



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-009381--HDRB

Project Description: 2024-009381-HDRB, 532 Don Gaspar Ave., Don Gaspar Area Historic District, Significant, Hannon Structures, agent for Andras Szantho, owner, requests to make changes to a previous approval including installation of a porch railing, HVAC with screening, exterior lighting, and accessible lift door. An exception is requested to 14-5.2(D)(5)(b) to add a porch railing on a primary facade.

Project Location(s): 532 DON GASPAR AVE
Santa Fe, NM 87505

Contacts:

Property Owner: Andras Szantho
210 Montezuma Ave. Ste. 200

andras@szantholaw.com

Applicant: KENNETH HANNON
17-D AMADO SUENO
SANTA FE , NM 87507

hannonstru@aol.com

Historic District: HD: Don Gaspar Area

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: False Significant/Landmark: True

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 1995

Year of Construction: 1928

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: November 26, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-009381-HDRB, 532 Don Gaspar Ave., Don Gaspar Area Historic District, Significant, Hannon Structures, agent for Andras Szanthy, owner, requests to make changes to a previous approval including installation of a porch railing, HVAC with screening, exterior lighting, and accessible lift door. An exception is requested to 14-5.2(D)(5)(b) to add a porch railing on a primary facade.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: previous case documents

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Exception Criteria

STAFF RECOMMENDATION:

Staff does not find that the exception criteria have been met but the Board may find that they have upon further testimony; therefore, staff recommends denial of item 1 to install the white railing on the porch. Otherwise, staff recommends approval of items 2- 8 of the application as it complies with 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(H) Don Gaspar Area Design Standards.

BACKGROUND & SUMMARY:

The single-family residence at 532 Don Gaspar Avenue is a Craftsman Bungalow style listed as significant to the Don Gaspar Area Historic District. It was built in 1928 and is documented as

Tyler's Drug Store in 1928. It is located on the corner of West Santa Fe Avenue and Don Gaspar Avenue. It has a detached garage to the west of the main house, that is designated as contributing.

The main house has a mostly square footprint and faces east to Don Gaspar Avenue. It is red brick with a projecting, pitched, cross gable, hipped roof with metal tiles. The primary entrance is on the east elevation which has a porch with brick piers and wrought iron hand railing. The front door has one large light with transom windows and two sidelights plus dental molding. Most of the windows are double hung, wood framed with concrete sills. The upper lights on the east elevation are surrounded by wood shingles. From the east, two symmetrical chimneys can be seen. The south elevation also has an original bay window, and view to the chimneys. The back porch extends along almost the entire west elevation, although the 1930 Sanborn map shows the porch as having a smaller footprint, indicating that the porch was added at a later date. Included on the west elevation is a dormer window, four double hung windows, and a single light door. A wooden ramp was also added at a later date to the front/east porch. A small white picket fence attached to the porch and extended southward to the edge of the property.



Figure 1: Front Façade of Structure prior to construction, circa November 2021

The single-family residence located at 532 Don Gaspar Avenue appears to be a twin to 528 Don Gaspar Avenue, with identical building footprints, orientation, roof profiles and material finishes. Both are in excellent condition and maintain their historic character in a way that exemplify the craftsmanship of the style and era in which they were built.

The property at 532 Don Gaspar came before the HDRB in 2022 under case #2022-005790-HDRB for exterior alterations including replacing roofing, windows and doors, the rear west porch, and

installing picket fencing. An exception to section 14-5.2(D)(5)(b) for replacing architectural features rather than repairing them was granted.

However, during construction, the applicant made alterations without seeking approval from the HDRB. The applicant failed their historic interim inspection as a result of these alterations. The applicant continued to work without approval and was issued a Stop Work Order (red tag) on September 24, 2024. Now, the applicant is before the board to request approval of those exterior alterations including:

- 1) Install a white railing on the front east porch. An exception to section (D)(5)(b) for adding an architectural feature on a primary façade.
- 2) Install 3 ground mounted HVAC units on the west elevation behind the newer porch to minimize visibility.
- 3) Construct a 4'-0" high coyote fence just inside the existing chain link fence on the northwest corner of the building to shield the view of the HVAC units from the north and east.
- 4) Install exterior lighting at the access door to the basement.
- 5) Install the door on the previously approved ADA lift.
- 6) Install the required ADA sidewalk to access the lift from the parking area and the street to the south.
- 7) Install the asphalt parking area with automobile bumpers and appropriate striping.
- 8) Install gravel mix in tan along the east and south of the residence.



Figure 2: Alteration made in the field with the railing on the porch October 2024

EXCEPTION CRITERIA AND RESPONSES:

Exception to section 14-5.2(D)(5)(b): The applicant requests an exception to add an architectural feature to a significant structure.

(i) *Do not damage the character of the district*

Applicant Response: “Architecture” Adding back character to district plus be ADA compliant.

Applicant Addendum to Response: The railing on the front porch does not damage the character of the district. It is in keeping with the design of the building and the type of architecture of the building. It mirrors the railing on the back porch and the color is matched to the other elements of the residence. This helps the structure blend in with the Don Gaspar Area Historic District.

Staff Response: Staff agrees with this amended statement. Staff recognizes that the railing is in keeping with the design of the building and the type of architecture of the building. It mirrors the railing on the back porch and is colored to match the other elements of the residence. This helps the structure blend in with the Don Gaspar Area Historic District.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: ADA compliant for welfare of disabled.

Applicant Addendum to Response: The railing prevents hardship by providing much needed fall protection on the front porch area.

Staff Response: Staff disagrees with this amended statement. While staff recognizes that the applicant installed the railing as a fall protection measure, fall protection is not required at this height under the code.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: No public walkways infringed upon. Safe but open spaced for total Architectural views.

Staff Response: Staff does not find that the applicant has addressed the criteria. However, staff does recognize that the railing mirrors the railing on the back porch and is colored to match the other elements of the residence. The applicant also considered a black metal railing to match the neighboring twin building which was installed in the 1970s.



Figure 3: Railing on street facing elevation of twin structure at 528 Don Gaspar

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural *treatments* and styles, features, and details as the existing *structure*, but shall not duplicate those of the existing

structure in a manner that will make the addition indistinguishable from the existing *structure*.

(c) Additions are not permitted to *primary façades*.

(4) Porches and Portals

Existing *porches* or *portals* shall not be enclosed.

(5) Windows, Doors, and Other Architectural Features

(a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:

(i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

(ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.

(iii) No existing opening shall be closed.

(b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(H) Don Gaspar Area Historic District

(1) District Standards

Compliance with the following structural standards shall occur wherever those exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:

(a) Slump block, stucco, brick, stone, or wood shall be used as exterior *wall* materials. Aluminum siding, metal panels, mirrored glass and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior *wall* materials. The painting of *buildings* with a color that causes arresting or spectacular effects or with bold repetitive patterns, or using *building* as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.

(b) Roof forms including but not limited to flat, gabled, shed, and *hipped roofs* are allowed. Folded plate or hyperbolic roofs are not allowed.

(c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing *walls* for *trombe walls* or other solar collectors, *greenhouses*, garden rooms, direct gain, or other energy

collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened by the following methods:

- (i) raising the parapet;
- (ii) setting back from the edge of the roof;
- (iii) framing the collector with wood;
- (iv) in the case of pitched roofs, by integrating the collector into the pitch;
- (v) in case of ground solar collectors by a *wall* or vegetation;
- (vi) in the case of *wall* collectors by enclosing by end or other *walls*;
- (vii) other means that screen the collector or integrate it into the overall *structure*.
Non-glare materials shall be used in solar collectors.

- (d) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened by opaque materials by raising the parapet, framing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problems.
- (e) *Walls* and fences shall be of brick, *adobe*, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block *walls* are allowed. *Walls* of unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not in view from any public *street*, way, or other public place.
- (f) *Greenhouses*. Attached *greenhouses* that front on the *street* shall give the appearance of being integrated into the *structure* of the *building* or of being a substantive addition rather than having a lean-to-effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding *greenhouses* that front on the *street* is prohibited. *Greenhouses* with slanting sides shall be bracketed at the ends and the *greenhouses* made from enclosed *porches* or *portales* shall maintain the shape of the *porch* or *portal*.
- (g) For *residential* uses, paving with asphalt or parking is not allowed in the front *yard* except in the sidewalk or driveway.
- (h) For commercial uses zoned C-1 front *yards* are required to be landscaped, and no required front *yard* shall be used for *off-street parking*.
- (i) As a condition of any rezoning all *applicants* shall provide evidence of sufficient *off-street parking* and an intent to maintain the architectural integrity of the existing *building* or to conform to the architectural style of the district if constructing a *building* on a vacant *lot*.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or destruction of *walls*, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the *application* for the *building permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals,

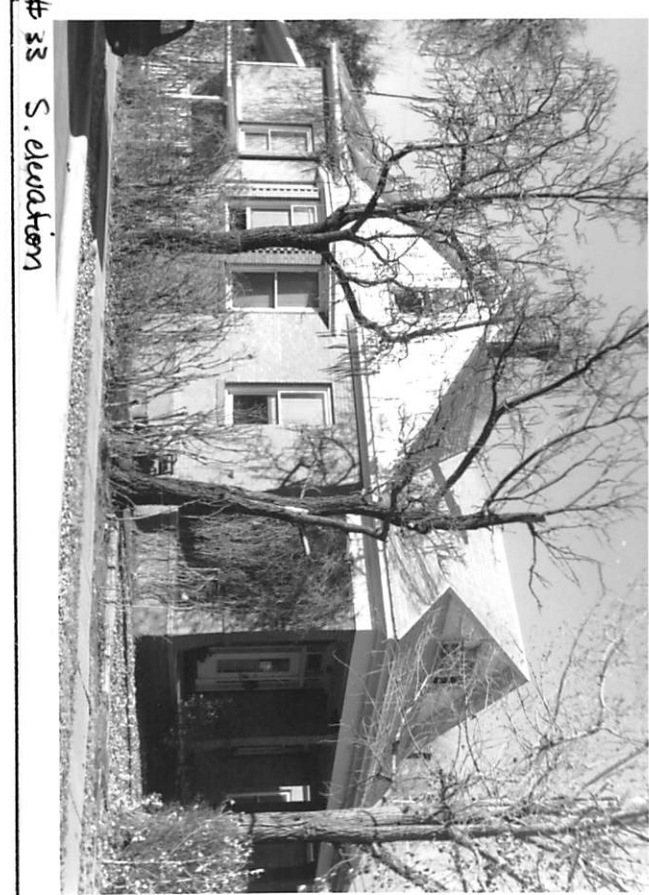
disapprovals, or referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

APPROVED AS TO FORM BY THE PLANNING AND LAND USE DEPARTMENT:

Title	Name	Initials
Department Director	Heather Lamboy	
Assistant Department Director	Maggie Moore	
Planning Manager	Gary Moquino	GM
Planner Senior	Lani McCulley	<i>LJM</i>

ADDITIONAL PHOTOGRAPHS

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION



33 S. elevation



31 N. elevation

ROOFS & DRAINS	3/4th gable w/ metal tile, cross-gable north to south, projecting dormer, hip E-W Red brick
BUILDING WALLS	Raised concrete foundation with basement
FOUNDATIONS	E - large light wood door w/ dentil molding, raised wood medallion, 3 light operable transom and sidelights
DOORS	W - wood panel with single upper light and transom
WINDOWS	E - 1/1 dhw w/ wood frame, concrete sills S - bay 1/1 w/ wood cornice flanked by 1/1 windows w/ conc. sills W - 2 2 light casements N - 3 1/1 dhw w/ wood frame, concrete sills
PORCHES OR PORTALES	E - projecting hip roof of metal tile, w/ cornice, head board ceiling & brick piers raised painted stone/concrete slab, concrete steps & wd. ramp W - wood lattice w/ wd steps w/ balustrade
BALCONIES	
COURTYARDS	NW Flagstone Patios
FENCES/WALLS	SW corner white picket, w wood lattice, N chain link E - no fence
ARCH. DETAILS	
OTHER	
COMMENTS	Dormer has hexagonal painted exterior tile, suggesting it was added at a later date Metal storm windows, iron chimneys, swamp cooler Exterior basement entrance SW w/ paved roof

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 051600
	532 DON GASPAR	SANTA FE ID NUMBER: H-1803
		SURVEYED/RESEARCHED
		DATE _____ BY _____



34
S. elevation



35 W. elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 0516
	532 DON GASPAR	SANTA FE ID NUMBER:
		SURVEYED/RESEARCHED
		DATE _____ BY _____



#36 NW corner

Associated building: Garage 21' x 21'

historic use: garage

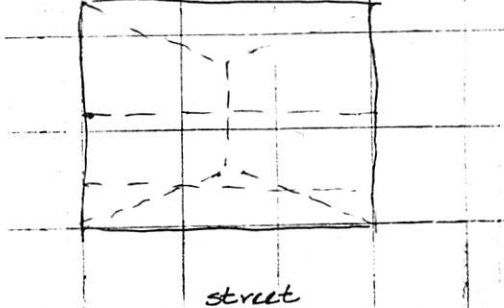
Current use: storage

shed roof w/ block coping, wood & metal fascia,
 stuccoed on entire structure, wood lintel over
 door has been stuccoed over, double leaf wd
 planks door, standing seam metal roof, battered
 walls (due to adobe construction)

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 304	UTM reference zone 12 (3)	easting 414100 northing 327000
location description 532 Don Gaspar		city/town Santa Fe	
		land grant/reservation	

building name	legal description tntp N S range E W sec 1/4 1/4
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film roll by E.T. no. 11	negative nos. 2A	loc. of neg. City of Santa Fe	building-site plan
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date of construction 1910 estimated 1912-1928 actual

source City Directory - Sanborn
use residential
historic residential

condition _ excellent <input checked="" type="checkbox"/> good _ fair _ deteriorating

degree of remodeling <input checked="" type="checkbox"/> minor _ moderate _ major
describe:

style lace Victorian

foundation material concreted over
wall material/surface brick

architectural features gable roof: gables covered w/ pressed metal porch across front cross gable - front truncated wd d ph 1-1 top & side lights door

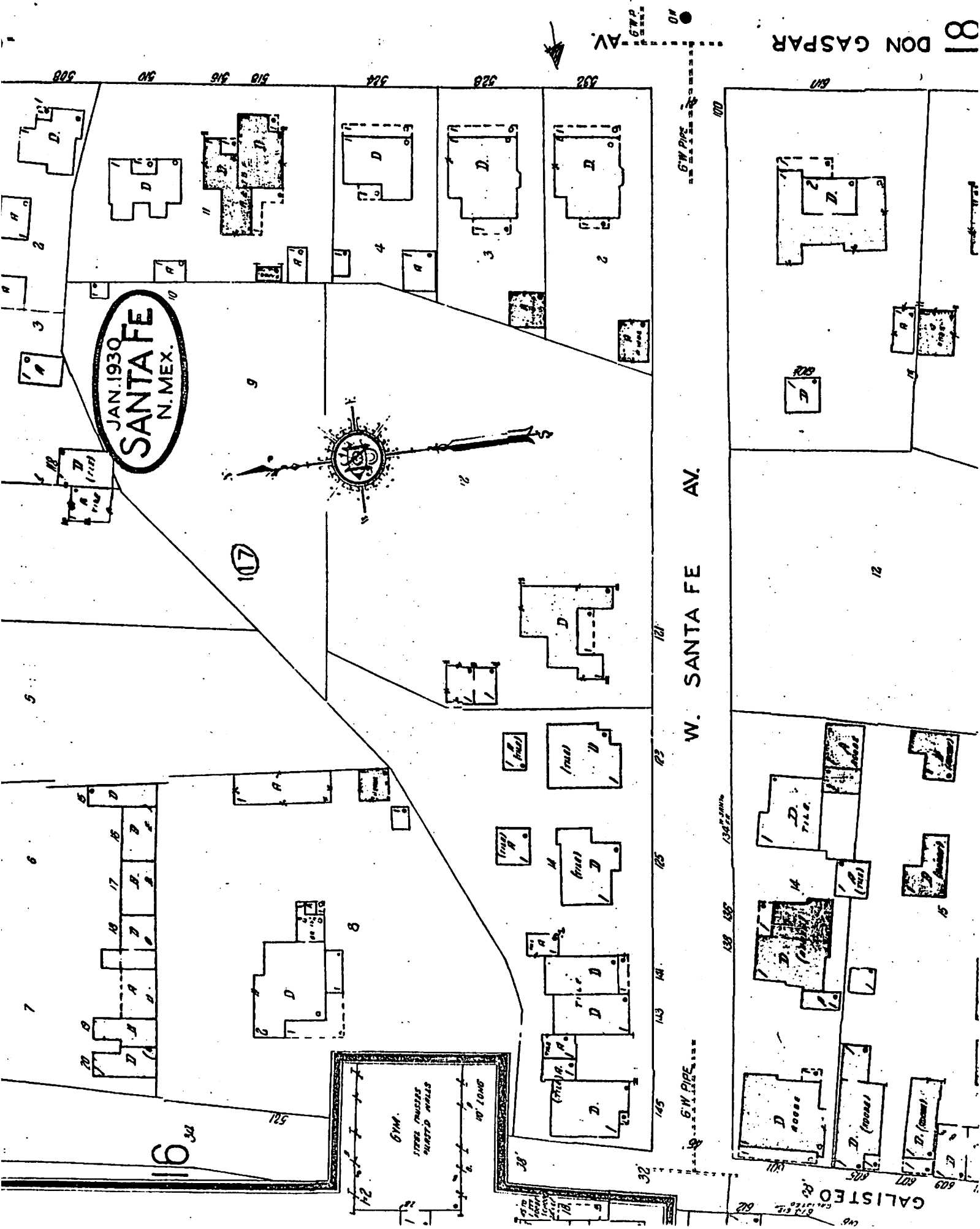
surroundings Med
relationship to surroundings <input checked="" type="checkbox"/> similar _ not similar

district potential <input checked="" type="checkbox"/> yes _ no
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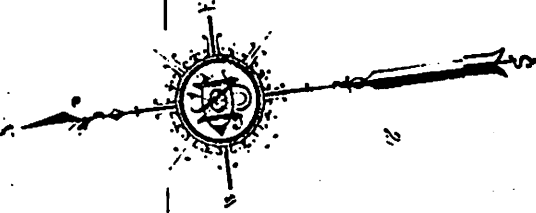
significance <input checked="" type="checkbox"/> significant <input checked="" type="checkbox"/> contributing date
_ supporting _ intrusive

comments similar to #303 Justin Thomas - built in early teens 1936-37 cd - McCauley 20 1928 cd Tyler WC Tyler's drug store on 1930 Sanborn

associated buildings? <input checked="" type="checkbox"/> yes what type? adobe garage if inventoried, list ID nos.
see back? _ yes



JAN. 1930
SANTA FE
 N. MEX.



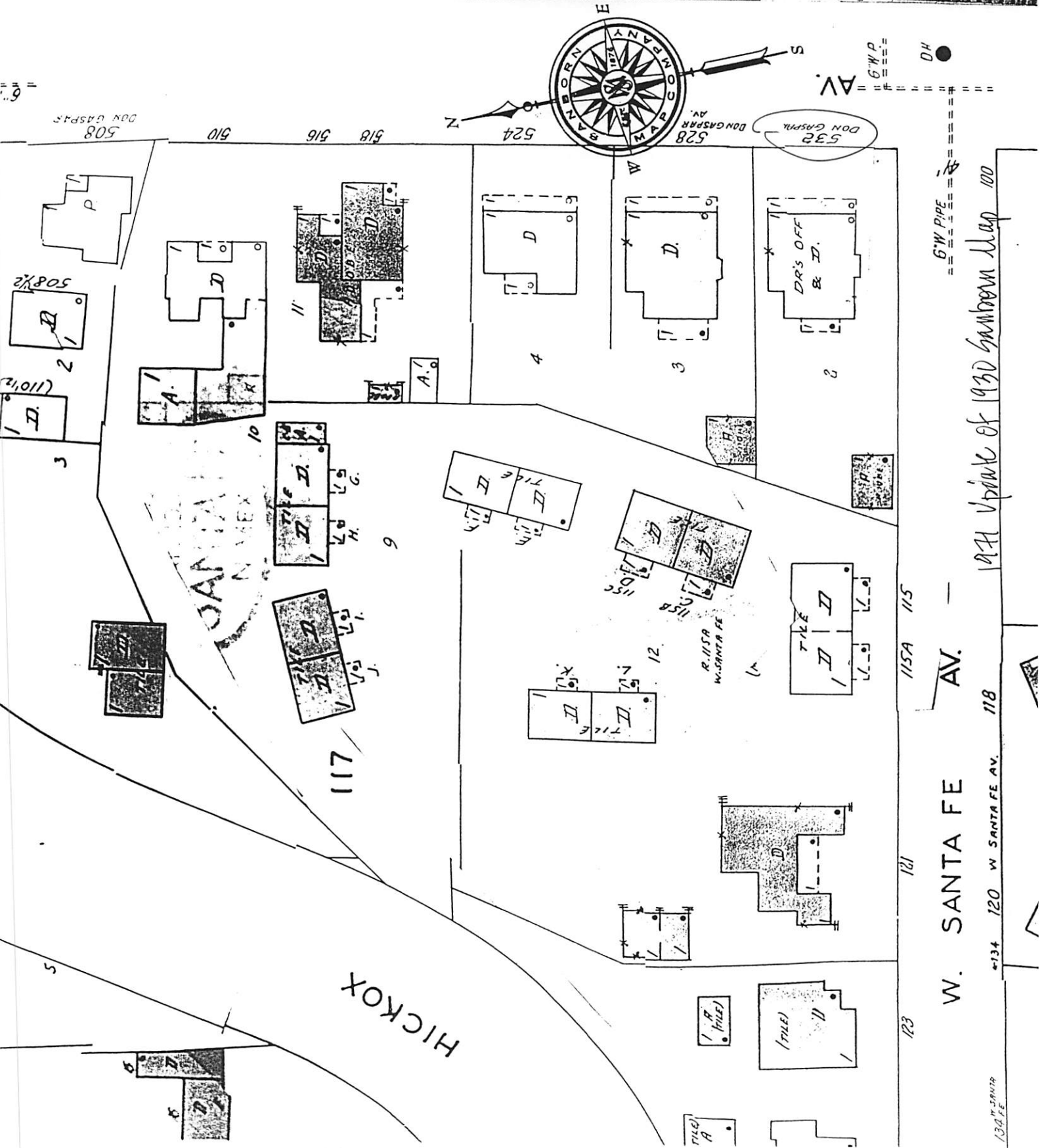
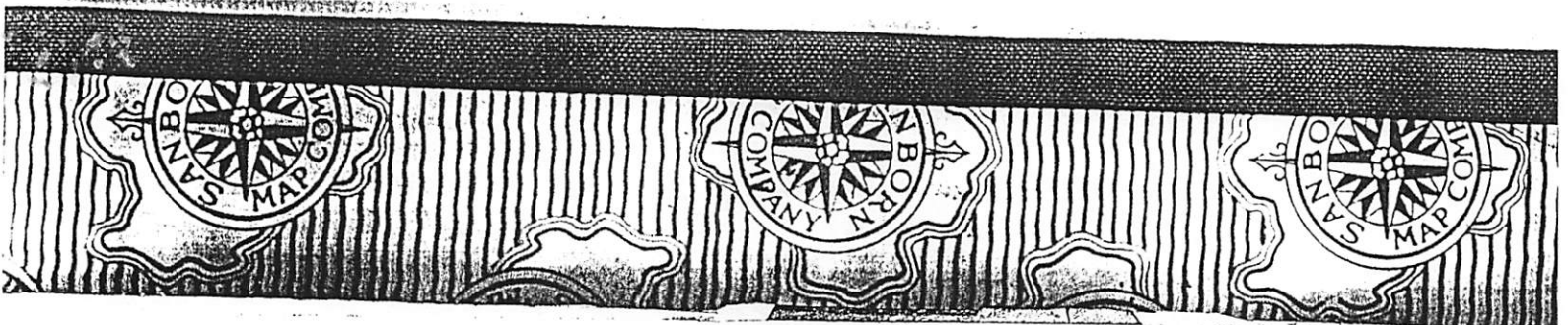
107

GYM.
 17000 SQUARE FEET
 40' LONG

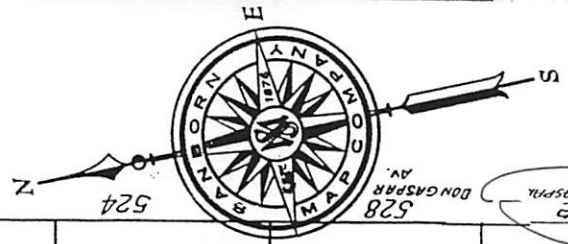
W. SANTA FE AV.

