0	90.0°	18.81	S04°48'E	13.0
C11	13.0	13.0	90.0°	18.81	S17°14'W	13.0
C12	13.0	13.0	90.0°	18.81	S04°48'E	13.0
C13	13.0	13.0	90.0°	18.81	S17°14'W	13.0
C14	7.9	7.9	135.0°	12.71	S04°48'E	7.9
C15	13.0	13.0	90.0°	18.81	S17°14'W	13.0
C16	13.0	13.0	90.0°	18.81	S04°48'E	13.0
C17	13.0	13.0	90.0°	18.81	S17°14'W	13.0

LINE TABLE FOR  
GARAGE/PARKING EASEMENT  
FOR THE BENEFIT OF LOT 5  
Ref 1

LINE	LENGTH	BEARING
L50	37.7	N04°48'E
L51	41.2	N04°48'E
L52	18.8	N04°48'E
L53	13.0	S17°14'W
L54	13.0	S17°14'W
L55	13.0	S17°14'W

**CONSENT AFFIDAVIT**

KNOW ALL PERSONS BY THESE PRESENTS: THAT THE UNDERSIGNED MANAGER FOR TAMINA L.L.C. HAS REVIEWED THIS PLAT, SAID PLAT WAS PREPARED TO SHOW A LAND DIVISION OF LOT 1, CREATING TWO LOTS ALL AS SHOWN HEREON, LYING WITHIN THE CITY AND COUNTY OF SANTA FE, NEW MEXICO ALL THAT APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED AGENT. THESE LANDS LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO. MAINTENANCE OF THE ACCESS EASEMENTS AS SHOWN HEREON IS TO BE THE RESPONSIBILITY OF THE LAND OWNERS/USERS.

Ralph Schaefer Attorney  
MANAGER - TAMINA L.L.C.  
STATE OF NEW MEXICO }  
COUNTY OF SANTA FE }  
ON THIS 21 DAY OF June, 2010 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY THE PERSON(S) WHOSE NAME(S) APPEAR ABOVE.

Notary Public  
2-5-2011  
COMMISSION EXPIRES



**CITY OF SANTA FE APPROVAL NOTES & CONDITIONS**

APPROVED BY THE SUMMARY COMMITTEE AT ITS MEETING ON 06/03/10 AS CASE NO. 2010-58 TAMINA L.L.C. LOT 5/11

Summary Committee Chairperson: *Summary Committee Chairperson* DATE: 7/1/10  
Secretary: *Secretary* DATE: 7/1/10

City Engineer for Land Use: *City Engineer for Land Use* DATE: 07/12/10  
City Planner: *City Planner* DATE: 7-12-10

EACH LOT SHALL BE SERVED BY SEPARATE SEWER AND WATER SERVICES INCLUDING SEPARATE METER SERVICE ACCOUNTS.  
PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SICC 1987 AND SUBSEQUENT AMENDMENTS.  
PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OF SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SICC 2001 AND SUBSEQUENT AMENDMENTS.  
BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE.

THERE ARE NO NATURAL SLOPES EXCEEDING 1:5  
ACCORDING TO F.E.M.A. FIRM PANEL 33049C 04163 THIS PROPERTY LIES WITHIN ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**1 of 2 ORIGINALS**

LOT 1 - UPC 1-253-080-131-389  
LOOKING INFORMATION FOR COUNTY CLERK

SECTION(A)	PROJECTED	SCALE
30	30	1" = 20'
TOWNSHIP	17-N	DATE
RANGE	8-10-E	06/21/10
GRANT	SANTA FE	DRAWN BY
GRANT	SANTA FE	LUDY
NAME	TAMINA L.L.C.	CHECKED BY
		LUDY
		PROJECT No.
		10 00460

CORNERSTONE  
LAND SURVEYING  
JEFFERY L. LUDWIG  
P.M.L.S. No. 13054  
505-690-7010 CELL  
505-471-5477 OFFICE  
P.O. BOX 8348  
SANTA FE, NEW MEXICO  
87504

LOT SPLIT SURVEY PLAT  
PREPARED FOR  
TAMINA, L.L.C.  
OF  
LOT 1  
439 & 439C CAMINO DEL MONTE SOL  
CITY AND COUNTY OF SANTA FE, NEW MEXICO

# GREULICH-BOLAND RESIDENCE

439 CAMINO DEL MONTE SOL - SANTA FE, NM 87505

## PROPOSED ONE-CAR GARAGE AND CONNECTING BREEZEWAY ADDITION TO AN EXISTING RESIDENCE

### PROJECT OVERVIEW

#### LEGAL DESCRIPTION:

S30 T17N R10E  
LOT 1-A, ONE OF SIX LOTS IN CINCO SOLES SUBDIVISION

#### SCOPE OF WORK:

NEW ONE-CAR GARAGE ADDITION WITH CONNECTING BREEZEWAY TO HOUSE

#### APPLICABLE CODES

2021 NM COMMERCIAL BUILDING CODE (2021 IBC AS AMENDED BY THE STATE OF NEW MEXICO)  
2021 NM RESIDENTIAL BUILDING CODE (2021 IRC AS AMENDED BY THE STATE OF NEW MEXICO) AND CITY OF SANTA FE GREEN BUILDING CODE  
2021 NM EXISTING BUILDING CODE (2021 INTERNATIONAL EXISTING BUILDING CODE AS AMENDED BY THE STATE OF NEW MEXICO)  
2021 NM PLUMBING CODE (2021 UNIFORM PLUMBING CODE AS AMENDED BY THE STATE OF NEW MEXICO) AND CITY OF SANTA FE UPC AMENDMENTS  
2021 NM MECHANICAL CODE (2021 UNIFORM MECHANICAL CODE AS AMENDED BY THE STATE OF NEW MEXICO)  
2020 NM ELECTRICAL CODE (2020 NATIONAL ELECTRICAL CODE AS AMENDED BY THE STATE OF NEW MEXICO)  
2012 NM ELECTRICAL SAFETY CODE (2012 NATIONAL ELECTRICAL SAFETY CODE AS AMENDED BY THE STATE OF NEW MEXICO)  
2021 NM EARTHEN BUILDING MATERIALS CODE  
2021 NM HISTORIC EARTHEN BUILDINGS CODE  
2021 NM ENERGY CONSERVATION CODE (2021 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY THE STATE OF NEW MEXICO) 2018 NM ENERGY CONSERVATION CODE WILL NOT BE ACCEPTED AFTER JULY 30, 2024.  
2012 NM SWIMMING POOL, SPA, AND HOT TUB CODE (2012 USPSHTC AS AMENDED BY THE STATE OF NEW MEXICO)  
2012 NM SOLAR ENERGY CODE (2012 UNIFORM SOLAR ENERGY CODE AS AMENDED BY THE STATE OF NEW MEXICO)  
2021 INTERNATIONAL FIRE CODE AND CITY OF SANTA FE IFC AMENDMENTS  
NEW MEXICO ADMINISTRATIVE CODE (NMAC); 14.5.1 GENERAL PROVISIONS; 14.5.2 PERMITS; 14.5.3 INSPECTIONS  
2017 ICC A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

#### REGULATORY AGENCY:

JURISDICTION: CITY OF SANTA FE

CONTACT INFORMATION: SANTA FE LAND USE DEPARTMENT  
SANTA FE CITY HALL, 200 LINCOLN AVE.,  
1ST FLOOR, SANTA FE, NEW MEXICO 87501  
MAIN PHONE: (505) 955-6585

#### CITY LAND USE SUMMARY:

ZONING CLASSIFICATION: R5  
HEIGHT LIMIT = 24 FT.  
HISTORICAL REVIEW = SEE ATTACHED ADMIN. APPROVAL LETTER FOR "REPAIRS AND MAINTENANCE"  
SETBACKS PER ZONING: STREET 7 FT, SIDES 5 FT, REAR 15 FT\*  
(\*SEE CODE ANALYSIS HEREIN FOR FOOTNOTE # 13 AT REAR SETBACK MIN. YARD REQUIREMENTS)  
LOT AREA: .74 +/- ACRE (31,984 SQ FT)  
OVERLAY DISTRICT: NOT IN THE RIDGETOP OR FOOTHILLS ESCARPMENT  
PARKING: 2 SPACES (MIN)  
10 SPACE ACTUAL  
OCCUPANCY GROUP = SINGLE FAMILY RESIDENTIAL  
NUMBER OF STORIES = ONE STORY

### PROJECT TEAM

#### OWNER

GREULICH-BOLAND REVOCABLE TRUST  
5825 EAST STARLIGHT WAY  
PARADISE VALLEY, AZ 85253

#### INTERIOR DESIGNER

MMB STUDIO, INCORPORATED  
4120 NORTH MARSAHLL WAY  
SCOTTSDALE, AZ 8521  
P. 480.945.3894  
E. matthew@mmbstudio.com

#### ARCHITECT

HOOPES AND ASSOCIATES ARCHITECTS  
333 MONTEZUMA AVE., SUITE 200  
SANTA FE, NM 87501  
P. 505.988.1010  
E. craig@hoopesarchitects.com

#### GENERAL CONTRACTOR

TIERRA CONCEPTS  
1512 PACHECO STREET, SUITE D206  
SANTA FE, NM 87505  
P. 505.989.8484  
E. keith@tierraconcepts.com

#### CODE ANALYSIS:

REAR SETBACK = 15 FT OR 5 FT (SEE BELOW). WE ARE USING THE 5 FT BASED ON BELOW

PER CITY OF SANTA FE CHAPTER 14, TABLE 14-7.2-1  
"TABLE OF DIMENSIONAL STANDARDS FOR RESIDENTIAL DISTRICTS",  
SEE FOOTNOTE #13 FOR R-5 ZONING DISTRICT WHERE IT STATES; "THE REQUIRED REAR YARD IS 5 FEET FOR TYPES OF ACCESSORY STRUCTURES SPECIFIED IN SUBSECTION 14-6-3(B)(2) THAT ARE 14 FEET OR LESS IN HEIGHT AND THAT ARE SEPARATED FROM PRINCIPAL STRUCTURES ON THE SAME LOT BY AT LEAST 10 FEET". AND WHERE SUBSECTION 14-6-3(B)(2) IT STATES; "PRIVATE GARAGES" AS PERMITTED ACCESSORY USES AND STRUCTURE...AMONG OTHER STRUCTURES LISTED.

#### LOT COVERAGE:

MAXIMUM COVERAGE = 40%  
ACTUAL COVERAGE = 19.65 % (6,286 SQ FT + 31,984 SQ FT X 100 = 19.65 %, OKAY)

#### OPEN SPACE:

PER SECTION 14-7-5 (C) (1) (a) "LOT SIZE AVERAGING IN SINGLE-FAMILY SUBDIVISIONS"  
"FOR LOTS IN ...R-5... AN AMOUNT NOT LESS THAN FIFTY PERCENT OF GROSS FLOOR AREA OF THAT DWELLING UNIT."

REQUIRED = 3,143 SQ FT (6,286 SQ FT X .5)  
PROVIDED = 7,393 SQ FT (OKAY)

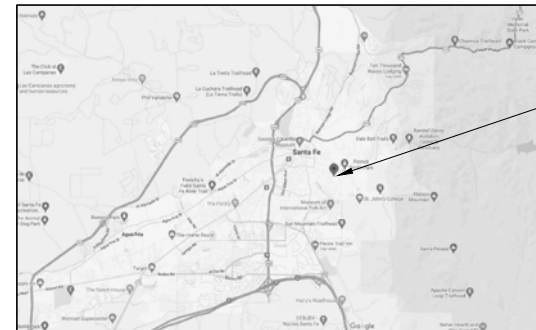
#### AREA CALCULATIONS:

EXISTING GROSS HEATED SQUARE FOOTAGE = 5,812 SQ. FT.  
PROPOSED ONE-CAR GARAGE  
GROSS HEATED SQUARE FOOTAGE = 387 SQ. FT.  
PROPOSED CONNECTING BREEZEWAY  
GROSS HEATED SQUARE FOOTAGE = 87 SQ. FT.  
TOTAL NEW GROSS HEATED SQUARE FOOTAGE = 6,286 SQ. FT.

### SHEET INDEX

G-001 COVER SHEET  
AN-001 ARCHITECTURAL NOTES  
AS-101 OVERALL SITE PLAN  
AS-102 ENLARGED PARTIAL SITE PLAN  
A-101 EXISTING AND PROPOSED FLOOR PLANS  
A-201 EXISTING AND PROPOSED EXT. ELEVATIONS  
A-202 EXISTING AND PROPOSED EXT. ELEVATIONS  
A-203 EXISTING AND PROPOSED EXT. ELEVATIONS  
A-204 EXISTING AND PROPOSED EXT. ELEVATIONS

### VICINITY MAP



PROJECT LOCATION



### LOCATION MAP



PROJECT LOCATION



333 MONTEZUMA AVE. SUITE 200  
SANTA FE, NM 87501  
505.988.1010  
www.hoopesarchitects.com

BOLAND - GREULICH  
RESIDENCE

ARCHITECT'S PROJECT NO.: 2488

439 CAMINO DEL MONTE SOL,  
SANTA FE, NEW MEXICO 87501

ISSUE DATE: 04/07/2025

HISTORIC APPROVAL SET  
(FOR PROPOSED GARAGE)

COVER SHEET

G-001

## GENERAL NOTES

- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF CONFLICTS EXIST. DIMENSIONS ARE TO FACE OF STUD AND CONCRETE WALLS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MARKED AS '1' OR 'VP' SHALL BE VERIFIED IN THE FIELD.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES PRIOR TO THE BEGINNING OF CONSTRUCTION TO ENSURE THE PROPER AND EFFICIENT SEQUENCING AND EXECUTION OF THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR REQUESTING ADDITIONAL INFORMATION IF CLARIFICATION ON PLANS IS NEEDED OR IF INFORMATION IS MISSED. CONTRACTOR SHALL NOT MAKE ASSUMPTIONS.
- ALL WORK, INCLUDING PLUMBING, ELECTRICAL AND MECHANICAL, SHALL COMPLY WITH ALL PERTINENT LOCAL AND NATIONAL CODES.
- PROTECT ALL ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING LOCATIONS OF STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL SYSTEMS, AND MISCELLANEOUS EQUIPMENT TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR MATERIALS AND ACTIVITIES SHALL NOT BLOCK ACCESS OR EGRESS FROM ANY BUILDING WHILE THE BUILDING IS OCCUPIED. THIS INCLUDES DEMOLITION WORK AND ALSO APPLIES TO NEIGHBORING BUILDINGS.
- ALL SUPPLEMENTAL DRAWINGS ISSUED BY THE ARCHITECT SHALL ALSO BECOME PART OF THE CONTRACT SET.
- ALL PLUMBING AND ELECTRICAL WORK TO BE CONCEALED, UNLESS OTHERWISE NOTED.