GALISTEO

AV.



508 DON GASPAR
510
516
518
524



AV.
G.W.P
OH

532 DON GASPAR

G.W. PIPE

1971 Update of 1930 Samborn Map

W. SANTA FE AV.

118
120 W SANTA FE AV.

115A 115

121

123

134 W SANTA FE

HICKOX

DANGER
DANGER EX

(FILE)

(FILE)

(FILE) A

(FILE)

R. J. ISA
W. SANTA FE

115B

115C

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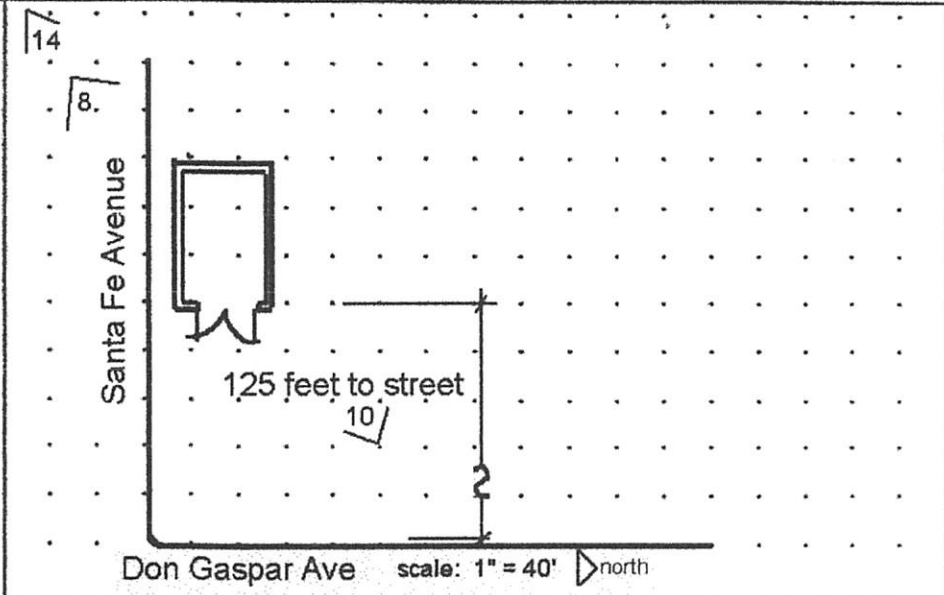
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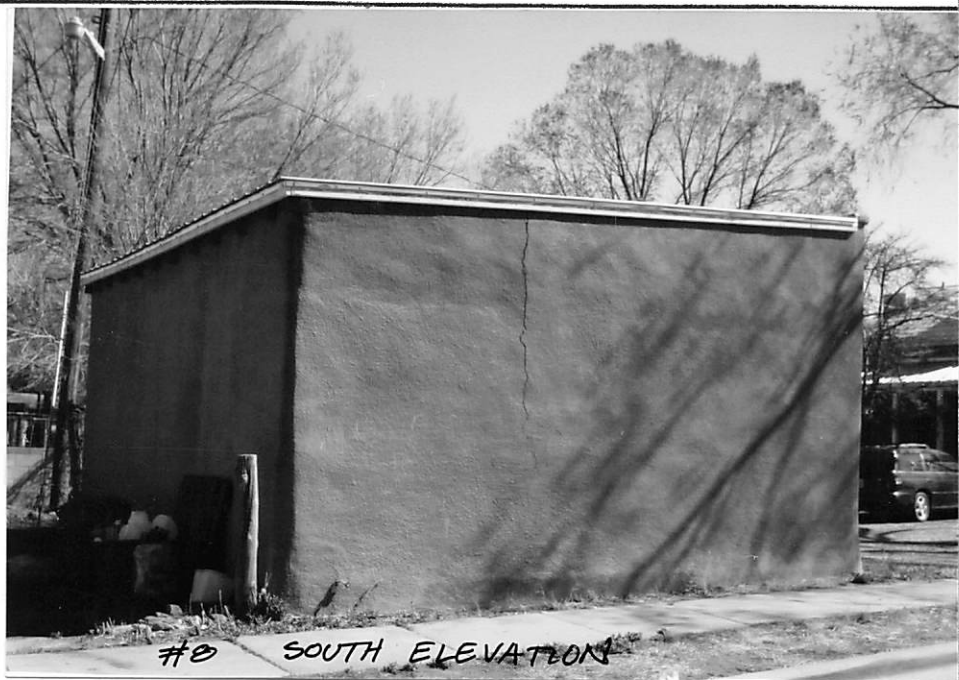
IDENTIFICATION	ADDRESS: 532 Don Gaspar Avenue (rear)		OLD ID NUMBER:
			SANTA FE ID NUMBER: 18031
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	BUILDING NAME:
	ZONE 12 13 414770 3948500	TNSP 17N RANGE 9E SEC 28 NW 1/4 NE 1/4	
FIELD MAP Santa Fe Historic Status Map 1996			
DATE OF CONSTRUCTION: <u>1930</u> ESTIMATE	SOURCE(S) City Dir. Sanborns		
<u>1930</u> ACTUAL			
ARCHITECTURAL STYLE: New Mexico Vernacular		PHOTO	
USE:			
HISTORIC: residential garage			
OTHER _____			
PRESENT: residential storage			
OTHER _____			
SURROUNDINGS: residential		BUILDING DATA	
RELATIONSHIP TO HISTORIC SURROUNDINGS:			
<input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR			
ASSOCIATED BUILDINGS ON SITE:			
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		SITE PLAN	
WHAT TYPE?			
IF INVENTORIED, LIST ID NUMBER(S)			
DEGREE OF REMODELING:		SIGNIFICANCE	
<input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE			
<input type="checkbox"/> MAJOR			
EXPLAIN:			
OVERALL CONDITION:			
<input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD			
<input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED			
BUILDING THREATENED?			
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			



ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION

ROOFS & DRAINS	shed roof , metal with parapet at front		
BUILDING WALLS	adobe		
FOUNDATIONS	concrete	APPROX. HEIGHT (FT.)	12 feet
DOORS	pair of vertical wood board doors approx 4 feet wide each		
WINDOWS	none		
PORCHES OR PORTALES	none		
ARCHITECTURAL DETAILS			
FENCES/WALLS	chain link fence at sidewald & conc. blk. wall at back		
SITE FEATURES	asphalt paving surrounding building		
OTHER/ COMMENTS	old Doctor office sign remains		

ADDITIONAL PHOTOGRAPHS



#0 SOUTH ELEVATION

ROOF & DRAINS		shed roof, metal with parapet at front
SUB-DRAIN WALLS		adobe
FOUNDATIONS		concrete
DOORS		pair of vertical wood board doors approx 4 feet wide each
WINDOWS		none
PORCHES OR PORTALES		none
ARCHITECTURAL DETAILS		
FENCE/WALLS		chain link fence at sidewalk & conc. blk. wall at back
SITE FEATURES		asphalt paving surrounding building
COMMENTS OTHER		old Doctor office sign remains

NOTHING TO BE MAINTAINED OR REPAIRED

ARCHITECTURAL DETAILS

532 Don Gaspar
Ave.
(near)

**THE ATTACHED SURVEY FORM REFLECTS
HISTORIC BUILDING SURVEY WORK THAT WAS
COMPLETED DURING MAY – AUGUST OF 2000.
RESULTS OF THE SURVEY AS REFLECTED ON
THE ATTACHED HAVE NOT BEEN ADOPTED BY
THE HISTORIC DESIGN REVIEW BOARD. IT
SHOULD BE CONSIDERED PRELIMINARY FOR
PURPOSES OF PLANNING. THIS IS TRUE AS OF
11/04.**

**PLEASE SEE DAVID OR MARISSA FOR
MORE INFORMATION OR CLARIFICATION.**

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
2022-005448-HDRB
Status Review
532 Don Gaspar**

VOTE: The motion passed by unanimous (3-0) roll call vote with Members Biedscheid, Bienvenu, and Larson voting in favor and none voting against.

4. **2022-005448-HDRB. 532 Don Gaspar Ave.** Don Gaspar Area Historic District. Kevin Georges, agent for Andras Szantho, requests a status review and primary facade designation, if applicable, for a contributing structure. (Carly Piccarello)

STAFF REPORT

532 Don Gaspar Avenue is a single-family, Craftsman Bungalow residence listed as contributing to the Downtown and Eastside Historic District. It was built in 1928 and is documented as Tyler's Drug Store in 1928. It is located on the corner of W. Santa Avenue and Don Gaspar Avenue. It has a detached garage to the west of the main house, which was designated as contributing. In 2000, the HDRB approved a proposal to remodel it.

The main house has a mostly square footprint and faces east to Don Gaspar Avenue. It is red brick with a projecting, pitched, cross gable, hipped roof with metal tiles. The primary entrance is on the east façade which has a porch with brick piers and wrought iron hand railing. The front door has one large light with transom windows and two sidelights plus dental molding.

Most of the windows are double hung, wood framed with concrete sills. The upper lights on the east façade are surrounded by wood shingles. From the east, two symmetrical chimneys can be seen. The south façade also has an original bay window, and view to the chimneys. The back porch extends along almost the entire west façade, although the 1930 Sanborn map shows the porch as having a smaller footprint, indicating that the porch was added at a later date. Included on the west façade is a dormer window, four double hung windows, and a single light door. A wooden ramp was also added at a later date to the front/east porch. A small white picket fence attached to the porch and extend southward to the edge of the property.

532 Don Gaspar Avenue appears to be a twin to 528 Don Gaspar Avenue, with identical building footprints, orientation, roof profiles and material finishes. Both are in excellent condition and maintain their historic character in a way that exemplify the craftsmanship of the style and era that they were built. Both contributing highly to the streetscape and district.

The 1982 HCPI documents the structure as contributing. The 1995 HCPI documents it as significant. City records show this house as contributing. The 1982 Don Gaspar Historic District National Register Nomination notes that it is named as such because the street encompasses the most variety of unique and historically significant architecture.

The applicant requests a primary façade designation. Currently, this structure is listed as contributing by the City and due to the given information, staff requests a status review.

STAFF RECOMMENDATION

Staff recommended the historic status of the structure be designated as significant, with the garage being maintained as contributing per 14-5.2(C) Designation of Significant and Contributing Structures. If the HDRB designates historic status as contributing, staff recommended the east and south elevations as primary.

Member Bienvenu asked to clarify if the twin house next door has a designation.

Ms. Piccarello said it is significant. She said there is no reason for the difference in the National Register nomination. She could find little difference in her research. She said 528 Don Gaspar was a drugstore and a doctor's office. She questions why the house is not significant to the community.

Member Bienvenu said he agreed. He said a survey form in the packet dated 2000 has a note that refers to the survey and says it is a significant structure, but it continues, that has not been adopted by the Board and should be considered preliminary for planning as of November, 2004.

Ms. Piccarello said there is an inconsistency. Usually, what triggers this coming to staff is someone in the community cares, or many times is for a renovation. There are no case files to bring this forward and no effort to bring the status forward.

Member Bienvenu asked if correct there have been no changes to the house since the document was put into the file.

Ms. Piccarello said as far as they can tell. Their ramp might have been covered but they have no record of that. The ramp was likely added around the 80s.

Member Biedscheid thought she saw a photograph showing the ramp from 1995.

Ms. Piccarello said it was between the 80s and 1995.

Member Biedscheid asked on the garage that is contributing, if the Board is designating a primary façade tonight.

Ms. Piccarello said the Board can choose to do that. She did not include a recommendation in the packet for a primary façade but meant to include that.

Chair Rios said even though the primary was not advertised.

Ms. Piccarello said that can be done because this was noticed as the property, not the structure.

APPLICANT PRESENTATION

Kevin Georges, 214 Truman St., NE, Albuquerque, was sworn in. He said he does not agree with staff's recommendation of being significant. He thanked Ms. Piccarello for helping them because a staff member left, and she jumped in. He said Ms. Piccarello mentioned the sister building next door. Looking at the report for the building it was a contributing building in 1982. He isn't sure why it was made significant in 1995. He thought the building is attractive and he doesn't plan to change the architecture. Most of the remodeling is the interior of the building. He said he could not see per the definition of contributing and significant, any association or persons, as mentioned by the ordinance. He said they don't object to the two facades; they face the street and is important for the Board to review. When the client bought the property, the map showed this as contributing, not significant. They were not aware of any other reports until they worked with staff in fact finding. He noted the owner is present to answer any questions.

Chair Rios said the Don Gaspar Historic District, unlike others in Santa Fe, has a lot of pitched roof buildings. It appears in evaluating the building, the sister building looks exactly like this and was designated significant. She thought the houses were made when the railroad came through Santa Fe. They remained in that particular district. The Board has to honor those homes and preserve them.

Member Bienvenu asked for clarification of the definition of significant structure. He asked if staff's interpretation is the two subparagraphs listed are not requirements in and of themselves. That one or the other would need to be met, but those are additional reasons to designate as significant. And something could be designated significant if it qualifies under the first paragraph, even if it doesn't qualify under subparagraph "a" and "b".

Ms. Piccarello said yes, the word is "*may*", a suggestion of reinforcement.

Member Bienvenu said he agrees with her interpretation. He wanted to be clear that she agreed with that interpretation as well.

PUBLIC HEARING

John Eddy, previously sworn, said if this house didn't have a twin, this would be completely different. Because it does, it is presumed if not built by the same owner of both properties, it was the same builder. What is important is the Board cannot do something to status if it negatively influences adjacent buildings. The neighbor adjacent

has significant status. This building which matches should be upgraded to significant status.

BOARD DISCUSSION

Member Larson said it is important to acknowledge sometimes the status is because the house has unique character. But there is also a case for this type of repetition. She said Ms. Piccarello made a good point that a lot of these buildings are not in Santa Fe style but represent the introduction of new materials through the railroad. The National Register for this district gives a lot of detail about that aspect of Don Gaspar. It was also a great point of Ms. Piccarello, that this was a commercial property. She said that is evident in modifications to make the property continue to function.

MOTION: In Case 2022-005448-HDRB, 532 Don Gaspar Ave., Member Larson moved to designate the structure as significant and, per staff recommendation, to maintain the garage as contributing. This is neighboring a significant property with similar architectural character and adds to the character of the Don Gaspar District with commercial and architectural significance. The motion was seconded by Member Biedscheid with a friendly amendment to designate the primary façade on the garage as the east street facing façade.

Member Larson accepted the amendment as friendly and confirmed the east façade of the garage would be designated as primary.

VOTE: The motion passed by unanimous (3-0) roll call vote with Members Biedscheid, Bienvenu and Larson voting in favor and none voting against.

3. **2022-005348-HDRB. 212 A Gonzales Rd.** Downtown and Eastside Historic District. Rajah Bose, owner, requests primary facade(s) designation as applicable of a contributing 1,465 sq. ft. building. (Angela Schackel Bordegaray)

This case was continued from earlier.

Chair Rios recognized that the applicants were now present, and staff had already given their report.

Ms. Bordegaray confirmed she did present the staff report. She said there was no need to repeat it.

APPLICANT PRESENTATION

Rajah Bose, 3480 Todo Santo Street, Santa Fe, NM, was sworn.



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT DESC: 2022-005448-HDRB. 532 Don Gaspar Ave. Don Gaspar Area Historic District. Kevin Gorges, agent for Andras Szantho, requests a status review and primary facade designation, if applicable, for a contributing structure.

CASE NUMBER: 2022-005448--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 532 DON GASPAR AVE
Santa Fe, NM 87505

CONTACTS: Property Owner	Andras Szantho	210 Montezuma Ave. Ste. 200
Applicant	Kevin Georges	214 NE Truman ST NE Albuquerque, NM 87108

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Jun 28, 2022. The decision of the Board was to to designate the structure as significant and, per staff recommendation, to maintain the garage as contributing and to designate the primary façade on the garage as the east street facing façade . This is neighboring a significant property with similar architectural character and adds to the character of the Don Gaspar District with commercial and architectural significance.

For further information please call 505-955-6605.

Sincerely,

Carly Piccarello
Planner Manager - Land Use

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

City of Santa Fe, New Mexico

memo

DATE: June 28th, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005448-HDRB

Address: 532 Don Gaspar Ave.
Historic Status: Contributing
Historic District: Don Gaspar Area

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Forms
- Zoning Review Sheet
- Other: HCPI for 528 Don Gaspar (twin)

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: N/A

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be designated as significant, with the garage being maintained as contributing per 14-5.2(C) Designation of Significant and Contributing Structures. If the HDRB designates historic status as contributing, staff recommends the east and south elevations as primary.

BACKGROUND & SUMMARY:

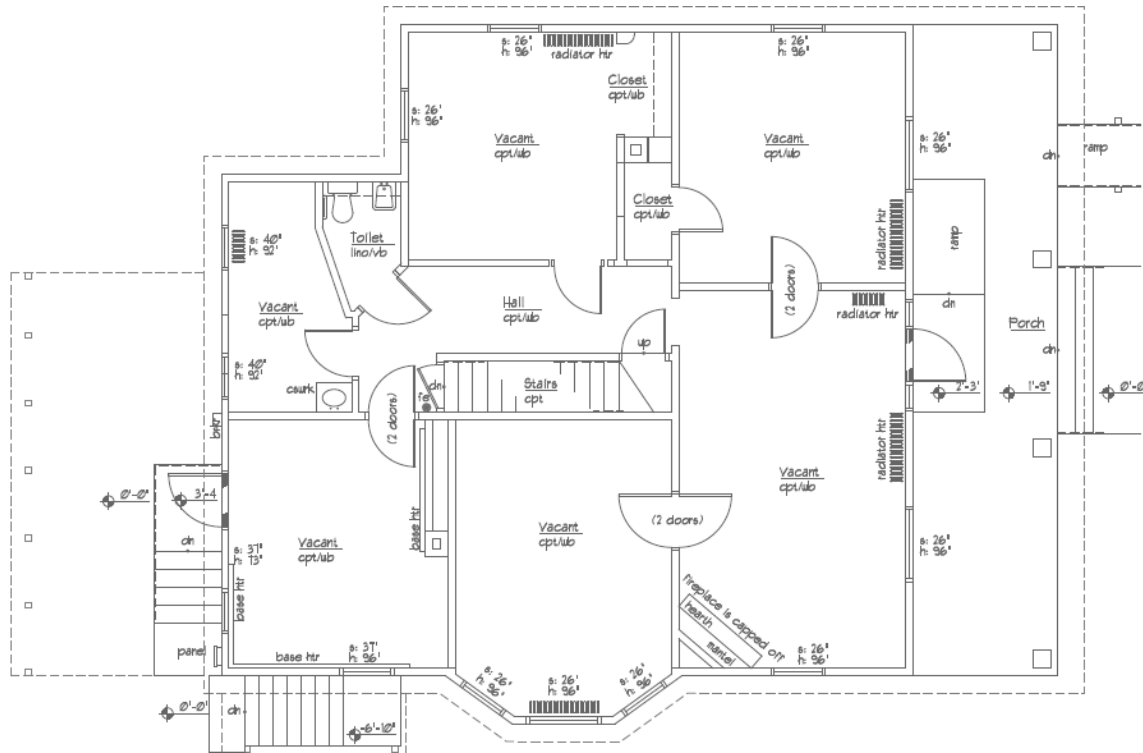
532 Don Gaspar Avenue is a single-family, Craftsman Bungalow residence listed as contributing to the Downtown and Eastside Historic District. It was built in 1928 and is documented as Tyler's Drug Store in 1928. It is located on the corner of W. Santa Avenue and Don Gaspar Avenue. It has a detached garage to the west of the main house, that was designated as contributing. In 2000, the HDRB approved a proposal to remodel it.

The main house has a mostly square footprint and faces east to Don Gaspar Avenue. It is red brick with a projecting, pitched, cross gable, hipped roof with metal tiles. The primary entrance is on the east façade which has a porch with brick piers and wrought iron hand railing. The front door has one large light with transom windows and two sidelights plus dental molding. Most of the windows are double hung, wood framed with concrete sills. The upper lights on the east façade are surrounded by wood shingles. From the east, two symmetrical chimneys can be seen. The south façade also has an original bay window, and view to the chimneys. The back porch extends along almost the entire west façade, although the 1930 Sanborn map shows the porch as having a smaller footprint, indicating that the porch was added at a later date. Included on the west façade is a dormer window, four double hung windows, and a single light door. A wooden ramp was also added at a later date to the front/east porch. A small white picket fence attached to the porch and extend southward to the edge of the property. 532 Don Gaspar Avenue appears to be a twin to 528 Don Gaspar Avenue, with identical building footprints, orientation, roof profiles and material finishes. Both are in excellent condition and maintain their historic character in a way that exemplify the craftsmanship of the style and era that they were built. Both contributing highly to the streetscape and district.