## ARCHITECTURAL DEMOLITION NOTES

- THIS STRUCTURE IS UNOCCUPIED.
- CONTRACTOR SHALL BE RESPONSIBLE TO BRACE AND SHORE EXISTING CONSTRUCTION ELEMENTS DURING RENOVATION AND DEMOLITION. ARCHITECT AND ENGINEER SHALL APPROVE CAPACITY AND METHOD OF SHORING AND DEMOLITION.
- THESE DEMOLITION PLANS ARE MEANT TO BE A CONVENIENCE TO THE CONTRACTOR. DRAWINGS ARE BASED UPON PARTIAL BUILDING PLANS PROVIDED BY OWNER, SURVEYOR AND UPON FIELD OBSERVATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION NECESSARY FOR INSTALLATION OF NEW WORK WHETHER SHOWN HERE OR NOT. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHALL BE OBTAINED FROM ALL UTILITY COMPANIES, INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK. THE LOCATION OF UTILITIES SHOWN HEREIN ARE OF CONVENIENCE TO THE CONTRACTOR AS INFORMATION PROVIDED BY SURVEY AND UPON FIELD OBSERVATION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES, MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURE TO REMAIN. THE CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN DISCONNECTED. GAS METER SHALL BE REMOVED BY GAS COMPANY. VERIFY STATUS OF ELECTRICAL AND WATER METERS. REFERENCE SURVEY FOR EXISTING GAS, ELECTRICAL TRANSFORMER AND CABLE TV PEDESTAL LOCATIONS.
- ITEMS NOTED TO BE SALVAGED FOR OWNER'S REUSE ON PLAN HEREIN SHALL REMAIN ON SITE, PLACED AWAY FROM FUTURE CONSTRUCTION AND STACK/STORED IN AN ORDERLY FASHION (COORDINATE WITH OWNER ON SITE).
- ENSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION. REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND LAWFULLY DISPOSE OF SAME.

## ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
BTWN	BETWEEN
BLDG	BUILDING
B.O.	BOTTOM OF
CAB	CABINET
CIR	CIRCLE
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DBL	DOUBLE
DIA	DIAMETER
DIM	DIMENSION
DS	DOWNSPOUT
DW	DISHWASHER
DWGS	DRAWINGS
EQ	EQUAL
FFE	FINISHED FLOOR ELEVATION
FRZ	FREEZER
GWB	GYPSUM WALL BOARD
HD	HIGH DENSITY
ICF	INSULATED CONCRETE FORM
MW	MICROWAVE
MTL	METAL
NTS	NOT TO SCALE
O.C.	ON CENTER
OFOI	OWNER-FURNISHED, OWNER INSTALLED
OFCI	OWNER-FURNISHED, CONTRACTOR INSTALLED
PL	PLASTER
POU	POINT-OF-USE
PT	PRESSURE-TREATED
R	RADIUS
REF	REFRIGERATOR
RO	ROUGH OPENING
SIM	SIMILAR
T.O.	TOP OF
T.O.S.	TOP OF SLAB
T.O.B.	TOP OF BEARING
T.O.P.	TOP OF PARAPET
T.O.R.	TOP OF FINISH ROOF
T.O.W.	TOP OF WALL
TS	TUBE STEEL
TYP.	TYPICAL
U.N.O	UNLESS NOTED OTHERWISE
W	WITH
WH	WATER HEATER
VIF	VERIFY IN FIELD
WC	WATER CLOSET
WD	WOOD
W.I.C	WALK-IN CLOSET

## ARCH. SYMBOLS

	EARTH
	COMPACTED SOIL
	CONCRETE
	GRAVEL
	CMU OR ICF
	RIGID FOAM INSULATION
	BATT INSULATION
	SPRAY FOAM INSULATION
	SAND, GWB OR BLOWN-IN BLANKET INSULATION
	STEEL
	WALL SECTION
	BUILDING SECTION
	EXTERIOR ELEVATION
	DOOR TAG
	WINDOW TAG
	INTERIOR ELEVATION
	ROOM NAME
	DESCRIPTION ELEV
	REVISION TAG
	DETAIL TAG
	CENTERLINE



333 MONTEZUMA AVE. SUITE 200  
SANTA FE, NM 87501  
505.968.1010  
www.hoopesarchitects.com

### BOLAND - GREULICH RESIDENCE

ARCHITECTS PROJECT NO. 2408  
439 CAMINO DEL MONTE SOLO  
SANTA FE, NEW MEXICO 87501

ISSUE DATE: 04.07.2025

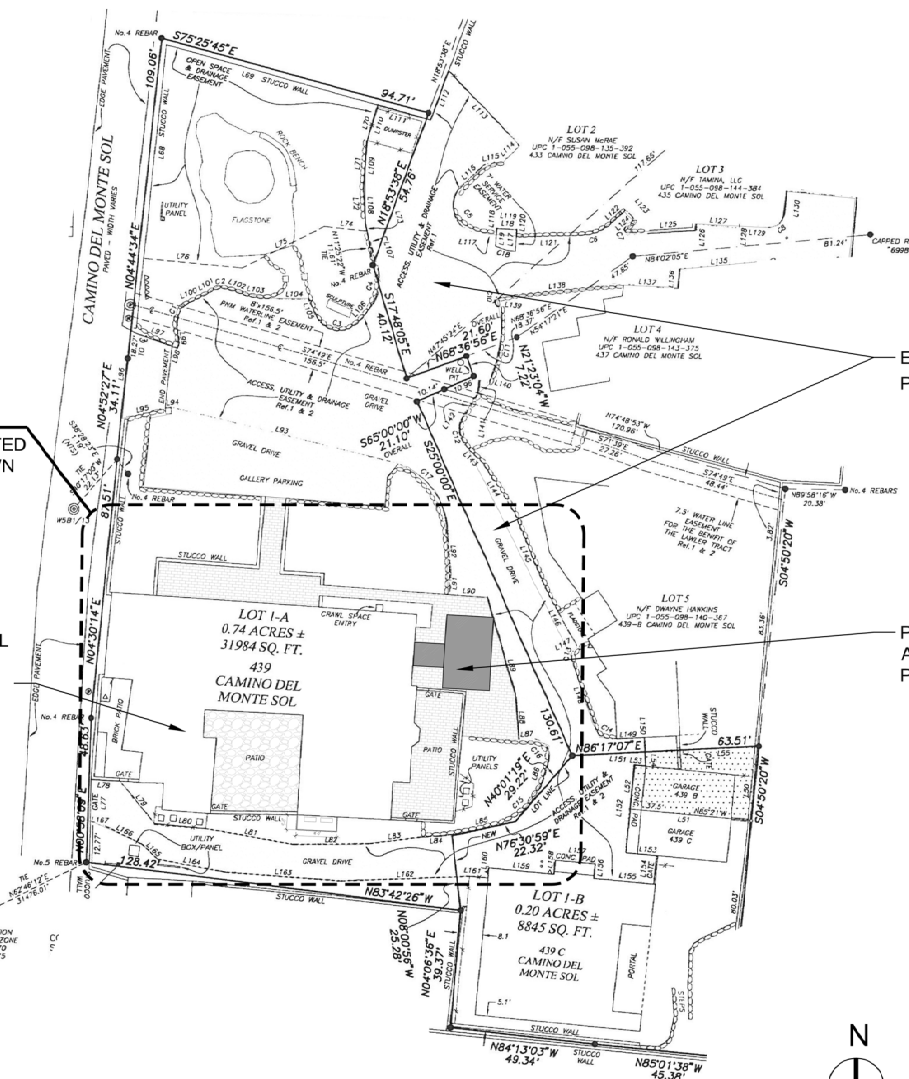
HISTORIC APPROVAL SET  
(FOR PROPOSED GARAGE)

ARCHITECTURAL  
NOTES

AN-001

# LEGEND

- MONUMENT CAPPED REBAR "13054" FOUND AND USED OR AS NOTED.
- COMPUTED POINT.
- △ CONTROL MONUMENT
- ⚡ UTILITY POLE, OVERHEAD UTILITY LINES, AND POLE GUY ANCHOR WHEN APPLICABLE.
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRIC METER.
- ⊕ GAS CONNECT.
- ⊕ WATER METER.
- ⊕ WATER VALVE.
- ⊕ SEWER MANHOLE COVER
- ⊕ TELEPHONE MANHOLE COVER
- ⊕ FIRE HYDRANT
- ⊕ LIGHT POLE
- ⊕ CLEAN-OUT
- ⊕ AIR CONDITIONING UNIT
- ⊕ WATER CONTROL BOXES



SEE PLANS AND EXTERIOR ELEVATIONS HEREIN FOR GARAGE ADDITION

(NOTE: ALL PLANS ARE ROTATED 180 DEGREES FROM AS SHOWN HERE ON SITE PLAN)

SUBJECT PROPERTY:  
439 A CAMINO DEL MONTE SOL  
"LOT 1A" OF  
CINCO SOLES SUBDIVISION

EXISTING GRAVEL DRIVES AND PARKING SHOWN WITH POCHÉ

PROPOSED ONE-CAR GARAGE ADDITION - SEE ENLARGED SITE PLAN FOR MORE INFORMATION



01

OVERALL ARCHITECTURAL SITE PLAN

scale: 1" = 20'-0"



**HOOPES ARCHITECTS**

333 MONTEZUMA AVE. SUITE 200  
SANTA FE, NM 87501  
505.466.5018  
www.hoopesarchitects.com

**BOLAND - GRELLICH RESIDENCE**

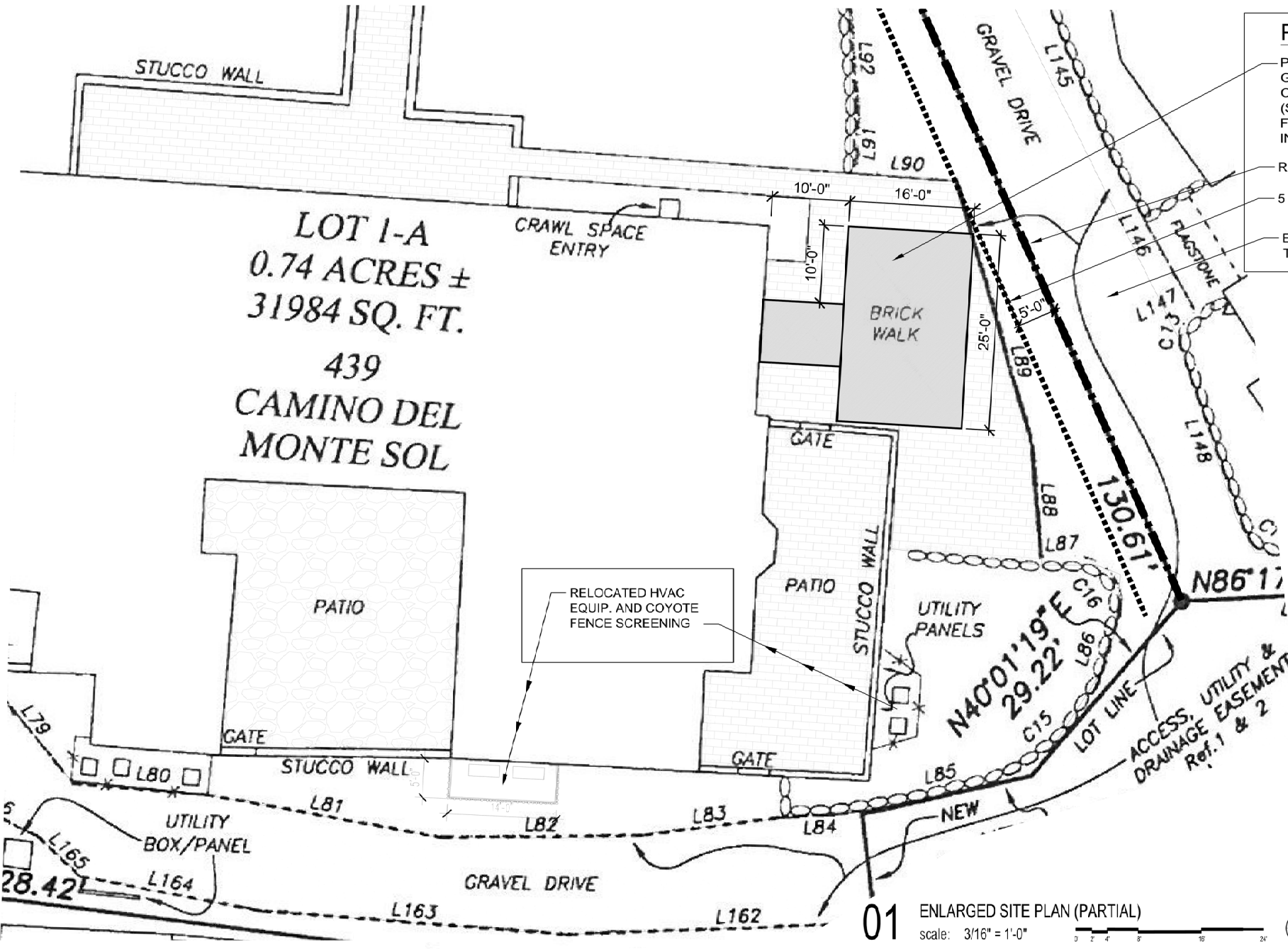
ARCHITECTS PROJECT NO.: 2828  
439 CAMINO DEL MONTE SOL  
SANTA FE, NEW MEXICO 87501

ISSUE DATE: 04/27/2015

HISTORIC APPROVAL SET  
(FOR PROPOSED GARAGE)

SITE PLAN

AS-101



- PLAN NOTES**
- PROPOSED ONE-CAR GARAGE AND CONNECTING BREEZEWAY (SHOWN SHADED - SEE FLOOR PLANS FOR MORE INFO AND DIMENSIONS)
  - REAR PROPERTY LINE
  - 5 FT REAR SETBACK
  - EXISTING GRAVEL DRIVE TO REMAIN AS IS