The 1982 HCPI documents the structure as contributing. The 1995 HCPI documents it as significant. City records show this house as contributing. The 1982 Don Gaspar Historic District National Register Nomination notes that it is named as such because the street encompasses the most variety of unique and historically significant architecture.

The applicant requests a primary façade designation. Currently, this structure is listed as contributing by the City and due to the given information, staff requests a status review.

NORTH



SOUTH

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.



June 23, 2022

VIA EMAIL: cpiccarello@santafenm.gov

Ms. Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico

Re: Historic Districts Application - Primary Elevation Designation
532 Don Gaspar Avenue
Santa Fe, New Mexico

Dear Carly,

Per our original letter May 2, 2022 we have submitted the following:

1. Historic District Application.
2. Photos of existing Facades.

Today we are submitting the following:

1. Existing Site Plan.
2. Existing Floor Plans.
3. Existing Exterior Elevations.

The subject property was built around 1920.

Should you have any questions, please don't hesitate to contact me.

Sincerely,

Kevin Georges, AIA
Principal Architect


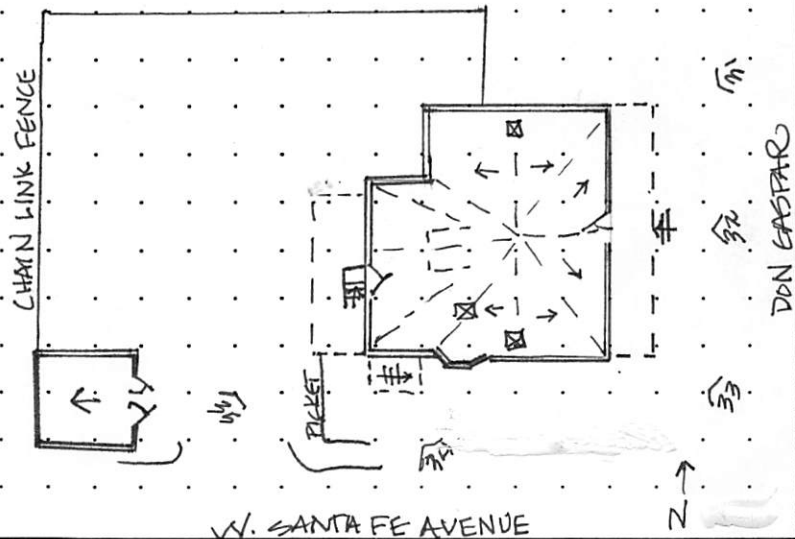
KEG/sm

K:\Projects\2021.18\WP\SD\Codes\Historic District\Applications\Designation\20220623 Letter.wpd

Attachments

cc: Andras Szantho, Esq.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995

IDENTIFICATION	ADDRESS: <u>532 Don Gaspar</u>	ID NUMBER: <u>051600304</u>	
	UTM REFERENCE EASTING NORTHING ZONE <u>12 13</u>	LEGAL DESCRIPTION: TNSP ___ N S RANGE ___ E W SEC ___ 1/4 ___ 1/4	BUILDING NAME: <u>—</u>
	FIELD MAP <u>Santa Fe Historic Structures Survey, 1983-85/1992</u>	SANTA FE ID NUMBER: <u>H 1803</u>	
	DATE OF CONSTRUCTION: <u>1928-29</u> ESTIMATE <u>1912-28</u> ACTUAL SOURCE(S) <u>city direct. / Sanborn</u>		
BUILDING DATA	ARCHITECTURAL STYLE: <u>Craftsman Bungalow</u>	PHOTO	
	USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER <u>commercial</u>		
	SURROUNDINGS: <u>Bldgs. res. - RES & commercial uses -</u>		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO WHAT TYPE? <u>Garage</u> IF INVENTORIED, LIST ID NUMBER(S) _____		
	DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR		
	EXPLAIN: _____		
SIGNIFICANCE	OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED	SITE PLAN	
	BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
	SURVEYED <u>01/95</u> BY <u>HP/DB</u>		
			LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE LOCAL DESIGNATION: <u>Don Gaspar</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

#32 E. elevation

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	Pitched gable w/ metal tile, cross-gable north to south, projecting dormer, hip E-W
	BUILDING WALLS	Red bricks
	FOUNDATIONS	Raised concrete foundation with basement
	DOORS	E- large light wood door w/ dentil moulding, raised wood medallion, 3 light operable transom and sidelights W- wood panel with single upper light and transom
	WINDOWS	E- 1/1 dhw w/ wood frames, concrete sills S- bay 1/1 w/ wood cornice flanked by 1/1 windows w/ conc. sills W- 2 2 light casements N- 3 1/1 dhw w/ wood frames, concrete sills
	PORCHES OR PORTALES	E- projecting hip roof of metal tile, wd cornice, bead board ceiling & brick pier raised painted stone/concrete slab, concrete steps & wd. ramp W- wood lattice w/ wd steps w/ balustrade
	BALCONIES	
	COURTYARDS	NW flagstone patios
	FENCES/WALLS	SW corner white picket, w wood lattice, N chain link E- no fence
	ARCH. DETAILS	
OTHER		
COMMENTS	Dormer has hexagonal painted exterior tile, suggesting it was added at a later date metal storm windows, brick chimneys, swamp cooler Exterior basement entrance SW w/ shed roof	

ADDITIONAL PHOTOGRAPHS



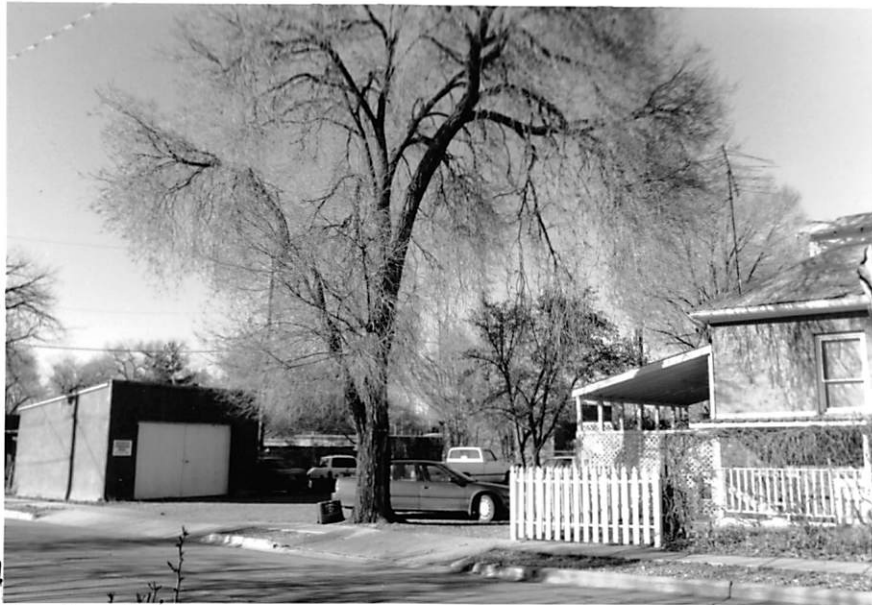
#31 N. elevation



#33 S. elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 051600
	532 DON GASPAR	SANTA FE ID NUMBER: H-1803
		SURVEYED/RESEARCHED
		DATE _____ BY _____



34
S. elevation



35 W. elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 0516
	532 DON GASPAR	SANTA FE ID NUMBER:
		SURVEYED/RESEARCHED
		DATE _____ BY _____



#36 NW corner

Associated building: Garage 21' x 21'

historic use: garage

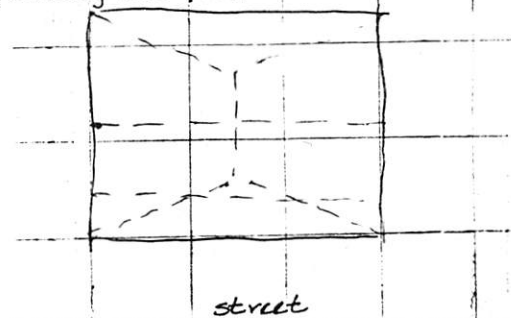
Current use: storage

shed roof w/ block coping, wood & metal fascia,
 stuccoed on entire structure, wood lintel over
 door has been stuccoed over, double leaf wd
 planks door, standing seam metal roof, battered
 walls (due to adobe construction)

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 304	UTM reference zone 12 (3)	easting 414100 northing 327000
location description 532 Don Gaspar		city/town Santa Fe	
		land grant/reservation	

building name	legal description tntp N S range E W sec 1 1/4
---------------	---

film roll by E.T. no. 11	negative nos. 2A	loc. of neg. City of Santa Fe	building-site plan
-----------------------------	------------------	----------------------------------	--------------------



date of construction 1910 estimated 1912-1928 actual

source City Directory - Sanborn
use residential
historic residential

condition excellent <input checked="" type="checkbox"/> good fair <input type="checkbox"/> deteriorating
--

degree of remodeling minor <input checked="" type="checkbox"/> moderate <input type="checkbox"/> major <input type="checkbox"/>
describe:

style lace Victorian	foundation material concreted over
	wall material/surface brick

architectural features gable roof: gables covered w/ pressed metal porch across front cross gable - front truncated wd d ph 1-1 top & side lights door

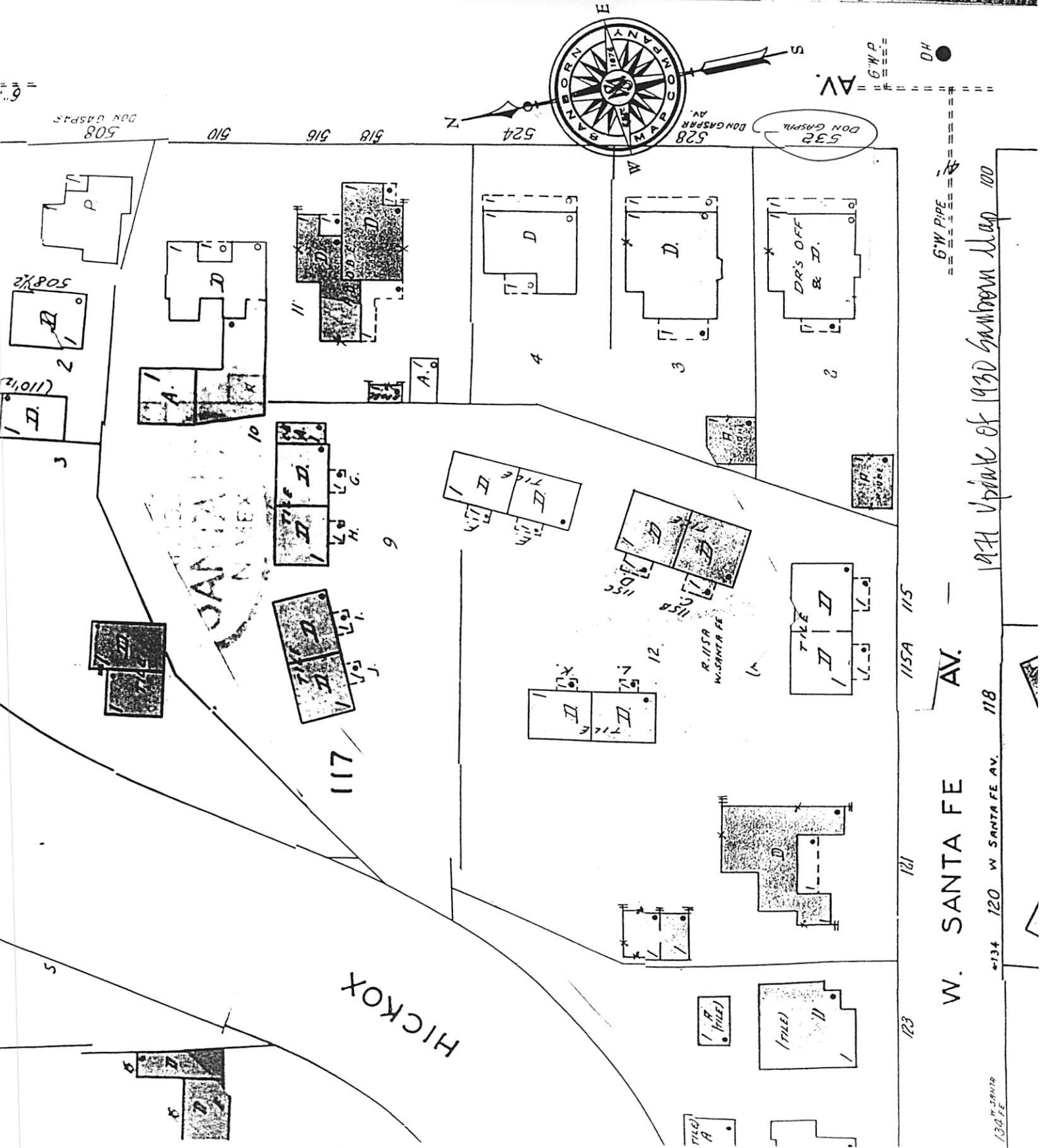
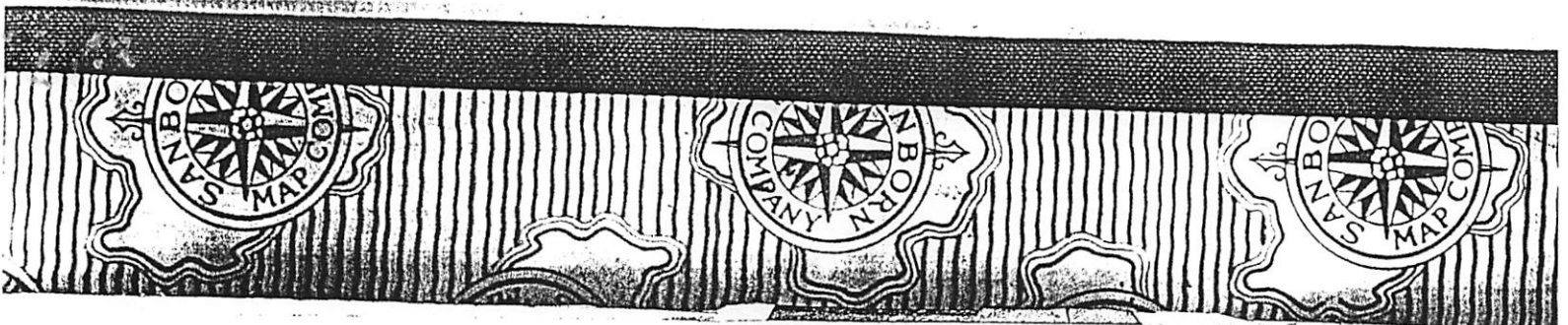
surroundings Med
relationship to surroundings similar <input checked="" type="checkbox"/> not similar <input type="checkbox"/>

district potential yes <input checked="" type="checkbox"/> no <input type="checkbox"/>

significance significant <input checked="" type="checkbox"/> contributing <input checked="" type="checkbox"/> date
supporting <input type="checkbox"/> intrusive <input type="checkbox"/>

comments similar to #303 Justin Thomas - built in early teens 1936-37 cd - McCauley 20 1928 cd Tyler WC Tyler's drug store on 1930 Sanborn

associated buildings? <input checked="" type="checkbox"/> yes what type? adobe garage if inventoried, list ID nos.
see back? <input type="checkbox"/> yes



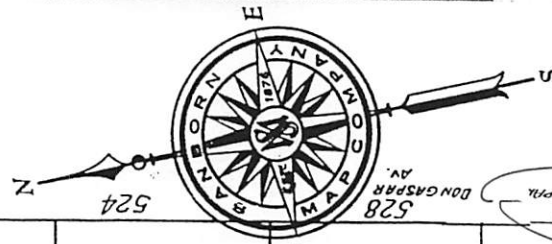
1971 Update of 1930 Sanborn Map 100

W. SANTA FE AV.

134 W. SANTA FE
120 W. SANTA FE AV.
118

123 121 115A 115

508
DON GASPARS



AV.

532
DON GASPAR

528
DON GASPAR AV.

524
Z

516
518

510

HICKOX

117

9

DANIEL

10

TILE
115B
R. 115A
W. SANTA FE

TILE
115A

DR'S OFF
& D.

D.

D.

D.

D.

508 1/2
D.

110 1/2
D.

P.

(FILE)
A

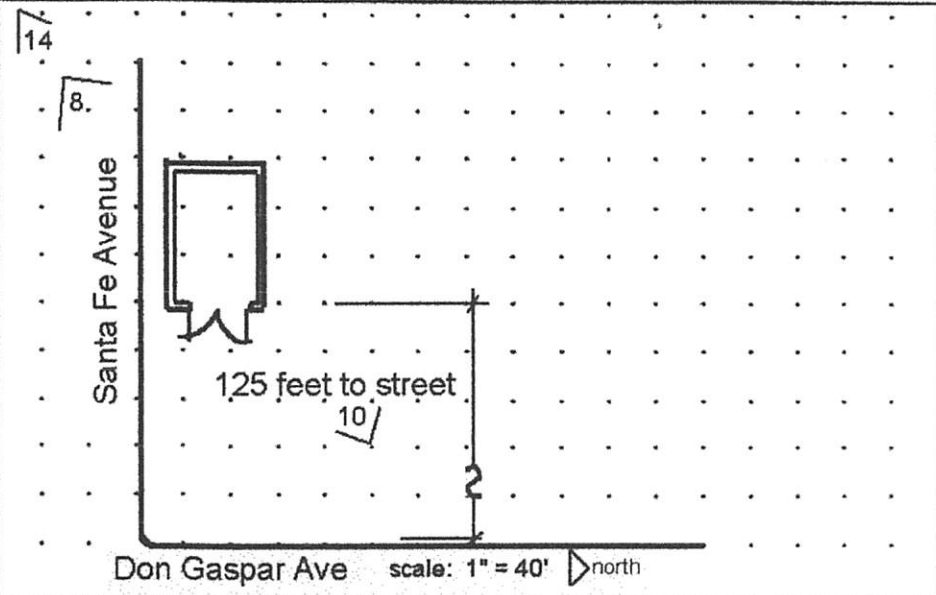
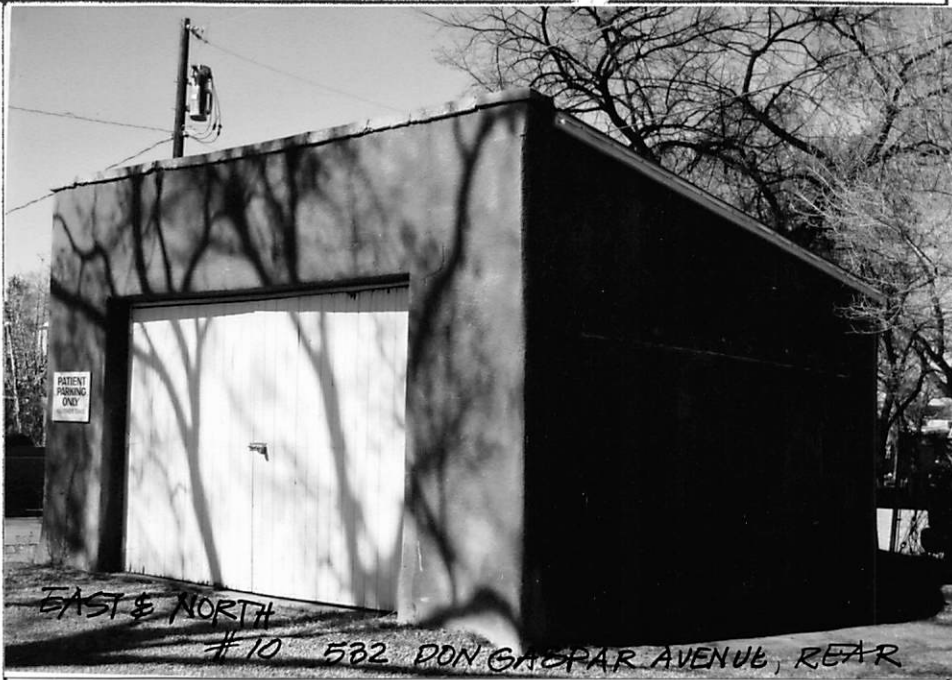
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134 W. SANTA FE

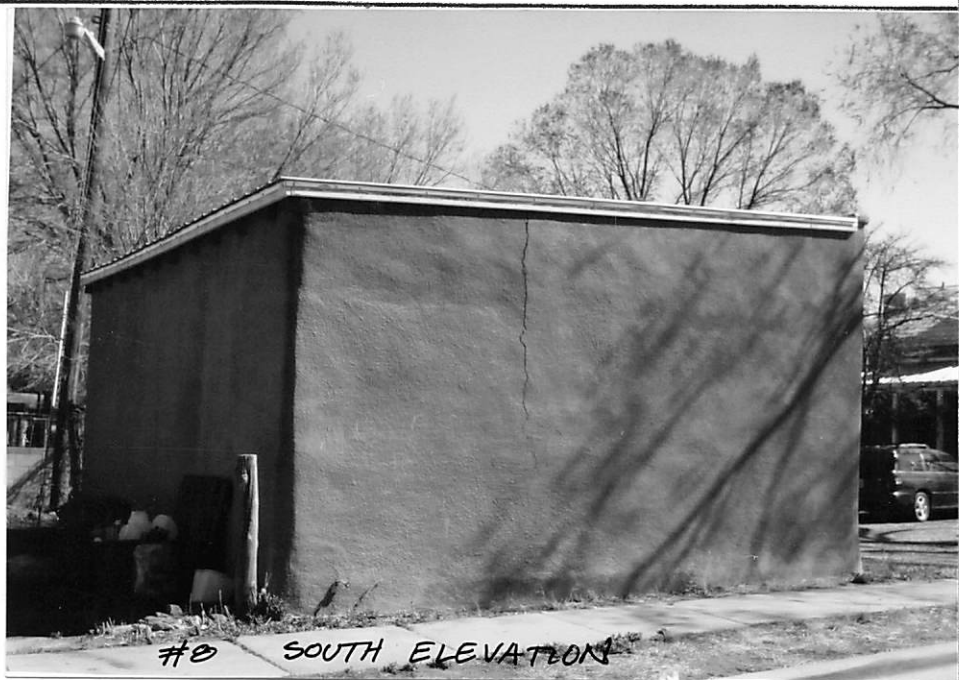
IDENTIFICATION	ADDRESS: 532 Don Gaspar Avenue (rear)		OLD ID NUMBER:
			SANTA FE ID NUMBER: 18031
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	BUILDING NAME:
	ZONE 12 13 414770 3948500	TNSP 17N RANGE 9E SEC 28 NW 1/4 NE 1/4	
BUILDING DATA	FIELD MAP Santa Fe Historic Status Map 1996		
	DATE OF CONSTRUCTION:	SOURCE(S)	PHOTO
	<u>1930</u> ESTIMATE	City Dir.	
	<u>1930</u> ACTUAL	Sanborns	
ARCHITECTURAL STYLE: New Mexico Vernacular			
USE:		SITE PLAN	
HISTORIC: residential garage			
OTHER _____			
PRESENT: residential storage			
OTHER _____		SIGNIFICANCE	
SURROUNDINGS: residential			
RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR			
ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			
WHAT TYPE?		IDENTIFICATION	
IF INVENTORIED, LIST ID NUMBER(S)			
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR			
EXPLAIN:			
OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED		BUILDING DATA	
BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING			
LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE			
LOCAL DESIGNATION: <u>Don Gaspar</u> HISTORIC DISTRICT		BUILDING DATA	
<input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING			
LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
SURVEYED <u>2000</u> BY <u>CC</u>			



ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION

ROOFS & DRAINS	shed roof , metal with parapet at front		
BUILDING WALLS	adobe		
FOUNDATIONS	concrete	APPROX. HEIGHT (FT.)	12 feet
DOORS	pair of vertical wood board doors approx 4 feet wide each		
WINDOWS	none		
PORCHES OR PORTALES	none		
ARCHITECTURAL DETAILS			
FENCES/WALLS	chain link fence at sidewald & conc. blk. wall at back		
SITE FEATURES	asphalt paving surrounding building		
OTHER/ COMMENTS	old Doctor office sign remains		

ADDITIONAL PHOTOGRAPHS



#0 SOUTH ELEVATION

		ROOF & DRAINS	shed roof, metal with parapet at front
		SUB-DRAIN WALLS	adobe
		FOUNDATIONS	concrete
		DOORS	pair of vertical wood board doors approx 4 feet wide each
		WINDOWS	none
		PORCHES OR PORTALES	none
		ARCHITECTURAL DETAILS	
		FENCE/WALLS	chain link fence at sidewalk & conc. blk. wall at back
		SITE FEATURES	asphalt paving surrounding building
		COMMENTS OTHER	old Doctor office sign remains

ARCHITECTURAL FEATURES: EXTERIOR WALLS, STAIRS, ELEVATIONS, MATERIALS, FINISHES, AND CONDITION


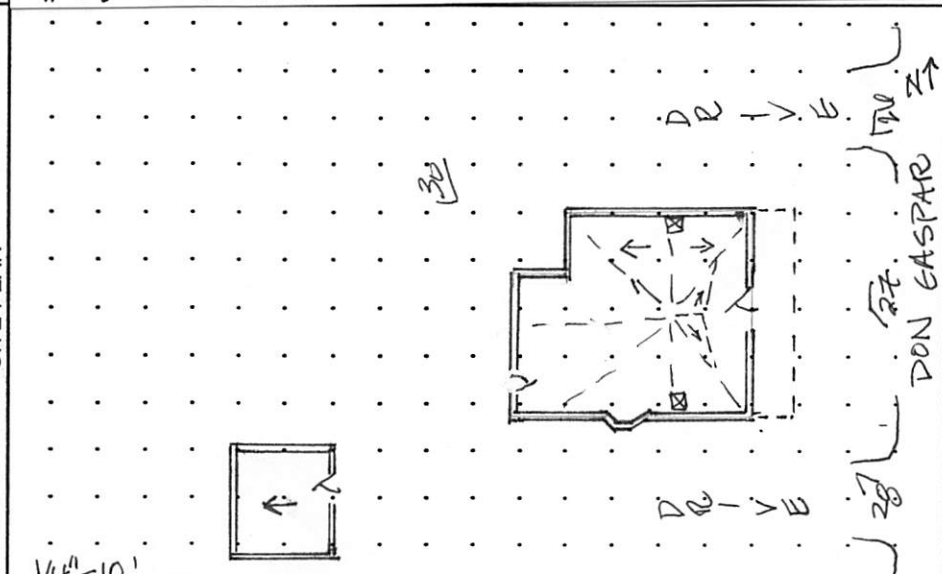
ARCHITECTURAL FEATURES: INTERIOR WALLS, FLOORS, CEILING, LIGHTING, AND CONDITION

532 Don Gaspar
Ave.
(near)

**THE ATTACHED SURVEY FORM REFLECTS
HISTORIC BUILDING SURVEY WORK THAT WAS
COMPLETED DURING MAY – AUGUST OF 2000.
RESULTS OF THE SURVEY AS REFLECTED ON
THE ATTACHED HAVE NOT BEEN ADOPTED BY
THE HISTORIC DESIGN REVIEW BOARD. IT
SHOULD BE CONSIDERED PRELIMINARY FOR
PURPOSES OF PLANNING. THIS IS TRUE AS OF
11/04.**

**PLEASE SEE DAVID OR MARISSA FOR
MORE INFORMATION OR CLARIFICATION.**

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995

IDENTIFICATION	ADDRESS: <u>538 DON GASPAR</u>	ID NUMBER: <u>051600 303</u>	
	UTM REFERENCE EASTING NORTHING ZONE <u>12 13</u>	LEGAL DESCRIPTION: TNSP <u>17</u> <u>N</u> S RANGE <u>9</u> <u>E</u> W SEC <u>25</u> <u>NW</u> 1/4 <u>NE</u> 1/4	BUILDING NAME: <u>—</u>
	FIELD MAP <u>Santa Fe Historic Structures Survey, 1983-85/1992</u>	SANTA FE ID NUMBER: <u>H-1802</u>	
	DATE OF CONSTRUCTION: ESTIMATE <u>1928-9</u> ACTUAL SOURCE(S) <u>CITY DIREC.</u>	 <p>#27 E. elevation</p>	
ARCHITECTURAL STYLE: <u>Craftsman / Bungalow</u>			
USE: <u>Commercial</u>			
HISTORIC: <u>residential</u>			
BUILDING DATA	OTHER <u>—</u>		
	PRESENT: <u>residential</u>		
	OTHER <u>Commercial</u>		
	SURROUNDINGS: <u>Bldgs = res. Res & com. uses</u>		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
SIGNIFICANCE	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	<p>LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE</p> <p>LOCAL DESIGNATION: <u>Don Gaspar</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p>	
	WHAT TYPE? <u>garage converted to office</u> IF INVENTORIED, LIST ID NUMBER(S)		
	DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR		
SIGNIFICANCE	EXPLAIN:	<p>LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE</p> <p>LOCAL DESIGNATION: <u>Don Gaspar</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p>	
	OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED		
	BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		

SURVEYED 1995 BY HR/DB

NEGATIVES WITH NMHPD ROLL # 101 NEG # 26 TO 28, 30

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	Ritched gable w/ metal ^{Painted} tile, cross gable north-south, hip E-W, E gable modern fixed ^{lit} window
	BUILDING WALLS	Red brick
	FOUNDATIONS	Raised conc. foundation w/ basement
	DOORS	E - large lit w/ door w/ dentil moulding, raised wd. medallion, 3 light fixed transom & metal screen door W - wood panel w/ single upper light & transom; metal screen door
	WINDOWS	E - 1/2 dhw w/ wd frames, conc sills (no orig screens) S - bay 1/2 dhw w/ wd cornice, flanked by 1/2 dhws, awning basement window at bay W - 2 2light casements N - 2 1/2 dhw w/ wd frames, conc sills
	PORCHES OR PORTALES	E - projecting hip roof of metal tile, wd cornice, bead board siding & brick piers, rod iron railings & bannisters W - no porch
	BALCONIES	
	COURTYARDS	
	FENCES/WALLS	
	ARCH. DETAILS	

OTHER

COMMENTS No exterior basement entrance
W entrance wood steps & bannister



NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 051600
	528 DON GASPAR	SANTA FE ID NUMBER: H-1802
		SURVEYED/RESEARCHED DATE 8/95 BY UP/DB



30 W-elevation

Associated building: Garage 21' x 21'

historic use: Garage

current use: Office

Over entrance (E) awning w/ simple wooden brackets
red metal roof, 1 alum sliding window, wood
panel door w/ screen, battered adobe construction

City Directory 1928 C.M. Neel

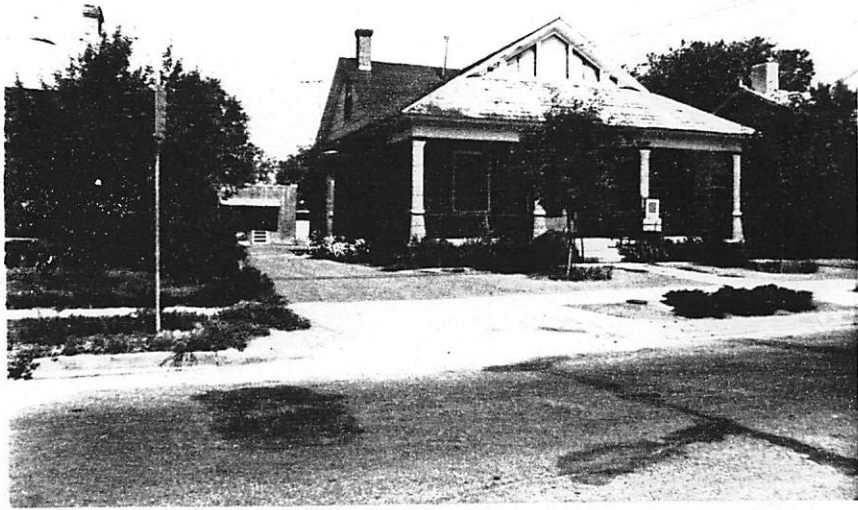
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

41802

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 303	UTM reference zone 12 (3)	easting 411900
location description 528 Don Gaspar		city/town Santa Fe	northing 37,000
land grant/reservation			

building name	legal description tnsp N S range E W sec 1/2 1/2
---------------	---

film roll by F.T. no. 11	negative nos. 1-A	loc. of neg. City of Santa Fe	building-site plan
-----------------------------	-------------------	----------------------------------	--------------------



date of construction 910 estimate before 1928 actual	source City Directory - Sanborn
present residential	other office
historic residential	other

style Late Victorian	foundation material concrete over
	wall material/surface brick

condition excellent	good
fair	deteriorating

degree of remodeling minor	moderate	major
-------------------------------	----------	-------

describe:
front gable

architectural features gables pressed metal cross gable - front truncated windows in front gable. porch across front top: side light - door wd d/h 1-1
--

surroundings no

relationship to surroundings similar	not similar
---	-------------

district potential yes	no
---------------------------	----

significance significant	contributing
-----------------------------	--------------

supporting	intrusive
------------	-----------

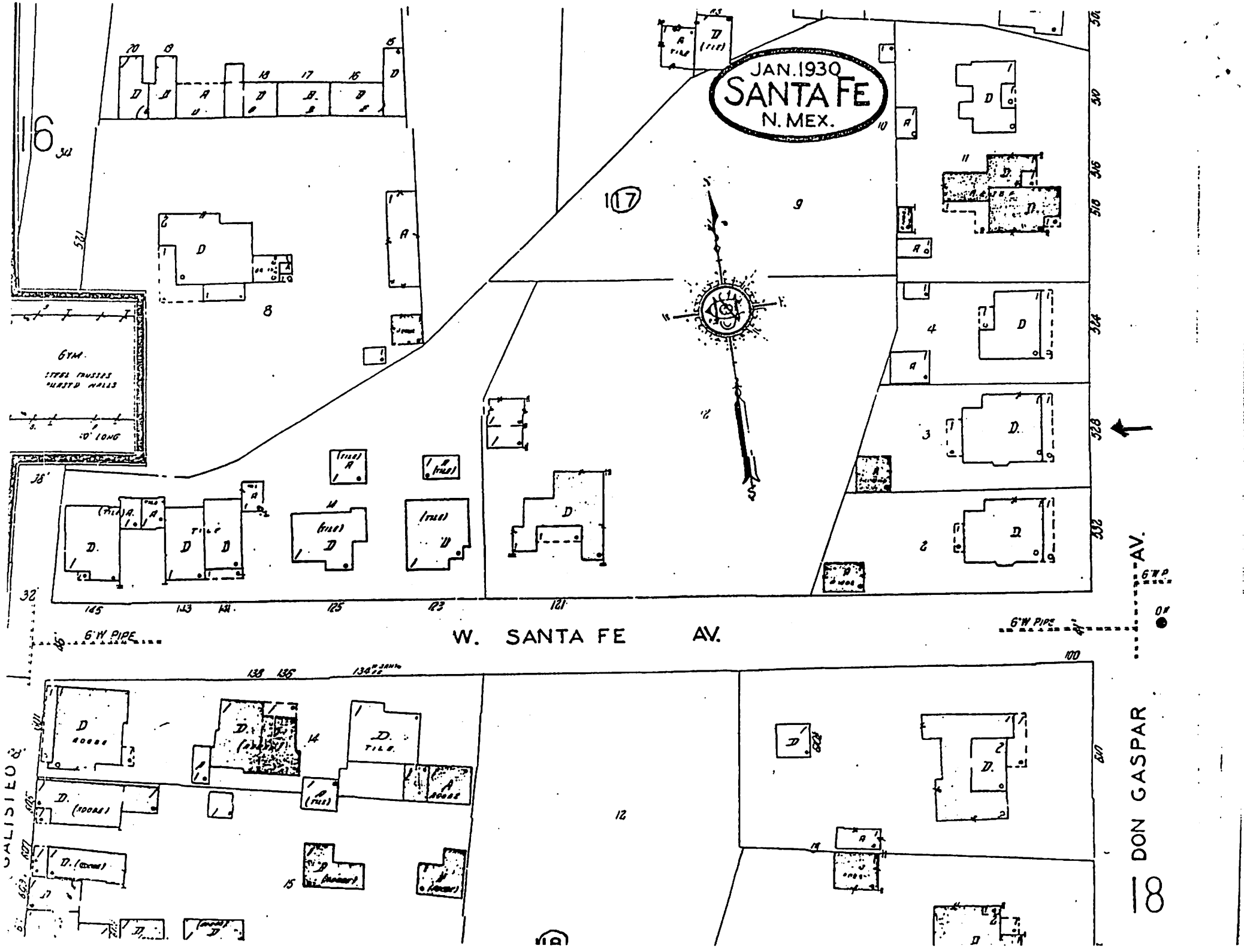
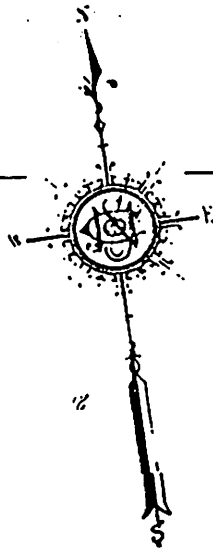
comments side bay window
similar to # 304
1936-37cd - Neel Gm
1928cd - Neel Gm civil: hydraulic engr
Realtors Assoc of NM
on 1930 Sanborn

associated buildings? yes	no
---------------------------	----

what type?
garage converted to
if inventoried, list ID nos.

see back? yes

JAN. 1930
SANTA FE
N. MEX.



AV.

DON GASPAR

18



AV. --- G.W.P. --- DH

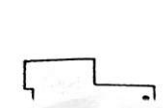
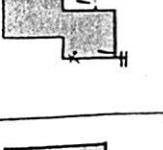
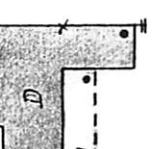
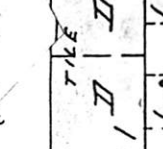
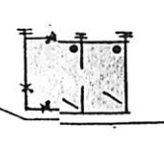
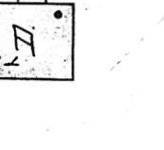
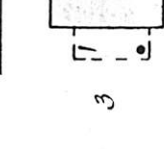
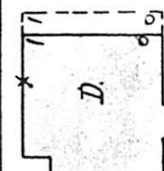
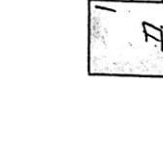
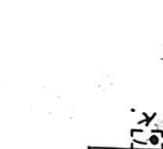
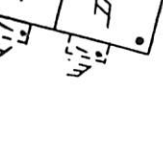
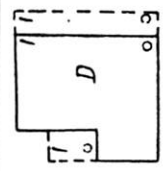
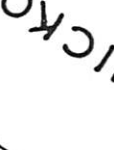
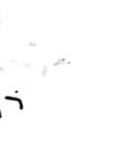
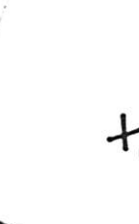
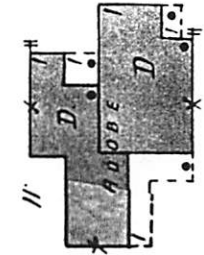
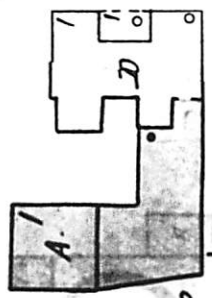
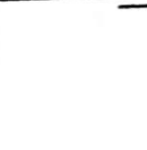
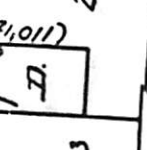
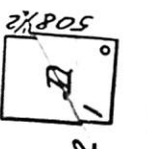
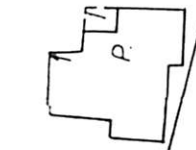
508 DON GASPAR

510 516 518

524

528 DON GASPAR AV.

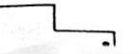
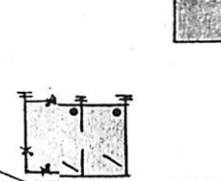
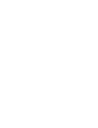
532 DON GASPAR



1930 SANTA FE N. MEX.

117

HICKOX



115A 115

121

123

W. SANTA FE AV.

134 120 W SANTA FE AV. 118

1927 Update of 1930 Sanborn Map 100

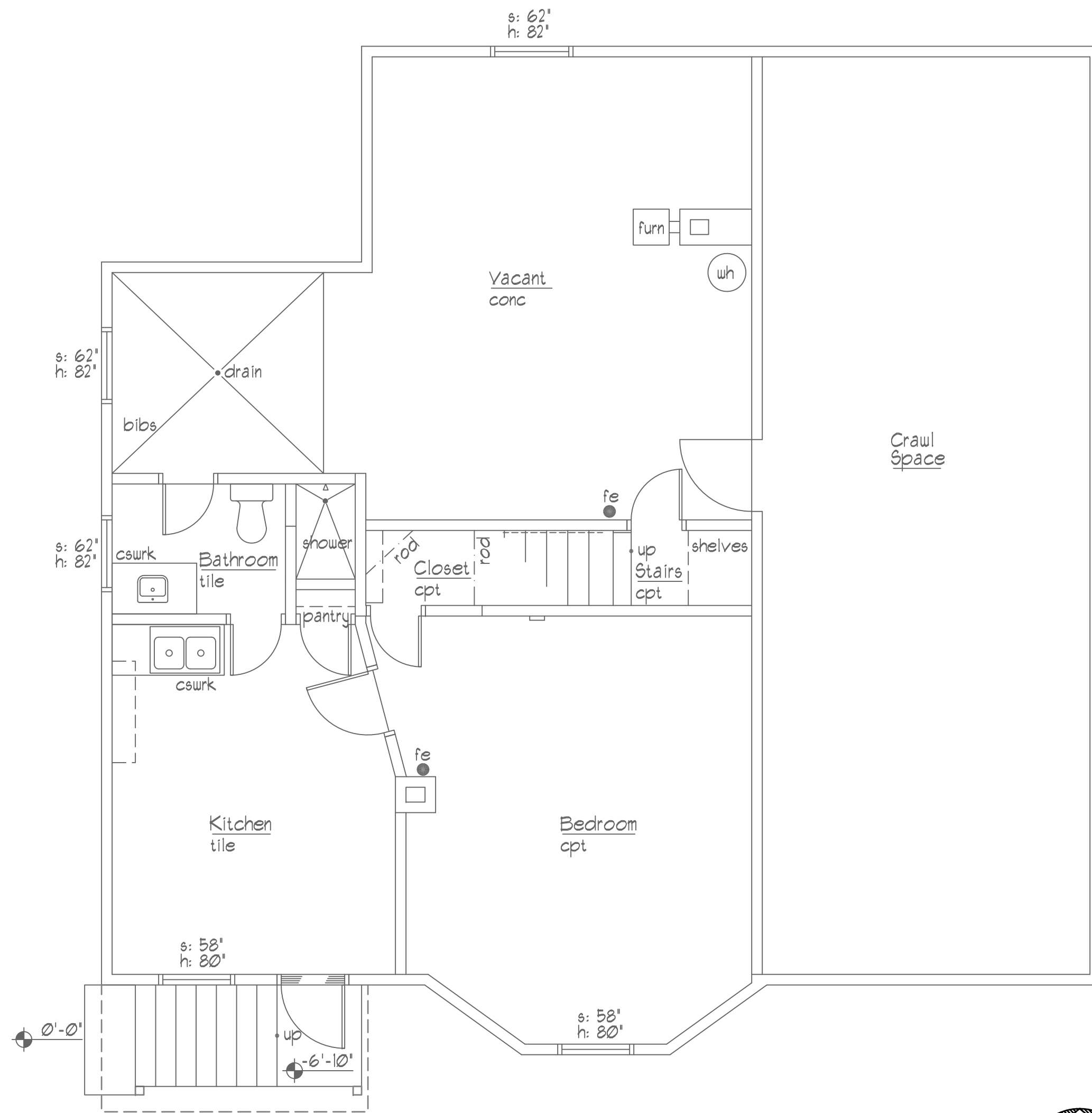
134 FE



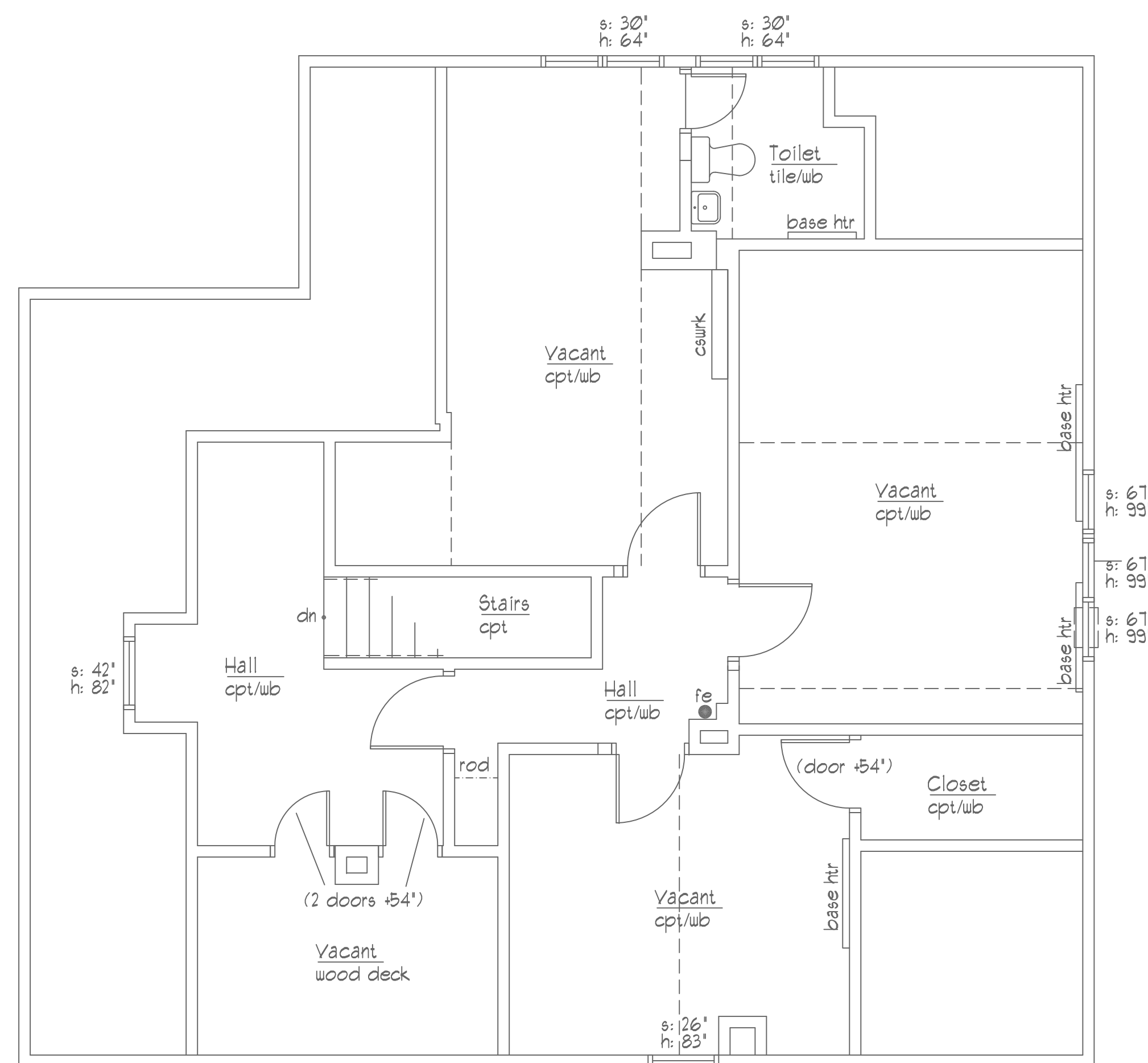
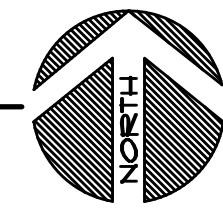




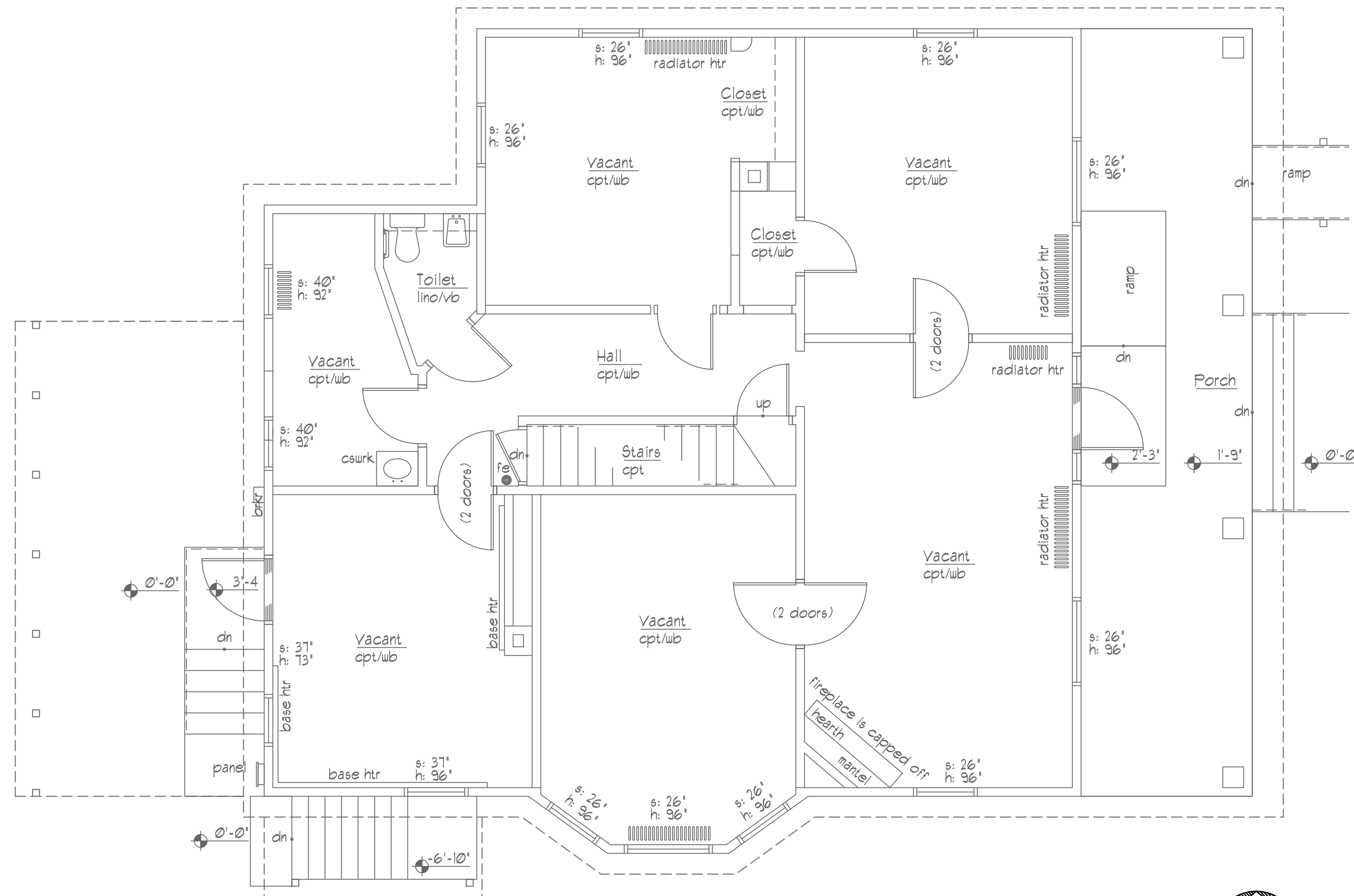
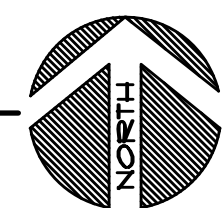
Keyed Notes A1:



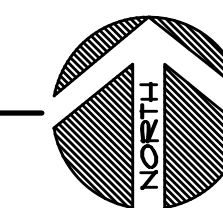
Basement Floor Plan - Existing
 1/4"=1'-0"



Second Floor Plan - Existing
 1/4"=1'-0"



First Floor Plan - Existing
 1/4"=1'-0"



Schematic Design

Andras Szanthos Law Office
 532 Don Gaspar
 Santa Fe, New Mexico

Project Title

Drawn By JA Checked By KEG

Proj. No. 202118 Date 12/21/21

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Revisions Architect Engineer

FLOOR PLANS - EXISTING

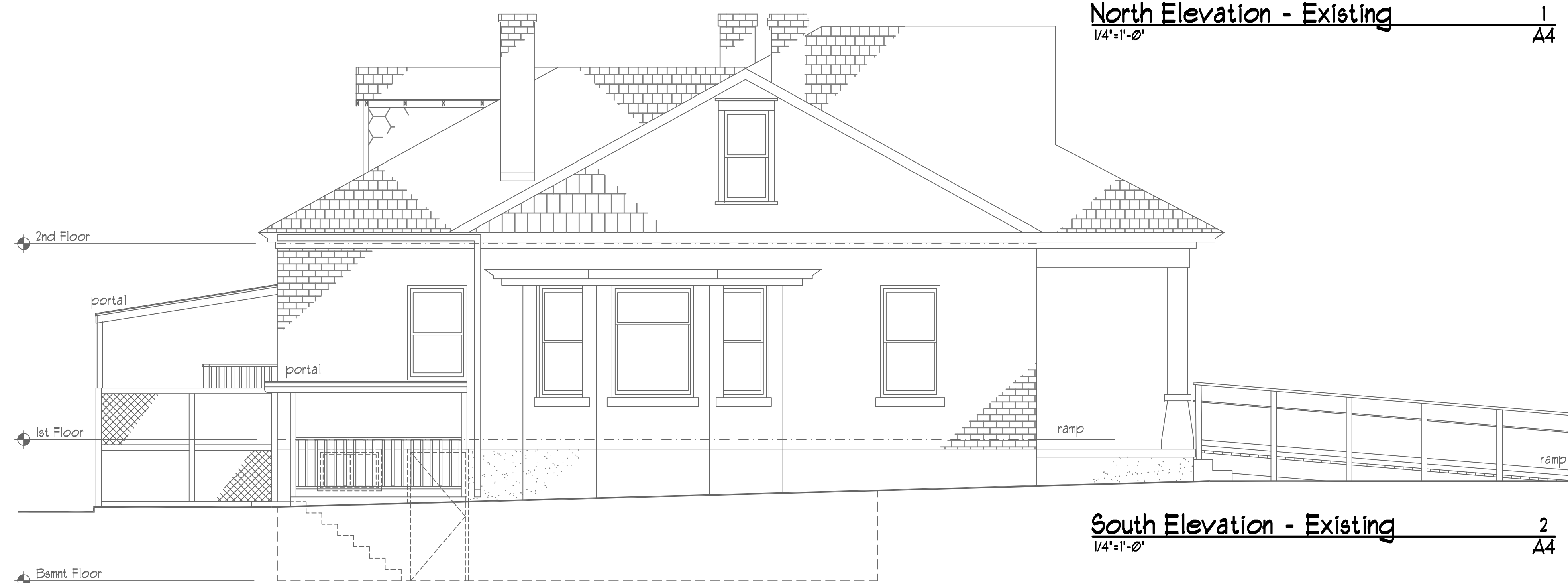
Sheet Title Sheet - of -

A1

Keyed Notes A4:



North Elevation - Existing 1
 1/4"=1'-0" A4



South Elevation - Existing 2
 1/4"=1'-0" A4



East Elevation - Existing 3
 1/4"=1'-0" A4



West Elevation - Existing 4
 1/4"=1'-0" A4

Schematic Design

Andras Szanthos Law Office
 532 Don Gaspar
 Santa Fe, New Mexico

Project Title

Drawn By JA Checked By KEG

Proj. No. 202118 Date 12/21/21

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Revisions Architect Engineer

EXTERIOR ELEVATIONS - EXISTING

Sheet Title Sheet - of -

A4

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
2022-005790-HDRB
Remodel
532 Don Gaspar**

Defendra Contractor, 924 Shoofly St., said as an alumni of the College and an architect, he commended them on a great job on a building he loves. The building is in keeping with the adaptive reuse; to give new life to old buildings. He wanted to voice his support for the project.

Chair Rios asked Ms. Lamboy if she felt this building would remain significant with what had been presented.

Ms. Lamboy said she didn't review in detail the second set of drawings. Her concern is only to be sure it is distinguishable and not replicates exactly what is there. She would need to study the reference to the historic status, but thought they were on the right track.

Chair Rios said she knew Ms. Lamboy worked closely with the applicants. She asked Mr. Evans if the Board had provided enough information for him to move forward.

Mr. Evans said they have a great spectrum of guidance, and it was great hearing the diversity of opinion. He said they will take all of it into account moving forward.

Chair Rios said this is a difficult project. The project is significant which means all sides are primary and changes are being made to three of the four sides. The Board needs to weigh this diligently. She said Mr. Evans knows by the Board's comments this evening, they are very involved in every project that comes before them. She said she hoped the Board had provided him with good information.

G. OLD BUSINESS

Member Aguilar Medrano returned to the meeting at 6:38 p.m.

1. **2022-005790-HDRB. 532 Don Gaspar Ave.** Don Gaspar Area Historic District. Kevin Georges, agent for Andras Szantho, owner, propose to replace 7 windows, porch and roof on a significant structure, and construct a 4'-0" yard wall. An exception is requested to 14-5.2(D)(5) for the replacement of historic porch architectural feature. (Carly Piccarello)

STAFF REPORT

532 Don Gaspar Avenue is a single-family, Craftsman Bungalow residence listed as contributing to the Downtown and Eastside Historic District. It was built in 1928 and is documented as Tyler's Drug Store in 1928. It is located on the corner of W. Santa Avenue and Don Gaspar Avenue. It has a detached garage to the west of the main house, that was designated as contributing. In 2000, the HDRB approved a proposal to remodel it.

The main house has a mostly square footprint and faces east to Don Gaspar Avenue. It is red brick with a projecting, pitched, cross gable, hipped roof with metal tiles. The primary entrance is on the east façade which has a porch with brick piers and wrought iron hand railing. The front door has one large light with transom windows and two sidelights plus dental molding.

Most of the windows are double hung, wood framed with concrete sills. The upper lights on the east façade are surrounded by wood shingles. From the east, two symmetrical chimneys can be seen. The south façade also has an original bay window, and view to the chimneys. The back porch extends along almost the entire west façade, although the 1930 Sanborn map shows the porch as having a smaller footprint, indicating that the porch was added at a later date. Included on the west façade is a dormer window, four double hung windows, and a single light door. A wooden ramp was also added at a later date to the front/east porch. A small white picket fence attached to the porch and extend southward to the edge of the property.

532 Don Gaspar Avenue appears to be a twin to 528 Don Gaspar Avenue, with identical building footprints, orientation, roof profiles and material finishes. Both are in excellent condition and maintain their historic character in a way that exemplify the craftsmanship of the style and era that they were built. Both contributing highly to the streetscape and district. Neither property currently has a yard wall.

On June 28th, 2022, the HDRB designated the house as significant, maintaining the garage a contributing with east façade as primary.

Now, the applicant proposes the following exterior alterations:

- 1) Replace the historic roof material with a new galvanized steel individual shingle paneled roof (Norman Victorian Roof Shingles).
- 2) Replace all non-historic windows with double hung wood casement windows.
- 3) Replace all historic windows that are rated 'unsatisfactory' in the window assessment with double hung wood casement windows that will be painted SW 9507 Cream & Sugar. The total window proposed for replacement amount to 7 of the 23. The window assessor defines 'unsatisfactory' as having 'all sashes, frames, and casing members have more than 30%-40% deterioration, beyond repair.' Our code requires that windows be beyond repair in order to be replaced.
- 4) Remove back/west porch. A letter from a historian has been provided in order to identify that while it may be historic, it is not original and 'not harmonious.'
- 5) Replace the existing back/west porch. The porch will have wood posts, a similar wood deck and a handicap accessible lift attached on the north side. The railing will be wood with vertical supports. The roof will match the rest of the house with Norman galvanized metal shingles.

- 6) Construct a concrete masonry unit and a stucco yard wall with 3 course brick cap to a height of 4'-0" along the east and south property line. Stucco color will be cementitious El Rey 'fawn.' A wrought iron gate that is no higher than the yard wall is proposed to be painted to match the 'El Rey' yard wall. Brick pilaster will be 20"x 20" and space approximately every 20' or so.

STAFF RECOMMENDATION

Staff finds that all the exception criteria have been met but the Board may require further testimony. Staff recommends that a condition that the wrought iron gate be black wrought iron and not painted to match the stucco. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(H) Don Gaspar Area Historic District.

Member Biedscheid asked if the exception requested is only for the porch and not the roof.

Ms. Piccarello said the exception was not for the roof. She said Code says *replacing historic materials if they are repairable*. If they can be repaired, they request an assessment from someone who can provide good details of the issues. An exception is requested if not in kind.

Member Biedscheid asked if she considered this as in kind.

Ms. Piccarello said this is as close as they can find.

APPLICANT PRESENTATION

Kevin Georges, 214 Truman St., Albuquerque, was sworn. He said he believed they had made the changes requested by the Board. He reviewed clarifications in the report: on page 2 item #2 on proposed exterior alterations. It says *replace the historic windows with double hung wood casement windows*. He said casement and double hung are two different windows and it should say *double hung*. Also, they are replacing three fixed windows on the east elevation, second floor that are inoperable. He would ask that change to be made. Also, they are planning to paint the wrought iron black, but item #4 says, *to match the El Rey stucco*. He wanted to be sure that was not an issue. He said they are very happy with the changes and hoped the Board approves.

Chair Rios asked the number of windows in the house.

Mr. Georges said 22, and he is replacing three, the rest will be repaired.

Member Larson thanked Mr. Georges for his thorough research and appreciated that he found an alternative roof material. She appreciated that he took the Board's comments into account.

Mr. Georges said the window survey recommended removing the aluminum screens and they will do that.

Member Berkley also acknowledged the care and effort put into the restoration. She asked on the replacement of the historic metal roof if he would be able to repurpose the roofing material.

Mr. Georges said there is not very much left, most is rusted, and the finish worn off. They will recycle it.

Member Bienvenu thanked him for a proposal that addressed the Board's comments. He said he was not clear if Mr. Georges designated a color for the roofing tiles.

Mr. Georges said this is a natural finished aluminum.

Ms. Piccarello said one option was a painted option finish; galvanized, plus paint.

Member Bienvenu asked how Mr. Georges would describe the color.

Mr. Georges said it is like stainless steel and is not aged. There was a suggestion on removing the finish but that weakens the material, and it would rust in a few years.

Ms. Piccarello said the option Mr. Georges chose will be patina. Staff suggested galvanizing and painting instead of the patina.

Mr. Georges said they would work with staff to get as close as possible to what the Board wants.

Member Bienvenu said the Board wants the least shiny alternative possible.

Mr. Georges said they will do that.

Chair Rios said there is a good example of a house on the same street that has a very shiny roofing material. She thought that would dull over time but so far it has not.

Member Biedscheid thanked him for taking the suggestions of the Board. However, she was still concerned about the stucco wall. It doesn't match the house style. The Board had suggested a picket fence. She thought the stucco and wrought iron, the

gate and the motorized vehicle gate are not in keeping with the house style, which is light. A red brick house with white paint and a smaller picket fence in one area; she asked if he considered a picket fence.

Mr. Georges said they thought the maintenance on the wood picket fence will be tremendous. He offered to change the stucco color to white if the Board wanted that.

Member Biedscheid said it is the material she objects to, and the reality of a historic house is maintenance, to some extent. She said there is no wall which is maintenance free.

Mr. Georges said in the historic preservation report other walls have stucco.

Member Biedscheid said those are on the street, not this house or its twin.

Member Aguilar Medrano said she had the same concerns on the wall and stucco struck her as a strange combination with a brick house. This block in particular has no other house on this side with a wall. She said the site plan shows two trees on the south side. The one on the west side is a significant tree adjacent to the sidewalk. A note is that the trees are to remain, but she saw no way the wall could be constructed as shown without serious damage to the tree. That tree's canopy is not accurately represented in the site plan. She said it is a large tree with a trunk diameter close to 30 inches or more. She said she favored no wall but if the applicant were open to a picket fence, it could be installed without the removal of the tree. She said also, she did not see the motorized gate in the summary, or a design, the gate appears to be solid. She wasn't sure what the material or design of the gate is and should be clarified. She agreed the wrought iron should be black and not painted. She said she has the same concern depending on the design for the motorized gate, whether painting it would be appropriate.

Mr. Georges asked if the Board would allow staff to approve the motorized gate.

Chair Rios asked Mr. Georges to respond to the comments of the last two Board members, that the wall proposed is not in harmony with the design of the house.

Mr. Georges said they were open to changing the wall to a picket fence but want to move on with the project. They have been trying to since January.

Chair Rios asked for a description of the design of the motorized gate.

Mr. Georges said it would be wrought iron with vertical members, some diagonal for strength, with a roller on the bottom. He showed the gate detail.

PUBLIC HEARING

John Eddy, PO Box 845, Tesuque, was sworn in. He said he was grateful the Board had the same issues he did with the stucco wall. Another concern of the wall is that the "twin", has no stucco wall.

BOARD DISCUSSION

Member Biedscheid asked if the picket fence design is accepted, how could the motorized gate be attached to a picket fence.

Mr. Georges said they would add pickets on the front of the gate made of wood and attached to the wrought iron to appear like the fence.

Ms. Piccarello said a motion could include a detail be submitted to staff that includes an elevation of the picket fence and the motorized gate.

MOTION: In 2022-005790-HDRB. 532 Don Gaspar Ave., Member Biedscheid moved to approve the application, noting the exception criteria for replacement of the porch had been met, and added the following conditions: #1, the replacement of the historic roof material be with galvanized individual shingle that appear as dull as possible and as described, that the galvanized metal not be painted or be patinaed; and all non-historic windows be replaced with double hung wood windows, and/or fixed windows and match what is existing, and all historic windows are replaced if rated unsatisfactory per a window assessment and all others shall be repaired/restored; on Item #6, the stucco wall, the Board having denied the stucco agrees to staff's approval of a replacement of a wooden picket fence, painted white, and matching the style of the pedestrian gate and a motorized or unmotorized vehicular gate to match the picket style but with metal elements. The motion was seconded by Member Aguilar Medrano with a friendly amendment that the picket fence is placed in a manner that does not harm the mature trees.

Member Biedscheid accepted the motion as friendly. She amended her motion to specify the height of the picket fence be no greater than 4 feet.

Member Larson asked for clarification if the back west porch removal was addressed and approved.

Member Biedscheid said she didn't see that as part of the approval.

Mr. Georges said their intention is to keep all the trees.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Larson voting in favor and none voting against.

H. NEW BUSINESS

1. **2022-005792-HDRB. 4 Plaza Fatima.** Downtown and Eastside Historic District. Contributing. DNCA LLC, agent for Anthony and Jan Jeffries, owners, requests a primary facade designation. (Angela Schackel Bordegaray)

STAFF REPORT

4 Plaza Fatima is a 580 square foot residence listed as contributing to the Downtown and Eastside Historic District. It is located in the circular Plaza Fatima compound with a center garden and a shared gravel driveway. It was built in the vernacular Spanish-Pueblo style in the 1920s. It is 10' – 4" at its top height and has a flat roof. Its windows are a variety of single and multi-lite wood casement and fixed windows. The north elevation windows appear to be added, but the date is not definitive. Its entrance features a multi-lite French door behind a decorative wood screen. The front door opening extends to a four panel wood casement within the same opening. There have been no major exterior alterations to the building; it has remained unchanged since the 1950s when the current owners bought it. The south elevation's combined window and door and the east elevations single four panel multi-lite wood casement help to define the simple vernacular character of the house. A 6' stucco yard wall extends across the east elevation and encloses the back yard courtyard. The wall is believed to have been constructed after 1984, which is when the historic building survey was written. At 6' is it highly unlikely that it was built before 1973; other yard walls in varying heights in the plaza compound were added since the 1980s based on surveys of the other 4 casitas in the Plaza Fatima compound.