**HOOPES ARCHITECTS**

333 MONTEZUMA AVE. SUITE 200  
SANTA FE, NM 87501  
505.466.5118  
www.hoopesarchitects.com

**BOLAND - GREULICH RESIDENCE**  
ARCHITECTS PROJECT NO. 2808  
439 CAMINO DEL MONTE SOL  
SANTA FE, NEW MEXICO 87501

ISSUE DATE: 04/27/2015

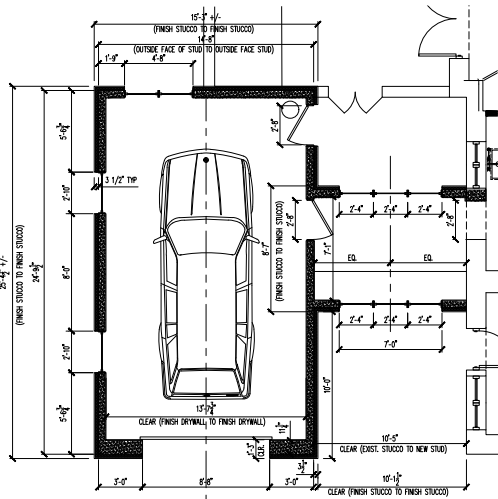
HISTORIC APPROVAL SET  
(FOR PROPOSED GARAGE)

SITE PLAN

AS-102

**01 ENLARGED SITE PLAN (PARTIAL)**  
scale: 3/16" = 1'-0"



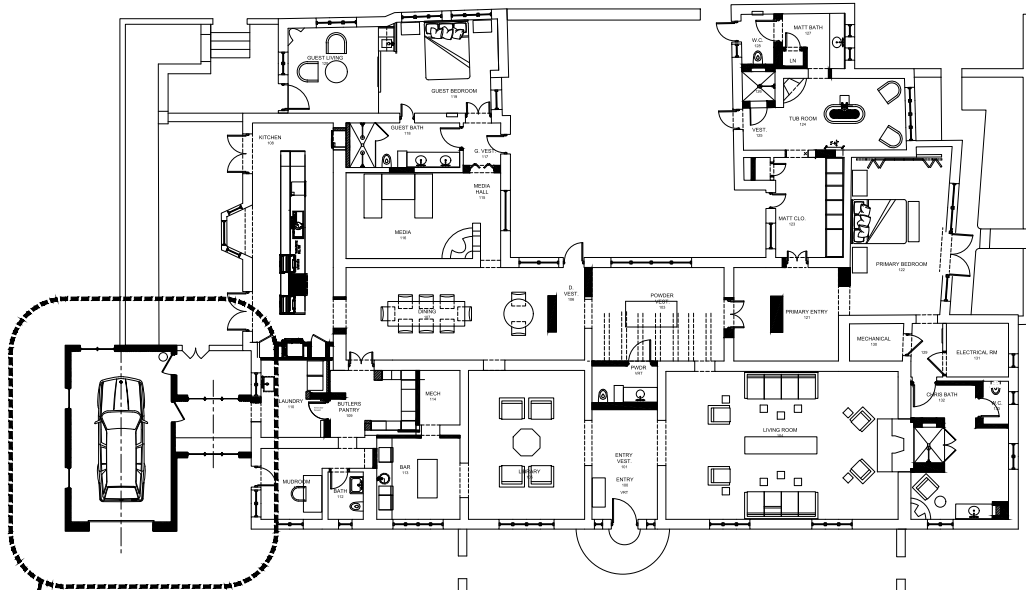


**03** ENLARGED PROPOSED FLOOR PLAN (PARTIAL)  
 scale: 1/4" = 1'-0"

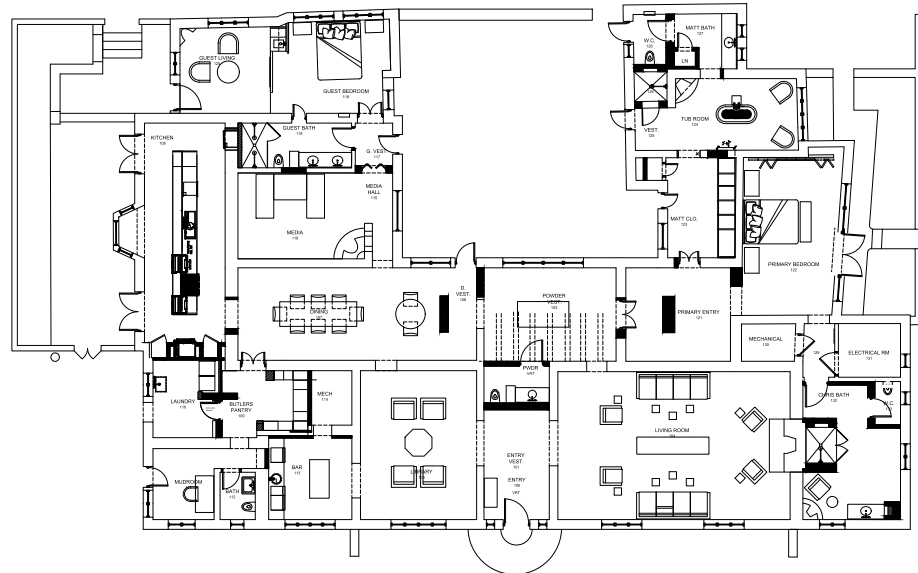
**PLAN NOTES:**

1. DIMENSIONS SHOWN HERE ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2. NEW WALLS ARE SHOWN SHADED.
3. NEW WALLS HAVE 3/4" +/- OF THREE-COAT CEMENTITIOUS STUCCO SYS ON 2" OF RIGID INSULATION ON PLYWD. ON STUD. THEREFORE ALL NEW WINDOWS ARE SET BACK APPROX 3" +/-.
4. ALL WINDOWS AND EXTERIOR DOOR TO MATCH EXISTING CONDITIONS - SEE ELEVATIONS, PHOTOS, COLOR RENDERINGS AND COLOR CHART