The applicant requests historic status review and primary façade(s) designation as appropriate.

STAFF RECOMMENDATION

Staff recommends the historic status of the structure be maintained as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures and that the east and south façades # 1 and #2 be designated primary facades. Staff recommends that the yard wall be designated non-contributing based on its tall height and age.

APPLICANT PRESENTATION

Mr. Evans, previously sworn, said the intent of the renovation is not changing the massing or building but bringing more life and making it livable. The building is falling apart, and vines are growing inside. They love the old building, and his client and his



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909
www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1
Renee Villarreal, District 1
Michael J. Garcia, District 2
Carol Romero-Wirth, District 2
Lee Garcia, District 3
Chris Rivera, District 3
Jamie Cassutt, District 4
Amanda Chavez, District 4

Project description: Replacement of roof, repair of historic windows, replacement of historic windows that could not be repaired, replacement of non-historic windows, replacement of back porch, construction of fence and vehicle gate

Case number: 2022-005790-HDRB
Project Type: HDRB

PROJECT LOCATION(S): 532 Don Gaspar Ave. Remodel

OW – Kevin Georges
505.255.4975
keg@kga-architects.org

AP – Andras Szantho
505.660.1141
andras@szantholaw.com

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on September 13th, 2022. The decision of the Board was deny approval of Items #6, the yardwall, as set forth in the staff report. The Board approved Items #1-5 as set forth in the staff report, with the following additional conditions:

- a. that the roof be new galvanized individual shingle be as dull in appearance as possible in the galvanized metal described, not painted, and designed to patina;
- b. That all the non-historic windows be replaced with double-hung wood windows or fixed windows to match what is there; that all historic windows that have been have been rated unsatisfactory are allowed to be replaced per the window assessment; all other windows to be repaired/restored; and
- c. With respect to item #6, that the concrete/masonry stuccoed wall has been denied, but the Board would agree with staff approval of a replacement wooden picket fence, painted white with a matching pedestrian gate and a motorized or not vehicular gate that matches that fence style with minimal metal elements.
- d. that the picket fence to be placed such as mature trees not be harmed and the picket fence not be higher than four feet.



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Carol Romero-Wirth, District 2
Lee Garcia, District 3
Chris Rivera, District 3
Jamie Cassutt, District 4
Amanda Chavez, District 4

For further information please call 955-6605.

Sincerely,

Carly M. Piccarello
Historic Preservation Division Manager

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**



City of Santa Fe

Land Use Department | Historic Preservation Division

Administrative Approval

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB

Date: November 08, 2024

To: Building Permit Division

From:

A handwritten signature in black ink, appearing to read "Lani McCulley".

Lani McCulley

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 532 DON GASPAR AVE, Santa Fe, NM 87505

Case Number: 2024-009335--ADMIN

Contact Name: KENNETH HANNON

Phone Number: 505-438-9609

Email: hannonstru@aol.com

Approved Scope of Work: *Conditions of the HDRB per case #2022-005790-HDRB are as follows:*

- a. that the roof be new galvanized individual shingle be as dull in appearance as possible in the galvanized metal described, not painted, and designed to patina;*
- b. That all the non-historic windows be replaced with double-hung wood windows or fixed windows to match what is there; that all historic windows that have been have been rated unsatisfactory are allowed to be replaced per the window assessment; all other windows to be repaired/restored; and*
- c. With respect to item #6, that the concrete/masonry stuccoed wall has been denied, but the Board would agree with staff approval of a replacement wooden picket fence, painted white with a matching pedestrian gate and a motorized or not vehicular gate that matches that fence style with minimal metal elements and that the picket fence shall not exceed 4'0" in height.*
- d. that the picket fence to be placed such as mature trees not be harmed and the picket fence not be higher than four feet.*

This approval is to reflect that the conditions of the Board a and b above have been met.

Items c and d are for the design of the picket fence which is approved here as submitted to the height of 4'0" with a minimum of 3" spacing between pickets. This includes the picket pedestrian gate at the front entrance on Don Gaspar, the picket pedestrian gate at the ADA entrance on W. Santa Fe Avenue, and the picket on metal frame electronic vehicle gate on W. Santa Fe Avenue.

Conditions of Approval: *The picket fence and gates shall not exceed the maximum allowable height of 4'0" and shall have no less than 3" spacing between pickets.*

No other work approved at this time.

**FURTHER ACTIONS REQUIRED: PERMIT or PERMIT REVISION
ROUTE TO HISTORIC DIVISION
INTERIM HISTORIC INSPECTION
FINAL HISTORIC INSPECTION**

City of Santa Fe, New Mexico

memo

DATE: September 13th, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005448-HDRB

Address: 532 Don Gaspar Avenue
Historic Status: Significant
Historic District: Don Gaspar Area

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: N/A

APPLICANT SUBMITTALS

Proposal Letters (4)

Site Plan/Floor Plan

Elevations

Photographs

Other: supplemental letter from historian,
roof and window assessments, specification
sheet for windows and roof materials

STAFF RECOMMENDATION:

Staff finds that all the exception criteria have been met but the Board may require further testimony. Staff recommends that a condition that the wrought iron gate be black wrought iron and not painted to match the stucco. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(H) Don Gaspar Area Historic District.

BACKGROUND & SUMMARY:

532 Don Gaspar Avenue is a single-family, Craftsman Bungalow residence listed as contributing to the Downtown and Eastside Historic District. It was built in 1928 and is documented as Tyler's Drug Store in 1928. It is located on the corner of W. Santa Avenue and Don Gaspar Avenue. It has a detached garage to the west of the main house, that was designated as contributing. In 2000, the HDRB approved a proposal to remodel it.

The main house has a mostly square footprint and faces east to Don Gaspar Avenue. It is red brick with a projecting, pitched, cross gable, hipped roof with metal tiles. The primary entrance is on the east façade which has a porch with brick piers and wrought iron hand railing. The front door has one large light with transom windows and two sidelights plus dental molding. Most of the windows are double hung, wood framed with concrete sills. The upper lights on the east façade are surrounded by wood shingles. From the east, two symmetrical chimneys can be seen. The south façade also has an original bay window, and view to the chimneys. The back porch extends along almost the entire west façade, although the 1930 Sanborn map shows the porch as having a smaller footprint, indicating that the porch was added at a later date. Included on the west façade is a dormer window, four double hung windows, and a single light door. A wooden ramp was also added at a later date to the front/east porch. A small white picket fence attached to the porch and extend southward to the edge of the property. 532 Don Gaspar Avenue appears to be a twin to 528 Don Gaspar Avenue, with identical building footprints, orientation, roof profiles and material finishes. Both are in excellent condition and maintain their historic character in a way that exemplify the craftsmanship of the style and era that they were built. Both contributing highly to the streetscape and district. Neither property currently has a yard wall.

On June 28th, 2022, the HDRB designated the house as significant, maintaining the garage a contributing with east façade as primary.

Now, the applicant proposes the following exterior alterations:

- 1) Replace the historic roof material with a new galvanized steel individual shingle paneled roof (Norman Victorian Roof Shingles).
- 2) Replace all non-historic windows with double hung wood casement windows.
- 3) Replace all historic windows that are rated 'unsatisfactory' in the window assessment with double hung wood casement windows that will be painted SW 9507 Cream & Sugar. The total window proposed for replacement amount to 7 of the 23. The window assessor defines 'unsatisfactory' as having 'all sashes, frames, and casing members have more than 30%-40% deterioration, beyond repair.' Our code requires that windows be beyond repair in order to be replaced.
- 4) Remove back/west porch. A letter from a historian has been provided in order to identify that while it may be historic, it is not original and 'not harmonious.'
- 5) Replace the existing back/west porch. The porch will have wood posts, a similar wood deck and a handicap accessible lift attached on the north side. The railing will be wood

with vertical supports. The roof will match the rest of the house with Norman galvanized metal shingles.

- 6) Construct a concrete masonry unit and a stucco yard wall with 3 course brick cap to a height of 4'-0" along the east and south property line. Stucco color will be cementitious el rey 'fawn.' A wrought iron gate that is no higher than the yard wall is proposed to be painted to match the 'el rey' yard wall. Brick pilaster will be 20"x20" and space approximately every 20' or so.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(5)(b): For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

Staff request an exception for the removal and replacement of the porch.

(i) Do not damage the character of the district

Applicant Response: Do not damage the character of the district: The replacement of the deck and porch will be of the same materials, type, color and character as the existing deck and porch. Column spacing was modified to spread them out and the column was inset 6 inches from the roof edge. The railing and balustrades are wood.

Staff Response: Staff feels that while the porch might be approximately 50 years, it is not the original porch and does not contribute to the historic architecture of the house. Staff recommends that the criterion has been met.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: Are required to prevent a hardship to Andras Szantho (Applicant) or an injury to the public welfare: By replacing the deck and porch that are beyond repair this will provide Mr. Szanthos with a safe structure to use.

Staff Response: Staff feels that the replacement and altered design of the porch would better allow for accessibility for the business use, as this building has been used as a business throughout its history. Staff recommends that the criterion has been met.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: Strengthen the unique heterogeneous character of the City of Santa Fe by providing a full range of design options to ensure that residents can continue to reside

within the historic district: The deck and porch will match the materials, architectural style, features, color and character of the City of Santa Fe. The porch roof will be at least 6 inches below the existing roof. It will not duplicate the existing structure in a manner that will make the replacement indistinguishable from the existing structure.

Staff Response: Staff recommends that the criterion has been met.

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features


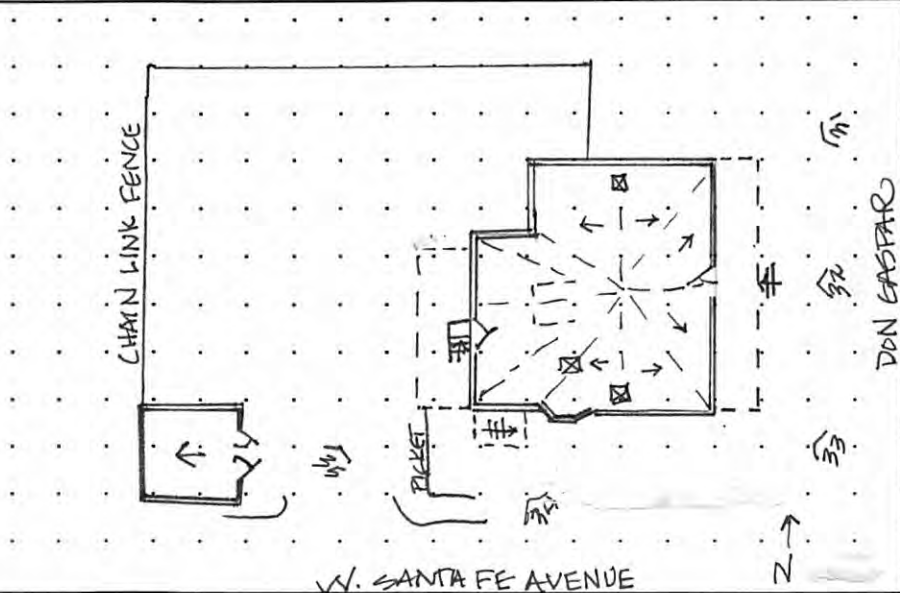
- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

(1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995

IDENTIFICATION	ADDRESS: <u>532 Donl GAsPAR</u>	ID NUMBER: <u>051600304</u>	
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	BUILDING NAME: <u>—</u>
	ZONE <u>12 13</u>	TNSP <u>—</u> N S RANGE <u>—</u> E W SEC <u>—</u> <u>—</u> 1/4 <u>—</u> 1/4	SANTA FE ID NUMBER: <u>H 1803</u>
	FIELD MAP <u>Santa Fe Historic Structures Survey, 1983-85/1992</u>	DATE OF CONSTRUCTION: <u>1928-9</u> ESTIMATE <u>1912-28</u> ACTUAL	
BUILDING DATA	SOURCE(S) <u>city direct. / Sanborn</u>		
	ARCHITECTURAL STYLE: <u>Craftsman Bungalow</u>		
	USE:		
	HISTORIC: <u>residential</u>		
	OTHER <u>—</u>		
	PRESENT: <u>residential</u>		
	OTHER <u>commercial</u>		
	SURROUNDINGS: <u>Bldgs. res. - RES & commercial uses -</u>	<p>#32 E. elevation</p> 	
RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR			
ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	<p>W. SANTA FE AVENUE</p>		
WHAT TYPE? <u>Garage</u>			
IF INVENTORIED, LIST ID NUMBER(S) <u>—</u>	<p>SIGNIFICANCE</p> <p>LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE</p> <p>LOCAL DESIGNATION: <u>Don Gaspar</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p>		
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR			
EXPLAIN:			
OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED			
BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			

SURVEYED 0195 BY HP/DB

NEGATIVES WITH NMHPD ROLL # JCI NEG # 31 TO 35

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	Pitched gable w/ metal tile, cross-gable north to south, projecting dormer, hip E-W
	BUILDING WALLS	Red bricks
	FOUNDATIONS	Raised concrete foundation with basement
	DOORS	E- large light wood door w/ dentil moulding, raised wood medallion, 3 light operable transom and sidelights W- wood panel with single upper light and transom
	WINDOWS	E- 1/1 dhw w/ wood frames, concrete sills S- bay 1/1 w/ wood cornice flanked by 1/1 windows w/ conc. sills W- 2 2 light casements N- 3 1/1 dhw w/ wood frames, concrete sills
	PORCHES OR PORTALES	E- projecting hip roof of metal tile, wd cornice, bead board ceiling & brick pier raised painted stone/concrete slab, concrete steps & wd. ramp W- wood lattice w/ wd steps w/ balustrade
	BALCONIES	
	COURTYARDS	NW flagstone patios
	FENCES/WALLS	SW corner white picket, w wood lattice, N chain link E- no fence
	ARCH. DETAILS	
OTHER		
COMMENTS		Dormer has hexagonal painted exterior tile, suggesting it was added at a later date metal storm windows, brick chimneys, swamp cooler Exterior basement entrance SW w/ shed roof

ADDITIONAL PHOTOGRAPHS



#31 N. elevation



#33 S. elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION

ADDRESS

532 DON GASPAR

ID NUMBER: 051600

SANTA FE ID NUMBER: H-1803

SURVEYED/RESEARCHED

DATE _____ BY _____



34

S. elevations



35 W. elevations

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 0516
	532 DON GASPAR	SANTA FE ID NUMBER:
		SURVEYED/RESEARCHED
		DATE _____ BY _____



#36 NW corner

Associated building: Garage 21' x 21'

historic use: garage

Current use: storage

shed roof w/ block coping, wood & metal fascia,
 stuccoed on entire structure, wood lintel over
 door has been stuccoed over, double leaf wd
 planks door, standing seam metal roof, battered
 walls (due to adobe construction)

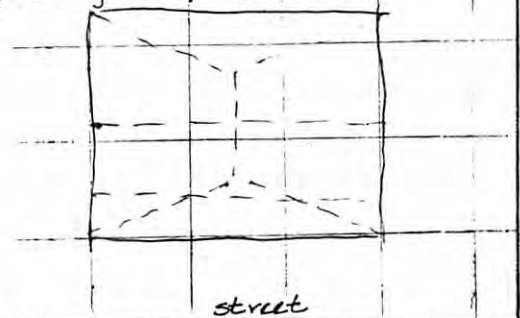
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H1803

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 304	UTM reference zone 12 (3)	easting 414200
location description 532 Don Gaspar		city/town Santa Fe	
		land grant/reservation	

building name	legal description tnsp N S range E W sec 1/4 1/4
---------------	---

film roll by E.T. no. 11	negative nos. 2A	loc. of neg. City of Santa Fe	building-site plan
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date of construction 1910 estimated 1912-1928 actual

source City Directory - Sanborn
use residential
historic residential

condition excellent <input checked="" type="checkbox"/> good fair <input type="checkbox"/> deteriorating
--

style lace Victorian	foundation material concreted over
	wall material/surface brick

degree of remodeling minor <input checked="" type="checkbox"/> moderate <input type="checkbox"/> major <input type="checkbox"/>
describe:

architectural features gable roof: gables covered w/ pressed metal porch across front cross gable - front truncated wd d ph 1-1 top & side lights doors
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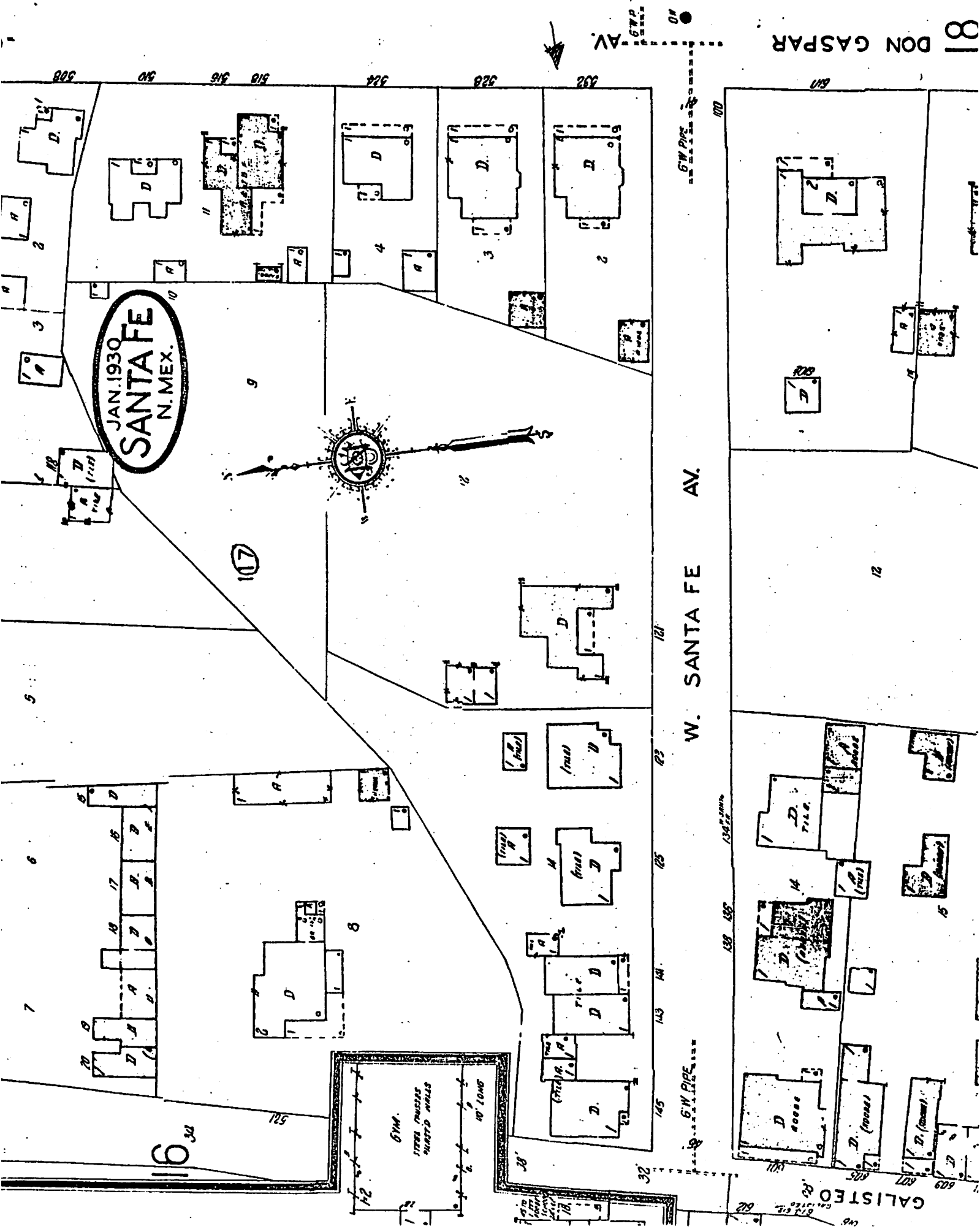
surroundings Med
relationship to surroundings similar <input checked="" type="checkbox"/> not similar <input type="checkbox"/>

district potential yes <input checked="" type="checkbox"/> no <input type="checkbox"/>

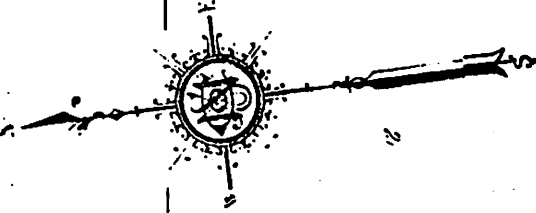
significance significant <input checked="" type="checkbox"/> contributing <input checked="" type="checkbox"/> date
supporting <input type="checkbox"/> intrusive <input type="checkbox"/>

comments similar to #303 Justin Thomas - bld in early teens 1936-37 cd - McCauley Jo 1928 cd Tyler WC Tyler's drug store on 1930 Sanborn

associated buildings? <input checked="" type="checkbox"/> yes what type? adobe garage
if inventoried, list ID nos.
see back? <input type="checkbox"/> yes

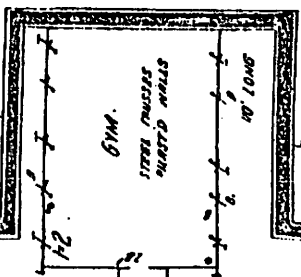


JAN. 1930
SANTA FE
 N. MEX.