PROPOSED (NEW CONSTRUCTION)  
 ONE-CAR GARAGE AND BREEZEWAY  
 ADDITION - SEE EXTERIOR ELEVATIONS



**02** PROPOSED FLOOR PLAN  
 scale: 1/8" = 1'-0"



**01** EXISTING FLOOR PLAN  
 scale: 1/8" = 1'-0"

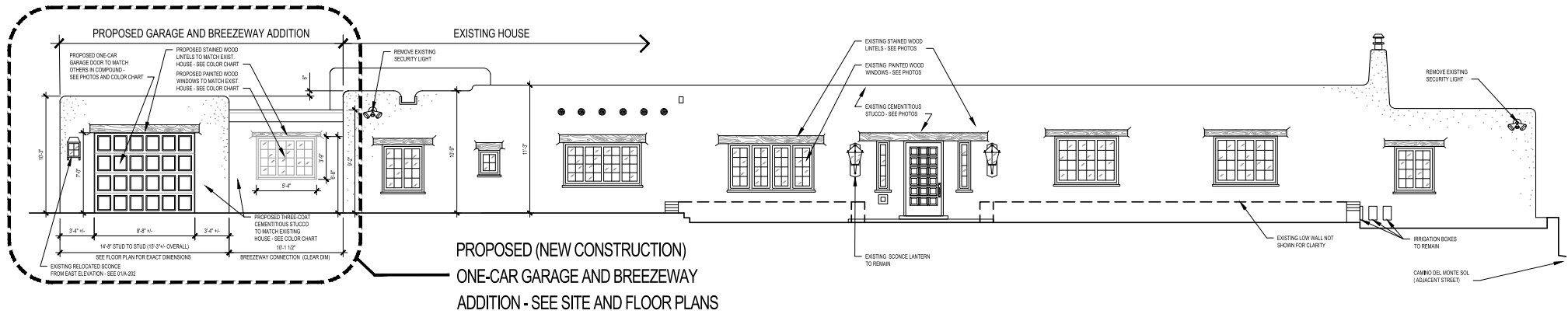


333 MONTEZUMA AVE. SUITE 200  
 SANTA FE, NM 87501  
 505.988.1010  
 www.HoopesArchitects.com

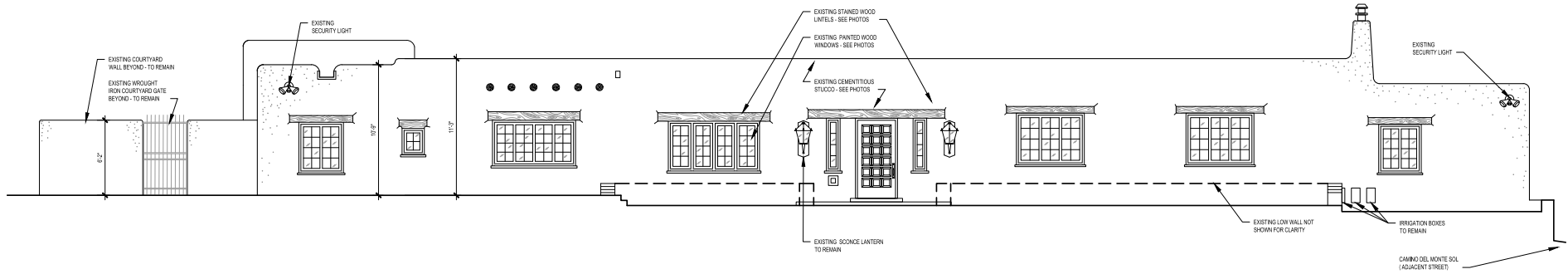
**BOLAND - GREULICH  
 RESIDENCE**  
 ARCHITECTS PROJECT NO. 2408  
 435 CHURCH DEL MONTE SQ.  
 SANTA FE, NEW MEXICO 87501  
 ISSUE DATE: 04.07.2025

HISTORIC APPROVAL SET  
 (FOR PROPOSED GARAGE)  
 EXISTING AND  
 NEW FLOOR PLAN

**A-101**



**02** PROPOSED NORTH EXTERIOR ELEVATION  
 scale: 1/4" = 1'-0"



**01** EXISTING NORTH EXTERIOR ELEVATION  
 scale: 1/4" = 1'-0"



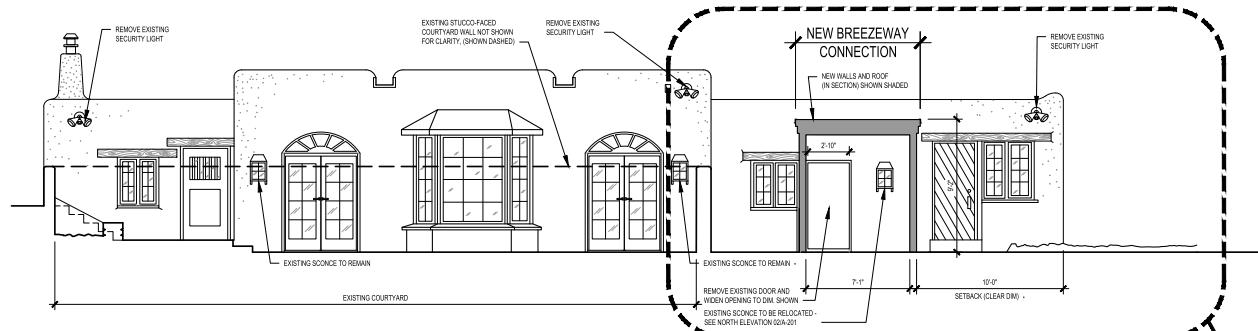
333 MONTEZUMA AVE. SUITE 200  
 SANTA FE, NM 87501  
 505.986.1010  
 www.hoopesarchitects.com

**BOLAND - GREULICH RESIDENCE**  
 ARCHITECT'S PROJECT NO. - 2408  
 439 CAMINO DEL MONTE SOL  
 SANTA FE, NM 87501 (P/S)  
 ISSUE DATE: 04-07-2025

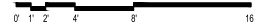
HISTORIC APPROVAL SET  
 (FOR PROPOSED GARAGE)

EXISTING AND  
 NEW ELEVATIONS

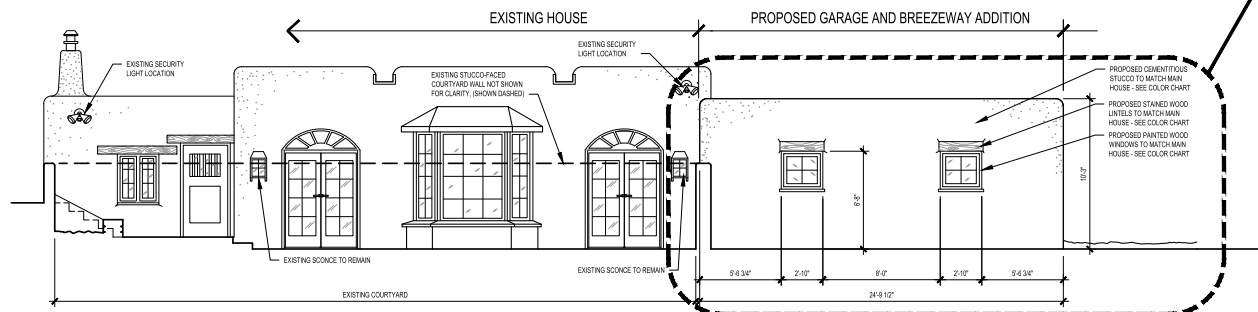
**A-201**



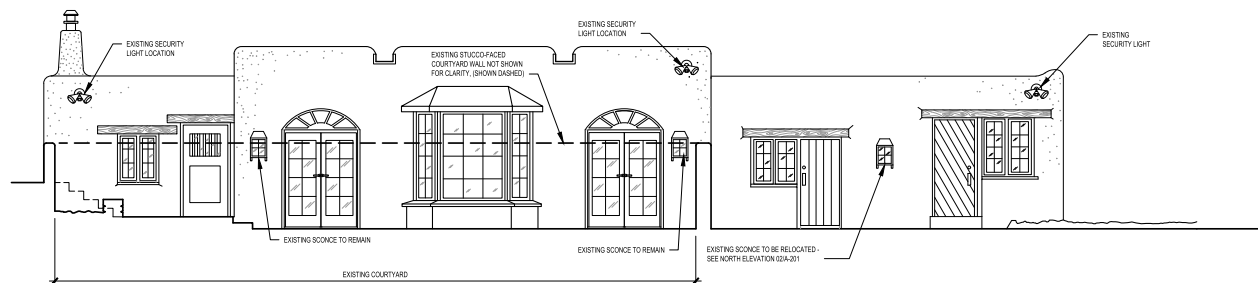
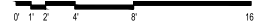
**03** PROPOSED EAST EXTERIOR ELEVATION/SECTION  
 scale: 1/4" = 1'-0"



PROPOSED (NEW CONSTRUCTION)  
 ONE-CAR GARAGE AND BREEZEWAY  
 ADDITION - SEE SITE AND FLOOR PLANS



**02** PROPOSED EAST EXTERIOR ELEVATION  
 scale: 1/4" = 1'-0"



**01** EXISTING EAST EXTERIOR ELEVATION  
 scale: 1/4" = 1'-0"



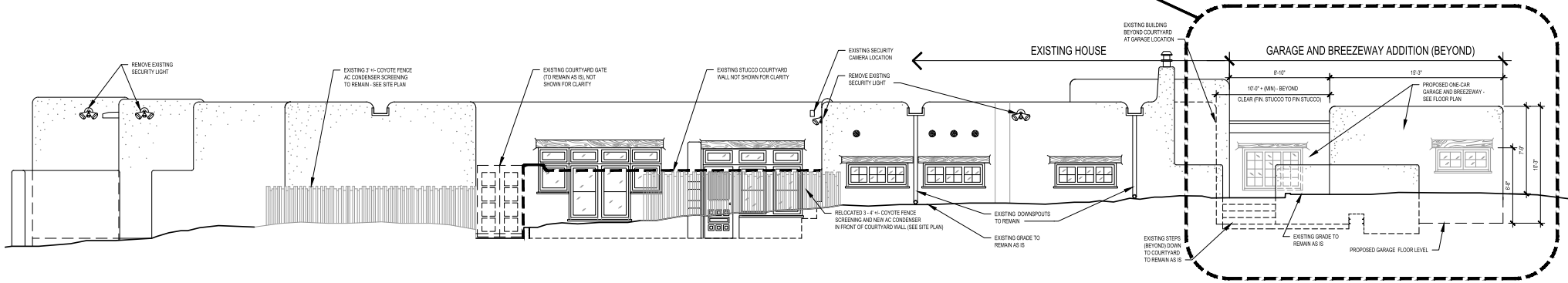
333 MONTEZUMA AVE. SUITE 200  
 SANTA FE, NM 87501  
 505.986.1010  
 www.hoopesarchitects.com

**BOLAND - GREULICH  
 RESIDENCE**  
 ARCHITECTS PROJECT NO. 248  
 439 CAMINO DEL MONTE SOL  
 SANTA FE, NM 87505 (P)  
 ISSUE DATE: 04-07-2025

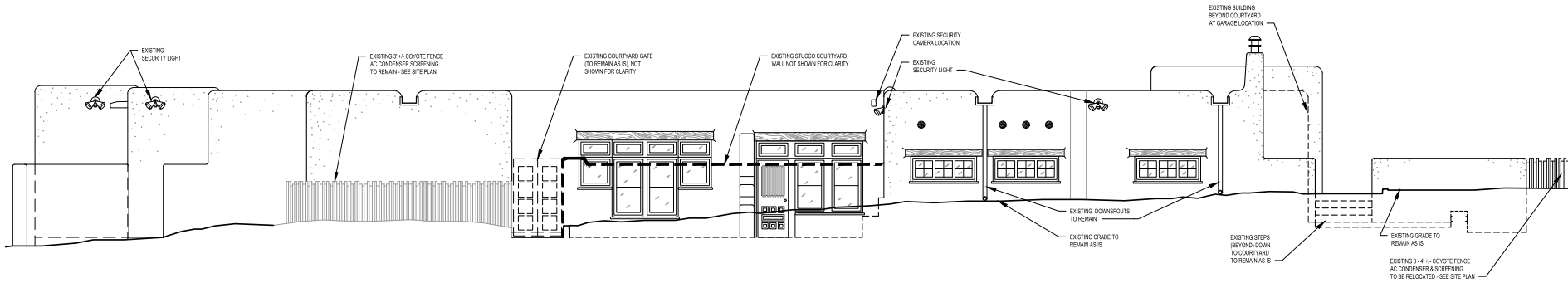
HISTORIC APPROVAL SET  
 (FOR PROPOSED GARAGE)  
 EXISTING AND  
 NEW ELEVATIONS

**A-202**

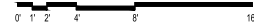
PROPOSED NEW CONSTRUCTION  
(BEYOND); ONE-CAR GARAGE AND  
BREEZEWAY ADDITION - SEE SITE  
AND FLOOR PLANS



**02** PROPOSED SOUTH EXTERIOR ELEVATION  
scale: 1/4" = 1'-0"



**01** EXISTING SOUTH EXTERIOR ELEVATION  
scale: 1/4" = 1'-0"



333 MONTEZUMA AVE. SUITE 200  
SANTA FE, NM 87501  
505.966.1010  
www.hoopesarchitects.com

**BOLAND - GREULICH  
RESIDENCE**

ARCHITECT'S PROJECT NO. - 248

439 CAMINO DEL MONTE SOL  
SANTA FE, NM 87503 (PH)

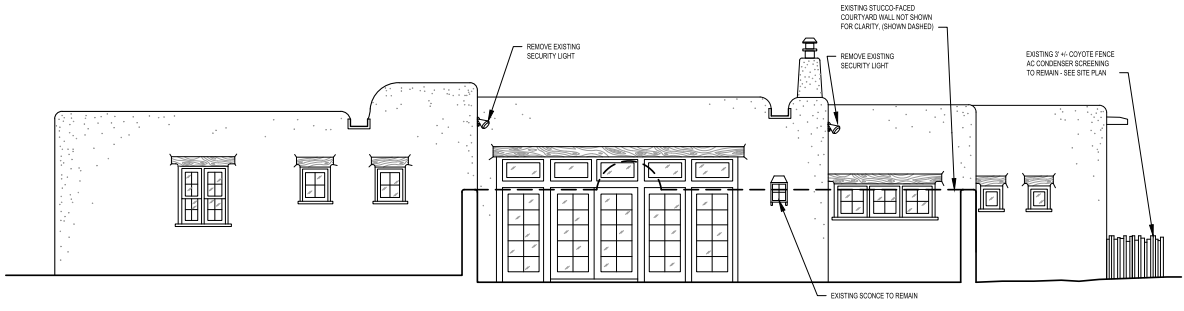
ISSUE DATE: 04-07-2025

HISTORIC APPROVAL SET  
(FOR PROPOSED GARAGE)