107

W. SANTA FE AV.



GALISTEO

AV. 6\"/>

308 500 516 518 524 528 532

600 610 620

5 6 7 8 9 10 11 12

12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

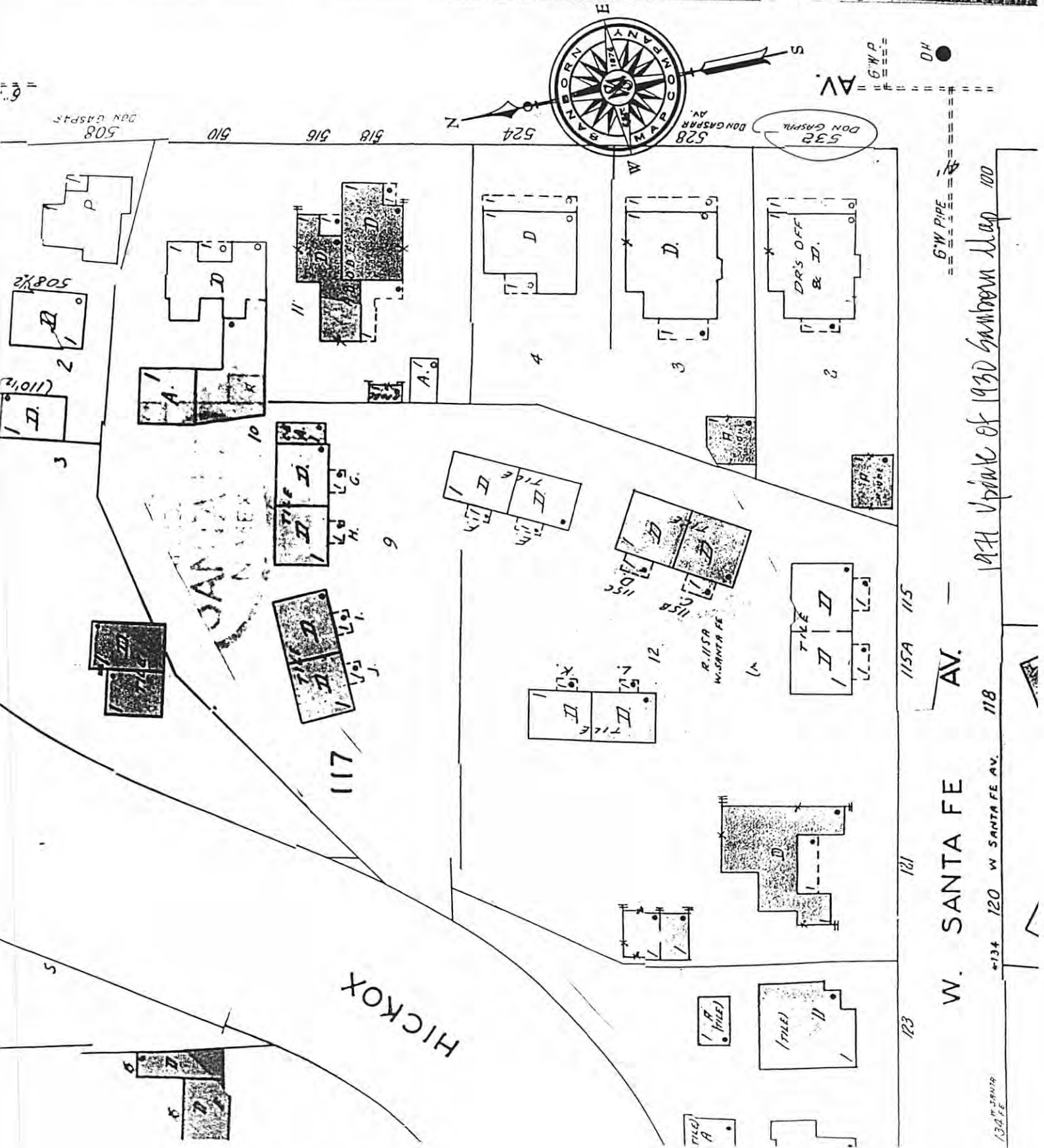
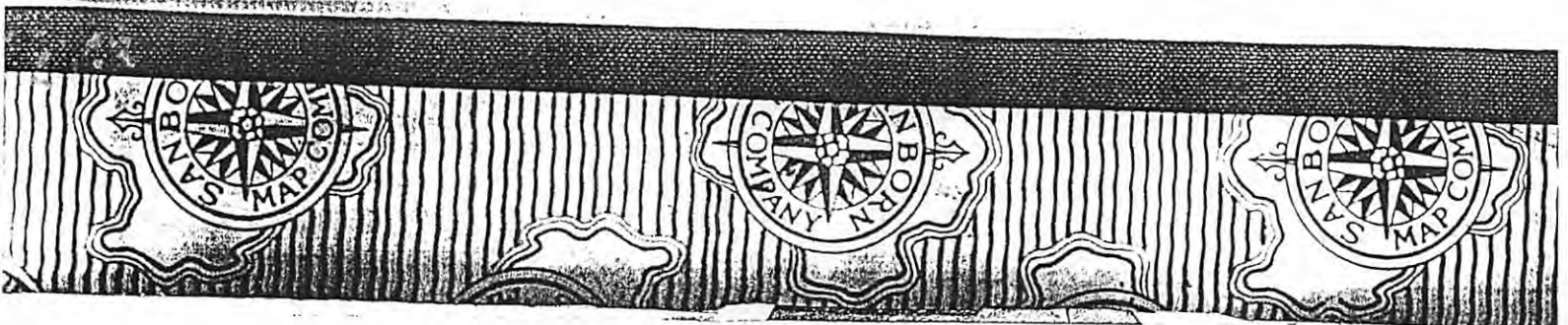
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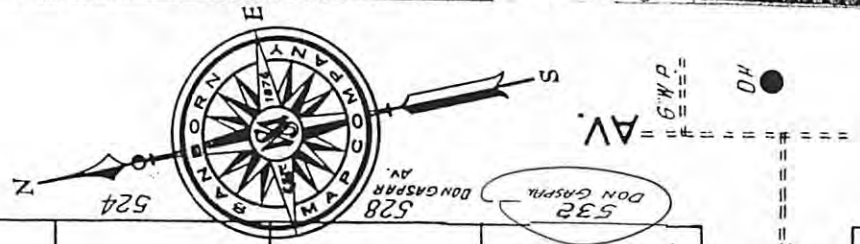
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508
DON GASPAR
510
516
518



G.W.P.
OH

1971 Update of 1930 Samborn Map 100

W. SANTA FE AV.

118
120 W SANTA FE AV.

115A 115

121

123

HICKOX

117

(FILE)
A

(FILE)
B

(FILE)
A

(FILE)
B

130 W SANTA FE









September 2, 2022

VIA EMAIL: cpiccarello@santafenm.gov

Ms. Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico

Re: Historic Districts Application - Deck/Porch Exception
532 Don Gaspar Avenue
Santa Fe, New Mexico
Case No. 2022-005448-HDRB

Dear Carly,

We are submitting the following:

1. Porch and Wall Study by John W. Murphey of Architectural History Services dated 7/27/22.
2. Drawing Sheets A1 - A5 dated 8/2/22.

The existing porch was reviewed by John W. Murphey of Architectural History Services and he stated the existing is a "non-contributing element" we are removing the existing deck/porch and installing a new deck/porch. The existing deck/porch was built in the 1950-70s.

Per Article 14-5.2(D)(5) Mr. Szanthy hereby conclusively demonstrates that this exception complies with all of the criteria list as follows:

- (i) Do not damage the character of the district: The replacement of the deck and porch will be of the same materials, type, color and character as the existing deck and porch. Column spacing was modified to spread them out and the column was inset 6 inches from the roof edge. The railing and balustrades are wood.
- (ii) Are required to prevent a hardship to Andras Szanthy (Applicant) or an injury to the public welfare: By replacing the deck and porch that are beyond repair this will provide Mr. Szanthy with a safe structure to use.
- (iii) Strengthen the unique heterogeneous character of the City of Santa Fe by providing a full range of design options to ensure that residents can continue to reside within the historic district: The deck and porch will match the materials, architectural style, features, color and character of the City of Santa Fe. The porch roof will be at least 6 inches below the existing roof. It will not duplicate the existing structure in a manner that will make the replacement indistinguishable from the existing structure.

Ms. Carly Piccarello
September 2, 2022
Page 2

Should you have any questions, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Georges', with a long horizontal line extending to the right.

Kevin Georges, AIA
Principal Architect

KEG/sm

K:\Projects\2021.18\WP\SD\Codes\Historic District\Hearing\20220912\20220902 Deck - Porch Exception.wpd

Attachments

cc: Andras Szantho, Esq.



September 2, 2022

VIA EMAIL: cpiccarello@santafenm.gov

Ms. Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico

Re: Historic Districts Application - Yard Wall Application
532 Don Gaspar Avenue
Santa Fe, New Mexico
Case No. 2022-005448-HDRB

Dear Carly,

We are submitting the following:

1. Porch and Wall Study by John W. Murphey of Architectural History Services dated 7/27/22.
2. Drawing Sheet C1 dated 8/2/22.

The existing porch was reviewed by John W. Murphey of Architectural History Services and he stated "there are several low, stuccoed street walls within the streetscape. In this way, there is precedent for a low street wall at the subject house."

Per Article 14-5.2(D)(9)(a)(ii)C yard walls exist on both sides of the streets at a distance of six hundred (600) feet in both directions, we are proposing to install a low stuccoed yard wall with a brick cap to match the building on West Santa Fe and Don Gaspar Avenue.

Should you have any questions, please don't hesitate to contact me.

Sincerely,

Kevin Georges, AIA
Principal Architect

KEG/sm

K:\Projects\2021.18\WP\SD\Codes\Historic District\Hearing\20220912\20220902 Yard Wall Application.wpd

Attachments

cc: Andras Szantho, Esq.



September 2, 2022

VIA EMAIL: cpiccarello@santafenm.gov

Ms. Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico

Re: Historic Districts Application - Roof
532 Don Gaspar Avenue
Santa Fe, New Mexico
Case No. 2022-005448-HDRB

Dear Carly,

We are submitting the following:

1. Roof Assessment by Brian McPartlon Roofing, LLC dated 7/27/22.
2. Edco Roof Tile, Tamko Building Products LLC and WF Norman Roof Tiles.
3. Drawing Sheets A1, A2, A6 and A7 dated 7/29/22.

After completing the roof assessment where it states that "the existing roof has deteriorated beyond repair" we are showing replacing the existing roof with StoneCrest Tile Steel Shingles, Sierra Slate Grey color over asphalt roofing felt. There isn't any metal roof products that don't have a finish on them. A dull or non finished tile is not available.

Per Article 14-5.2(D)(6) Mr. Szantho hereby conclusively demonstrates that this exception complies with all of the criteria list as follows:

- (i) Do not damage the character of the district: The replacement of the existing metal roof will be of the same size, type and character as close as possible to the existing roof tiles.
- (ii) Are required to prevent a hardship to Mr. Szantho (Applicant) or an injury to the public welfare: By replacing roof that is beyond repair this will allow the Mr. Szantho to not have water infiltrating the building and further damaging the building.
- (iii) Strengthen the unique heterogeneous character of the City of Santa Fe by providing a full range of design options to ensure that residents can continue to reside within the historic district: The roof will match the existing roof materials, similar design and will maintain the existing character of the district.

Should you have any questions, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Georges', with a large circular flourish at the end.

Kevin Georges, AIA
Principal Architect

KEG/sm

K:\Projects\2021.18\WP\SD\Codes\Historic District\Hearing\20220912\20220902 Roof Assessment Letter.wpd

Attachments

cc: Andras Szantho, Esq.



September 2, 2022

VIA EMAIL: cpiccarello@santafenm.gov

Ms. Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico

Re: Historic Districts Application - Windows Exception
532 Don Gaspar Avenue
Santa Fe, New Mexico
Case No. 2022-005448-HDRB

Dear Carly,

We are submitting the following:

1. Window Assessment by Ra Patterson of RPA & Associates dated 7/11/22.
2. Pella Reserve Traditional Window Data Sheet.
3. Drawing Sheets A1 - A5 dated 8/2/22.

After completing the window assessment where it shows 7 of the existing 23 windows are more than 30% deteriorated we are showing existing windows to be repaired (existing window is less than 30% deteriorated) and replaced (existing window is more than 30% deteriorated). We will replace the windows that needed to be replaced with Pella Reserve Traditional Window, wood finish both interior and exterior. Insulated glazing, painted Sherwin Williams SW9507 Cream & Sugar.

Per Article 14-5.2(D)(5) Mr. Szanthy hereby conclusively demonstrates that this exception complies with all of the criteria list as follows:

- (i) Do not damage the character of the district: The replacement of the windows will be of the same size, type and character as the existing windows.
- (ii) Are required to prevent a hardship to Andras Szanthy (Applicant) or an injury to the public welfare: By replacing windows that are beyond repair this will allow the Mr. Szanthy to not have water infiltrating the building and further damaging the building.
- (iii) Strengthen the unique heterogeneous character of the City of Santa Fe by providing a full range of design options to ensure that residents can continue to reside within the historic district: The windows that are replaced will match the existing windows and will maintain the existing character of the district.

Ms. Carly Piccarello
September 2, 2022
Page 2

Should you have any questions, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Georges', with a long horizontal stroke extending to the right.

Kevin Georges, AIA
Principal Architect

KEG/sm

K:\Projects\2021.18\WP\SD\Codes\Historic District\Hearing\20220912\20220902 Windows Exception.wpd

Attachments

cc: Andras Szantho, Esq.

ARCHITECTURAL History Services

John W. Murphey
Architectural Historian
SANTA FE + SAN FRANCISCO
John@archhistoryservices.com

July 27, 2022

Kevin Georges, AIA
KGA Architects
214 Truman Street NE
Albuquerque, NM 87108

RE: 532 Don Gaspar Avenue: Porch and Wall Study

Dear Mr. Georges:

As requested, I have researched the background of the rear porch and whether walls historically stood on and/or would be appropriate to the property.

Based on aerial photographs and visual evidence, I conclude that the porch is of recent (1950s-70s) construction and is not harmonious with the residence's design and period. Historically, the property had a street wall or some linear feature along the south property line but that feature is no longer extant. Based on walls within the designated streetscape — including a stuccoed wall in front of a similar era brick house to the south — a low, unassuming wall would be appropriate and not adversely impact the house's character-defining features.

Administrative Background

The house was first inventoried in 1983 as part of the Don Gaspar Architectural Historic Survey and recommended for Contributing status. It was later added to the City of Santa Fe, Don Gaspar Area Historic District, and the National Register, Don Gaspar Historic District. It was designated Contributing in both listings. It came before the Board in 2000, and more recently, on June 27, 2022, when it was upgraded to Significant status (2022-005448-HDRB).

Historical Overview

In the early 1880s, development in Santa Fe shifted to the south after the construction of a new capitol and the railroad additions. While the capitol building would burn in May 1892, its short presence stirred development. Platted a year before the fire, the Capitol Addition (later reorganized as the Salmon Addition) straddled a yet-to-be-extended Don Gaspar Avenue. The extension of the road, built with convict labor, pushed residential construction into the area in the early 1900s.

The house was erected in c.1922 by Italian immigrant Josephine D. Popp. Popp's grandfather was the Italian stonemason, Gennaro Digneo. Popp also owned the lot to the north (528) and across the street (527) and property on Santa Fe Avenue. All of which she developed. It is likely the Digneo Brothers, a home-building company specializing in brick construction, of which Gennaro was the founder, built both residences. Popp sold the north house and rented out the subject dwelling upon completion. William Clark Tyler, a druggist from Ohio, his wife Nota, their four children, and a live-in chauffeur are its first known tenants.

The subject house first appeared on the 1930 Sanborn Fire Insurance map. At the time, it and its companion to the north had shallow, open wood porches centered on their west elevations (Figure 1). Based on the map's scale, the porches were approximately 15' long.

Character-Defining Features

Representing a western plains expression of the brick bungalow, the house's character-defining features are the following:

- Brick construction
- Cross-gabled plan
- Full-width front porch
- South bay window
- Fenestrated gables
- Transom and sidelight east entry
- Large window openings
- Brick chimneys

Objective 1: Origin of West Elevation Porch

The 1930 Sanborn map establishes that a porch (though smaller and probably of a different roof design) existed during the historic era. Based on aerial photographs and physical evidence, the current porch came about in the 1950-70s.

Existing Conditions

Attached to the back of the house is a roughly 250-square-foot lean-to porch (Figures 6-10). Unlike the structure shown on the Sanborn map, it is positioned toward the south end of the façade. The awkward position of the landing — several feet above the floor — may indicate the original porch was elevated above ground, which was typical of the period.

Square 4" x 4" wood posts support the sloped roof structure. The posts tie into a plate of the same dimension (Photo 11). The plate carries a deck of 2" x 6" rafters topped with boards (Figure 12). The rafters attach to the brick in an informal, lean-to fashion by gravity, a small

ledger, and a pipe (Figure 13). The boards and other members are standard dimension milled lumber with smooth and rough-sawn edges. They connect with nailed and butted ends. The fasteners are modern round head, common wire nails. V-crimp metal siding covers its roof; an unpainted, galvanized gutter traces its fascia. The floor is made of poured concrete.

Aerial Photographs

The first reliable aerial photograph from 1958 shows what appears to be the porch — or an earlier iteration — in the same position as the present structure (Figure 2). This same structure appeared in 1969 (Figure 4) and again in 1978 (Figure 4).

Objective 2: Presence and Compatibility of Walls

Presence

No photographs are available to validate whether a wall historically stood on the property. A shadow line on the 1969 aerial may indicate a wall or fence along the south exposure, fronting West Santa Fe Avenue (Figure 3). This line is more visible in 1978 (Figure 4).

Compatibility

The 500 block of Don Gaspar is primarily void of street walls. The exception is a low, non-historic stuccoed wall in front of the Fiske House (515), a dwelling built during the same era (Figure 14).

Historically, the block had at least one wall associated with brick houses. This included a wall at the Josephine Popp House (demolished), traditionally located across the street. The Popp was a larger, cross-gabled brick home, likely erected by the Digneo Brothers (Figure 5).

Walls start to pick up on the 600 block, beginning with the Closson House street wall. A stuccoed street wall fronts the brick, side-gabled residence erected in c.1920 (Figure 17). The author researched the Closson street wall in 2015 and determined it was likely erected at the same time as the house.

Performing a pedestrian survey within the 600' designated streetscape recorded several low street walls (Figures 14-19). These are all stucco-faced except for one arroyo stone wall (Figure 19). The stucco walls are primarily in front of stylistically associated Pueblo Revival dwellings.

Conclusion

Porch

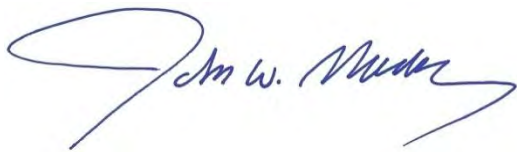
Premised on aerial photographs and material evidence, the current porch is likely of 1950-70s vintage. It does not harmonize with the building's construction period or character-defining features. The author would recommend it as a non-contributing element.

Walls

While there may have historically been a wall along the south edge of the house, its design and materials are unknown. The Don Gaspar corridor and designated streetscape have fewer walls than other parts of the district. Sparse walls stood along similar-era brick residences, including the Popp and Closson houses. Currently, there are several low, stuccoed street walls within the streetscape. In this way, there is precedent for a low street wall at the subject house.

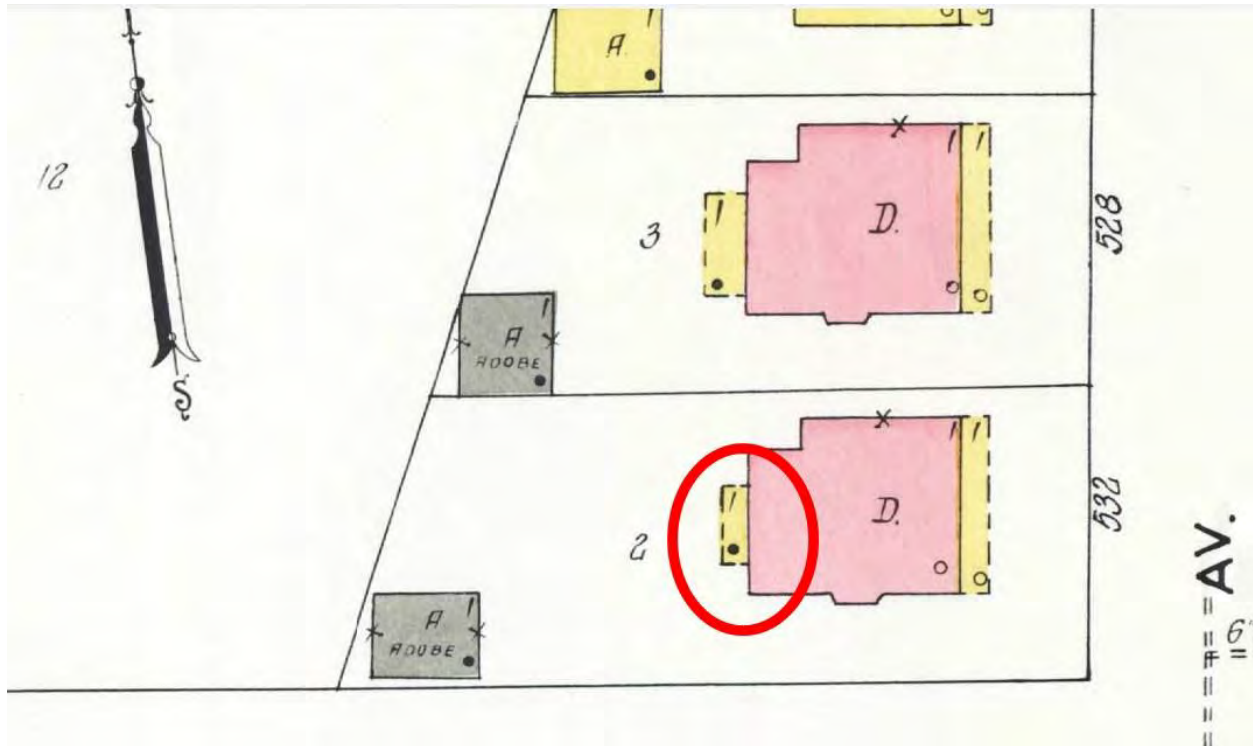
Please contact me if you have any questions or comments.