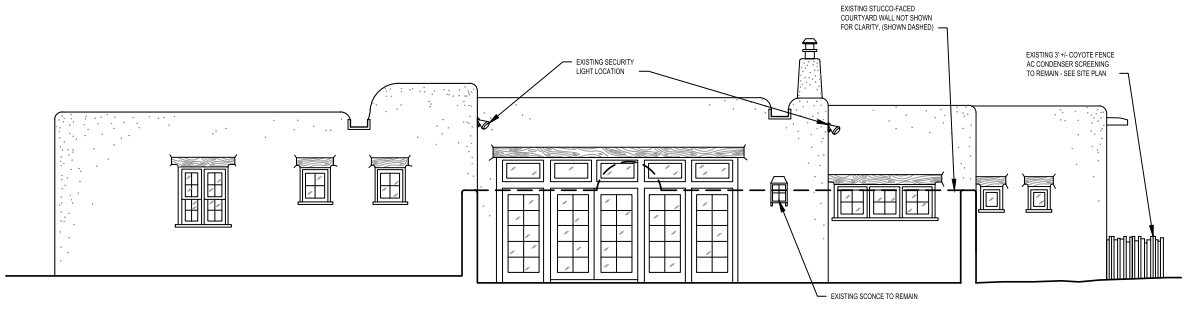
EXISTING AND  
NEW ELEVATIONS

**A-203**

NOTE: PROPOSED GARAGE ADDITION NOT SEEN ON THIS FACADE



**02** PROPOSED WEST EXTERIOR ELEVATION  
 scale: 1/4" = 1'-0"  
 (CAMINO DEL MONTE SOL STREET FACADE)



**01** EXISTING WEST EXTERIOR ELEVATION  
 scale: 1/4" = 1'-0"  
 (CAMINO DEL MONTE SOL STREET FACADE)



**HOOPES ARCHITECTS**

333 MONTEZUMA AVE. SUITE 200  
 SANTA FE, NM 87501  
 505.982.1110  
 www.hoopesarchitects.com

**BOLAND - GREULICH RESIDENCE**  
 ARCHITECT'S PROJECT NO. - 2408  
 439 CAMINO DEL MONTE SOL  
 SANTA FE, NM 87505 07001  
 ISSUE DATE: 04-07-2025

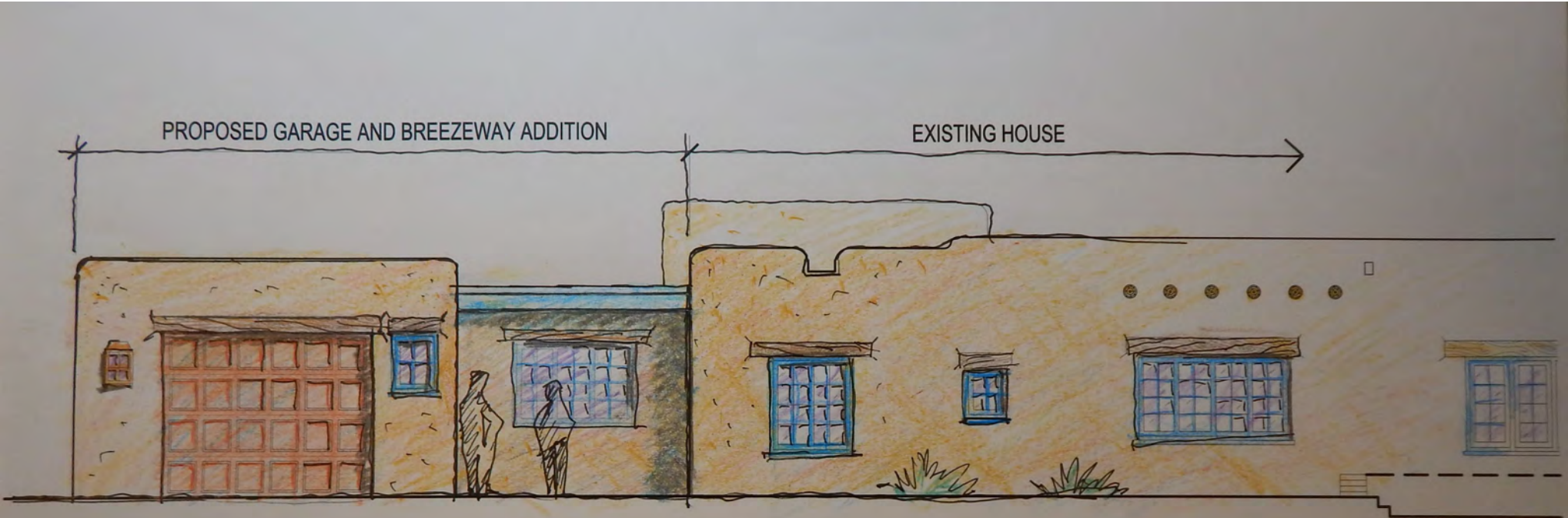
HISTORIC APPROVAL SET  
 (FOR PROPOSED GARAGE)

EXISTING AND  
 NEW ELEVATIONS

**A-204**

PROPOSED GARAGE AND BREEZEWAY ADDITION

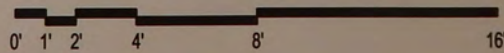
EXISTING HOUSE

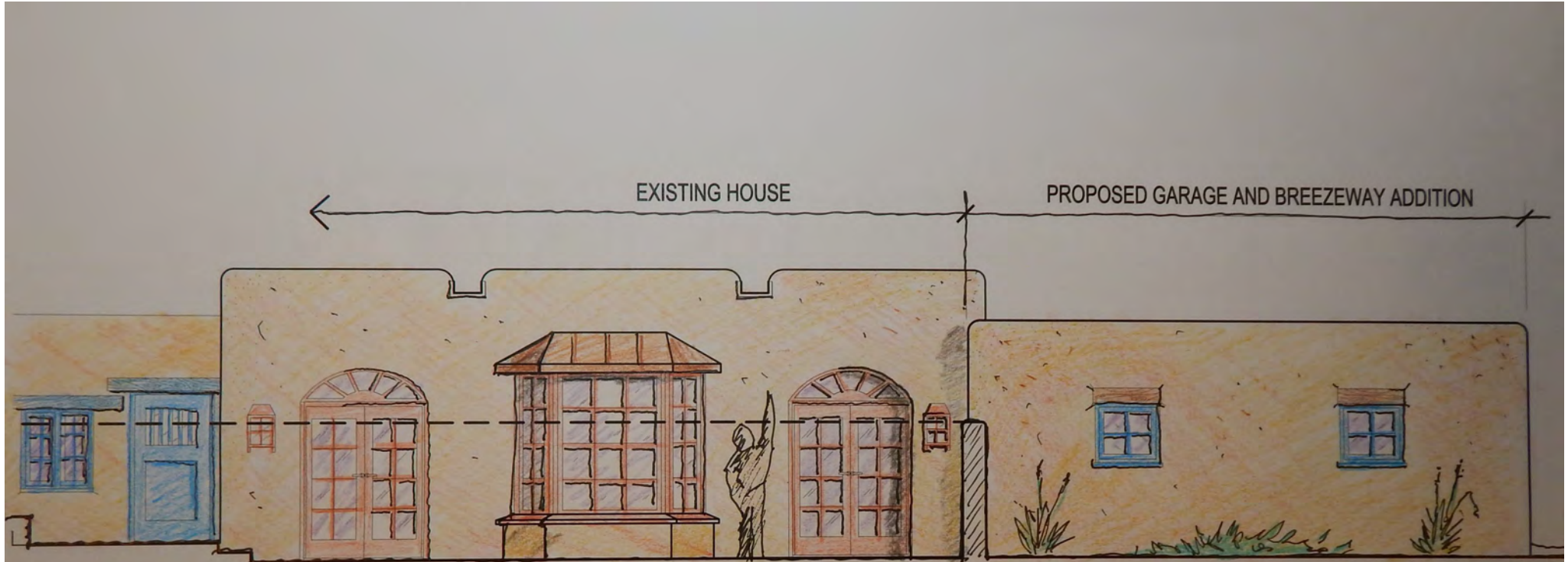


02

PROPOSED NORTH EXTERIOR ELEVATION

scale: 1/4" = 1'-0"





02

PROPOSED EAST EXTERIOR ELEVATION

scale: 1/4" = 1'-0"