Sincerely,

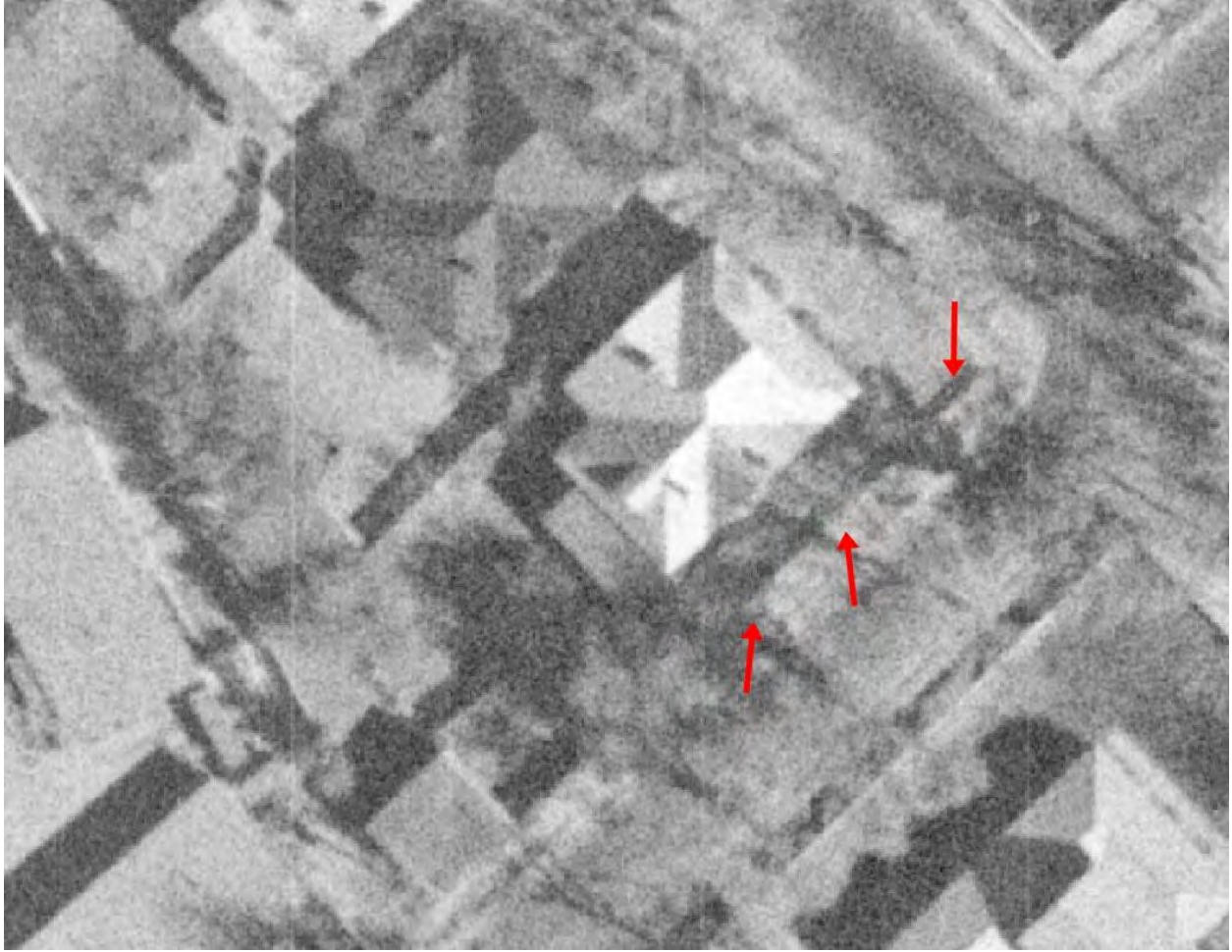
A handwritten signature in blue ink that reads "John W. Murphey". The signature is fluid and cursive, with a large initial "J" and a long, sweeping underline.

John W. Murphey
Architectural Historian
505-577-7593
john@archhistoryservices.com

Illustrations



**Figure 1: 1930 Sanborn Fire Insurance map.
Earlier open frame wood porch circled.**



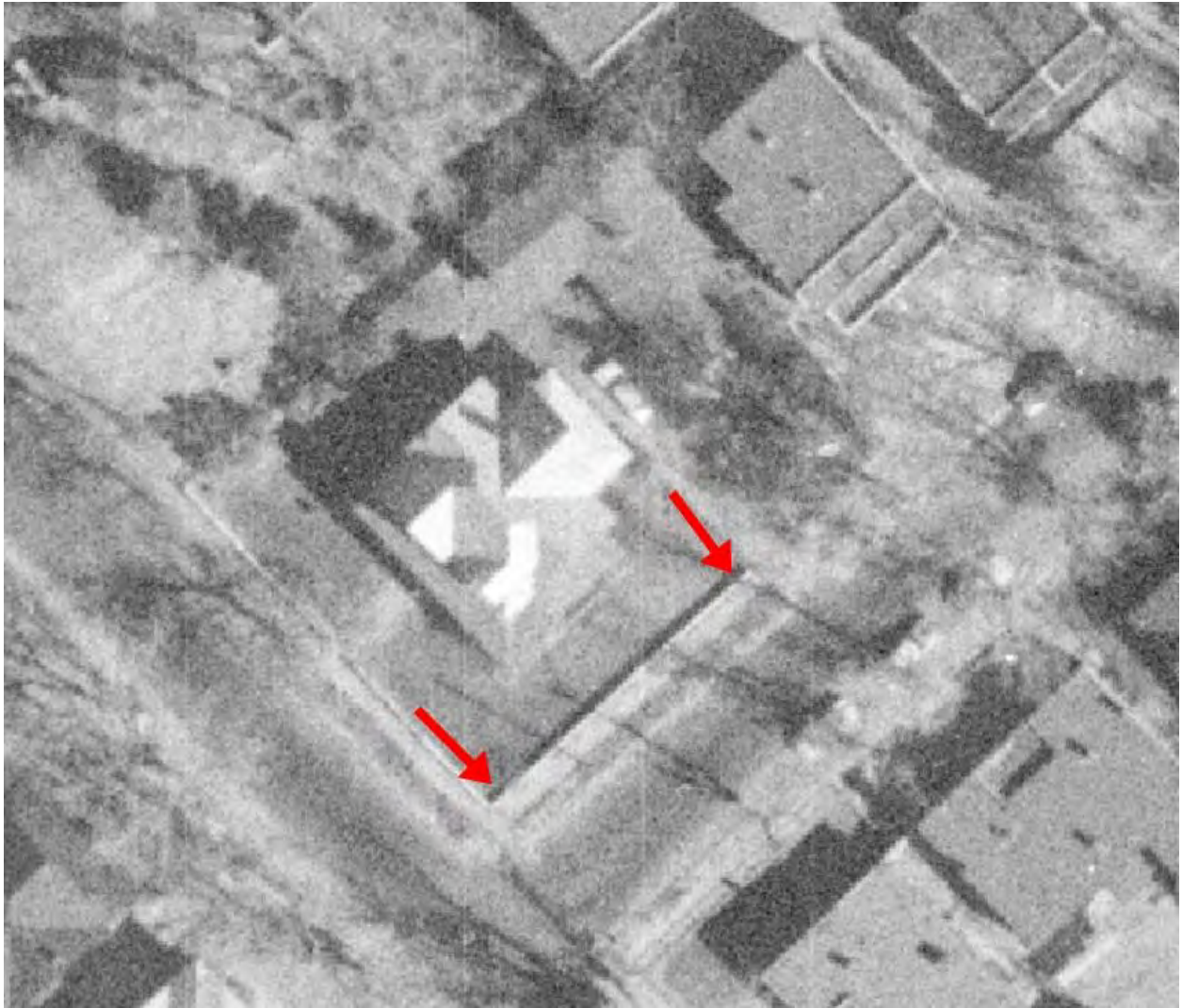
**Figure 2: 1958 aerial photograph.
South structure highlighted with arrows.**



**Figure 3: 1969 aerial photograph.
South structure highlighted with arrows.**



**Figure 4: 1978 aerial photograph.
South structure highlighted with arrows.**



**Figure 5: 1958 aerial photograph, 527 Don Gaspar Avenue (demolished).
South structure highlighted with arrows.**

Field Photos

All photographs taken by Giulia Caporuscio on July 20, 2022.



Figure 6: Porch, as viewed from West Santa Fe Avenue.



Figure 7: Porch, as viewed from West Santa Fe Avenue.



Figure 8: Porch, as viewed from driveway.



Figure 9: Porch, as viewed from parking court.



Figure 10: Porch, as viewed from north property line.



Figure 11: Porch posts and decking.



Figure 12: Porch rafters.



Figure 13: Porch attachment to brick house.

The following photographs show all street walls within the designated 600' streetscape.



Figure 14: 532 Don Gaspar Avenue. Stuccoed street wall.



Figure 15: 603/605 Don Gaspar Avenue. Stuccoed street wall.



Figure 16: 607/609 Don Gaspar Avenue. Stuccoed street wall.



Figure 17: 610 Don Gaspar Avenue. Stuccoed street wall.



Figure 18: 613/615 Don Gaspar Avenue. Stuccoed street wall.



Figure 19: 614 Don Gaspar Avenue. Arroyo stone street wall.



•ARCHITECTS•



August 2, 2022

VIA EMAIL: cpiccarello@santafenm.gov

Ms. Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico

Re: Historic Districts Application - Roof Exception
532 Don Gaspar Avenue
Santa Fe, New Mexico
Case No. 2022-005448-HDRB

Dear Carly,

We are submitting the following:

1. Roof Assessment by Brian McPartlon Roofing, LLC dated 7/27/22.
2. Berridge Shingle Data Sheet.
3. Drawing Sheets A1 - A5 dated 8/2/22.

The roof assessment states that "the existing roof has deteriorated beyond repair" we are showing replacing the existing roof with Berridge Prefinished Metal Victorian Style shingles over asphalt roofing felt(s).

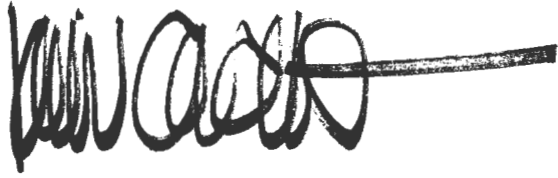
Per Article 14-5.2(D)(6) Mr. Szanthy hereby conclusively demonstrates that this exception complies with all of the criteria list as follows:

- (i) Do not damage the character of the district: The replacement of the existing metal roof will be of the same size, type and character as close as possible to the existing roof tiles.
- (ii) Are required to prevent a hardship to Mr. Szanthy (Applicant) or an injury to the public welfare: By replacing roof that is beyond repair this will allow the Mr. Szanthy to not have water infiltrating the building and further damaging the building.
- (iii) Strengthen the unique heterogeneous character of the City of Santa Fe by providing a full range of design options to ensure that residents can continue to reside within the historic district: The roof will match the existing roof materials, similar design and will maintain the existing character of the district.

Ms. Carly Piccarello
August 2, 2022
Page 2

Should you have any questions, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Georges", with a long horizontal line extending to the right.

Kevin Georges, AIA
Principal Architect

KEG/sm

K:\Projects\2021.18\WP\SD\Codes\Historic District\Roof Assessment\20220802 Roof Exception.wpd

Attachments

cc: Andras Szantho, Esq.



Brian McPartlon Roofing, LLC.

Santa Fe Reporter's 2021 "Best of Santa Fe"
1st Place Winner for Best Roofer

July 27, 2022

Kevin Georges
KGA Architects
214 Truman Street NE
Albuquerque, New Mexico 87108.1333
RE: 532 Don Gaspar

To whom it may concern,

On July 25th, 2022, McPartlon Roofing inspected the roof at 532 Don Gaspar.

Our findings are as follows:

1. The Victorian shingle looks to be original.
2. Rust has deteriorated the shingle in hundreds of locations.
3. The adjoining trim and flashing are deteriorated beyond repair.
4. Shingle has curled and warped leaving the substrate vulnerable.
5. Rotten decking and fascia are evident at the perimeter.

In our opinion, the life expectancy of this roof has been surpassed. We recommend a complete removal and replacement to restore the roof to its original appearance.



Brian McPartlon Roofing, LLC.

Santa Fe Reporter's 2021 "Best of Santa Fe"
1st Place Winner for Best Roofer



39 Bisbee Court Unit 7 Santa Fe, NM 87508
Tel: (505) 982-6256 Fax: (505) 982-3654
info@mcpartlonroofing.com www.mcpartlonroofing.com



Brian McPartlon Roofing, LLC.

Santa Fe Reporter's 2021 "Best of Santa Fe"
1st Place Winner for Best Roofer



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Brian McPartlon Roofing, LLC.

Santa Fe Reporter's 2021 "Best of Santa Fe"
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39 Bisbee Court Unit 7 Santa Fe, NM 87508
Tel: (505) 982-6256 Fax: (505) 982-3654
info@mcpartlonroofing.com www.mcpartlonroofing.com

Berridge Victorian & Classic Shingles

SHINGLE SYSTEM



The Berridge Victorian and Classic Shingles create a traditional design look. This versatile product can be used in residential or commercial applications over solid wood sheathing on both roofs and walls making it ideal for restoration projects or new construction requiring a historic Victorian or classical traditional feel.



Materials

24 Gauge Steel

Specifications

Uses: Roof, Wall, Fascia

Finishes: Victorian or Classic embossed pattern

Fasteners: Concealed

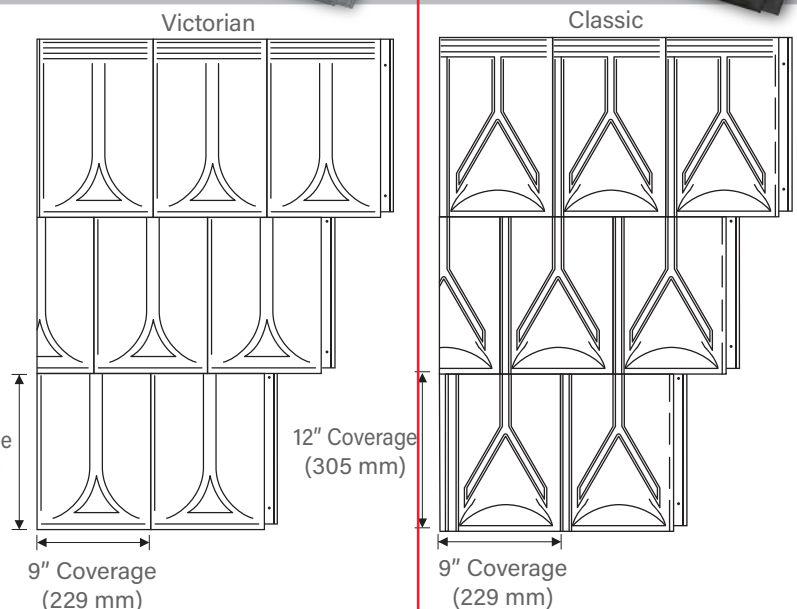
Applications: Solid sheathing

Coverage: 9" wide and 12" tall

Installation

- Factory formed prefinished tiles
- 133 Shingles per square, must order in full square quantities, minimum order of one square
- Use J-Clip continuously at ridge, hip, gables, endwalls, valleys, etc.*
- Use 4" ridge/hip cap continuously at ridges and hips*
- Use drip flashing continuously at eaves and gables*

* Trim drawings with dimensions, specified angle or roof pitch, and finish side required for all Berridge manufactured trim pieces



Pictured Above
 Panel: Classic
 Project: Sinclair Hille Studio
 Architect: Sinclair Hille
 General Contractor and Installer:
 Brester Construction
 Color: Zinc Grey

Pictured Right
 Panel: Victorian



All information subject to change without notice. See website for details, specifications and Watertightness Warranty requirements.

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BERRIDGE VICTORIAN & CLASSIC SHINGLES TESTING AND CERTIFICATION SUMMARY CHART

CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
PERFORMANCE	■ Underwriters Laboratories	UL 580/UL 1897	Test method to determine uplift resistance of roof assemblies	See Load Chart on Berridge website
	■ Florida Product Approval	TAS 125	Local and state approval of products and systems for compliance with the structural requirements of the Florida Building Code	FL# 11422.2 (24 GA-Wood Deck) FL# 11241.3 (24 GA-Plywood)
ROOF LISTINGS	■ Miami Dade	TAS 125	Miami Dade County approval of building products directly related to the structural wind resistance	NOA # 17-0808.05
	■ TDI Listed	UL 580	Texas Department of Insurance Listing for wind capacities	RC-231 (24 GA-Plywood)

■ - Steel only □ - Steel and Aluminum
 For further details please visit www.berridge.com



CORPORATE HEADQUARTERS
 2610 Harry Wurzbach Road
 San Antonio, TX 78209
 (800) 669-0009
www.Berridge.com



•ARCHITECTS•



August 2, 2022

VIA EMAIL: cpiccarello@santafenm.gov

Ms. Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico

Re: Historic Districts Application - Windows Exception
532 Don Gaspar Avenue
Santa Fe, New Mexico
Case No. 2022-005448-HDRB

Dear Carly,

We are submitting the following:

1. Window Assessment by Ra Patterson of RPA & Associates dated 7/11/22.
2. Pella Reserve Traditional Window Data Sheet.
3. Drawing Sheets A1 - A5 dated 8/2/22.

After completing the window assessment where it shows 7 of the existing 23 windows are more than 30% deteriorated we are showing existing windows to be repaired (existing window is less than 30% deteriorated) and replaced (existing window is more than 30% deteriorated). We will replace the windows that needed to be replaced with Pella Reserve Traditional Window, wood finish both interior and exterior. Insulated glazing, painted Sherwin Williams SW9507 Cream & Sugar.

Per Article 14-5.2(D)(5) Mr. Szantho hereby conclusively demonstrates that this exception complies with all of the criteria list as follows:

- (i) Do not damage the character of the district: The replacement of the windows will be of the same size, type and character as the existing windows.
- (ii) Are required to prevent a hardship to Andras Szantho (Applicant) or an injury to the public welfare: By replacing windows that are beyond repair this will allow the Mr. Szantho to not have water infiltrating the building and further damaging the building.
- (iii) Strengthen the unique heterogeneous character of the City of Santa Fe by providing a full range of design options to ensure that residents can continue to reside within the historic district: The windows that are replaced will match the existing windows and will maintain the existing character of the district.

Ms. Carly Piccarello
August 2, 2022
Page 2

Should you have any questions, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Georges', with a long horizontal line extending to the right from the end of the signature.

Kevin Georges, AIA
Principal Architect

KEG/sm

K:\Projects\2021.18\WP\SD\Codes\Historic District\Window Study\20220802 Windows Exception.wpd

Attachments

cc: Andras Szantho, Esq.

RPA & Associates

PRESERVING OUR HISTORY

508 Ortega Rd NW Los Ranchos, NM 87114
 P. O. Box 10328 Albuquerque, NM 87184
 505-379-7900
 rpahistoric@gmail.com

TO Kevin Georges & Associates
 214 Truman St NE
 Albuquerque, NM 87108

Andres Szanthos Project

HISTORIC ASSESSMENT
 NO. 71122-KG-HA



JOB	DATE
532 DON GASPAR AVE	07/11/2022

LOCATION	DESCRIPTION
EAST A	48 X 72 DH 1/1 COTTAGE STYLE
EAST DR #1	75 X 105 RH OUTSWING 1-LT SIMPSON STYLE (1980's) WOOD BEAD - SIDE LIGHTS AND DOOR HAVE BEEN REPLACED - TRANSOM ORIGINAL WITH PUTTY GLAZE
EAST B	48 X 72 DH 1/1 COTTAGE STYLE
2 ND FLOOR	
EAST C	80 X 33 LLR INSWING CASEMENT 1-LT FAR LEFT OSV MISSING SASH
SOUTH D	34 X 72 DH 1/1
SOUTH E	34 X 72 DH 1/1
SOUTH F	48 X 72 DH 1/1
SOUTH G	34 X 72 DH 1/1
SOUTH H	34 X 72 DH 1/1
BASEMENT	
SOUTH I	30X 24 INSWING HOPPER 2W1H
SOUTH DR #2	28 X81 OUTSWING LH 1-LT FULL GLASS IG (1980's)
SOUTH J	30 X 24 INSWING HOPPER 2W1H
2 ND FLOOR	
SOUTH K	28 X 58 DH 1/1 NOT ORIGINAL - REPLACED ROPE AND PULLEY - SASHES WITH TAPE BALANCE SASHES (1970's)
WEST L	28 X 34 LR TWIN 1W2H PUSH-OUT CASEMENT - ADDED WINDOW, DOESN'T MATCH OTHER DH BARN SASHES - NOT ORIGINAL

In closing, my professional opinion is the windows and doors that are historic and restorable, could be restored per historic code. With that being said, the aluminum screens should be replaced with a wood screen. Also, the restored windows would not be energy efficient and would not meet any type of energy code.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Ra N. Patterson*

RPA & ASSOCIATES | WINDOW & DOOR CONDITION AND INTEGRITY CODES

CODE	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION.
	PUTTY GLAZE INTACT.
	ONLY COSMETIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS.
	PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% – 40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE.
	PUTTY GLAZING CRACKING AND MISSING IN 30% – 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE SOME MEMBERS 30% – 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED.
	PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40% DETERIORATION, BEYOND REPAIR.

NOTES:

RPA & ASSOCIATES | 532 DON GASPAR

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTERGRITY CODE	HISTORIC/NON-HISTORIC - AGE
A	48 X 72 1/1 DH	S	HISTORIC
DR #1	75 X 105	S	HISTORIC * TRANSOM NON-HISTORIC * DOOR/SIDE LIGHTS (1980's)
B	48 X 72 1/1 DH - COTTAGE	S	HISTORIC
C	80 X 33 LLR	U	NON-HISTORIC * BARN SASHES INSERTED IN TO DH FRAME
D	34 X 72 1/1 DH	F	HISTORIC
E	34 X 72 1/1 DH	F	HISTORIC
F	48 X 72 1/1 DH - COTTAGE	F	HISTORIC
G	34 X 72 1/1 DH	U	HISTORIC
H	34 X 66 1/1 DH	U	HISTORIC
I	30 X 24 HOPPER 2W1H	F	HISTORIC
DR #2	28 X 81 LH OUTSWING 1-LT	F	NON-HISTORIC *1980's
J	30 X 24 HOPPER 2W1H	S	HISTORIC
K	28 X 58 DH 1/1	F	NON-HISTORIC *1980's REPLACED SASHES & TAPE BALANCES
L	28 X 34 LR TWIN PUSH-OUT CASEMENT 1W2H	S	NON-HISTORIC * REPLACED WITH ADDED BARN SASHES
M	28 X 56 DH 1/1	S	HISTORIC
N	28 X 56 DH 1/1	F	HISTORIC
O	30 X 24 HOPPER 2W1H	S	HISTORIC
P	30 X 24 HOPPER - FIXED 1-LT	U	NON-HISTORIC * SASH MISSING VENT CUT IN

NOTES:

ALL WINDOWS HAVE ALUMINUM NON-HISTORIC SCREENS

RPA & ASSOCIATES | 532 DON GASPAR

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTERGRITY CODE	HISTORIC/NON-HISTORIC – AGE
Q	34 X 72 DH 1/1	U	HISTORIC
R	28 X 40 L CASEMENT PELLA	P	NON-HISTORIC *1990's CLAD/WOOD
S	34 X 72 DH 1/1	F	HISTORIC
T	34 X 72 DH 1/1	U	HISTORIC
U	51 X 33 TWIN DH 1/1	F	NON-HISTORIC * NEWER SASHES AND TUBE BALANCES PUT IN LATE 70's, EARLY 80's
V	51 X 33 TWIN DH 1/1	F	NON-HISTORIC * NEWER SASHES AND TUBE BALANCES PUT IN LATE 70's, EARLY 80's
W	30 X 24 HOPPER 2W1H	U	HISTORIC

NOTES:
 ALL WINDOWS HAVE ALUMINUM NON-HISTORIC SCREENS

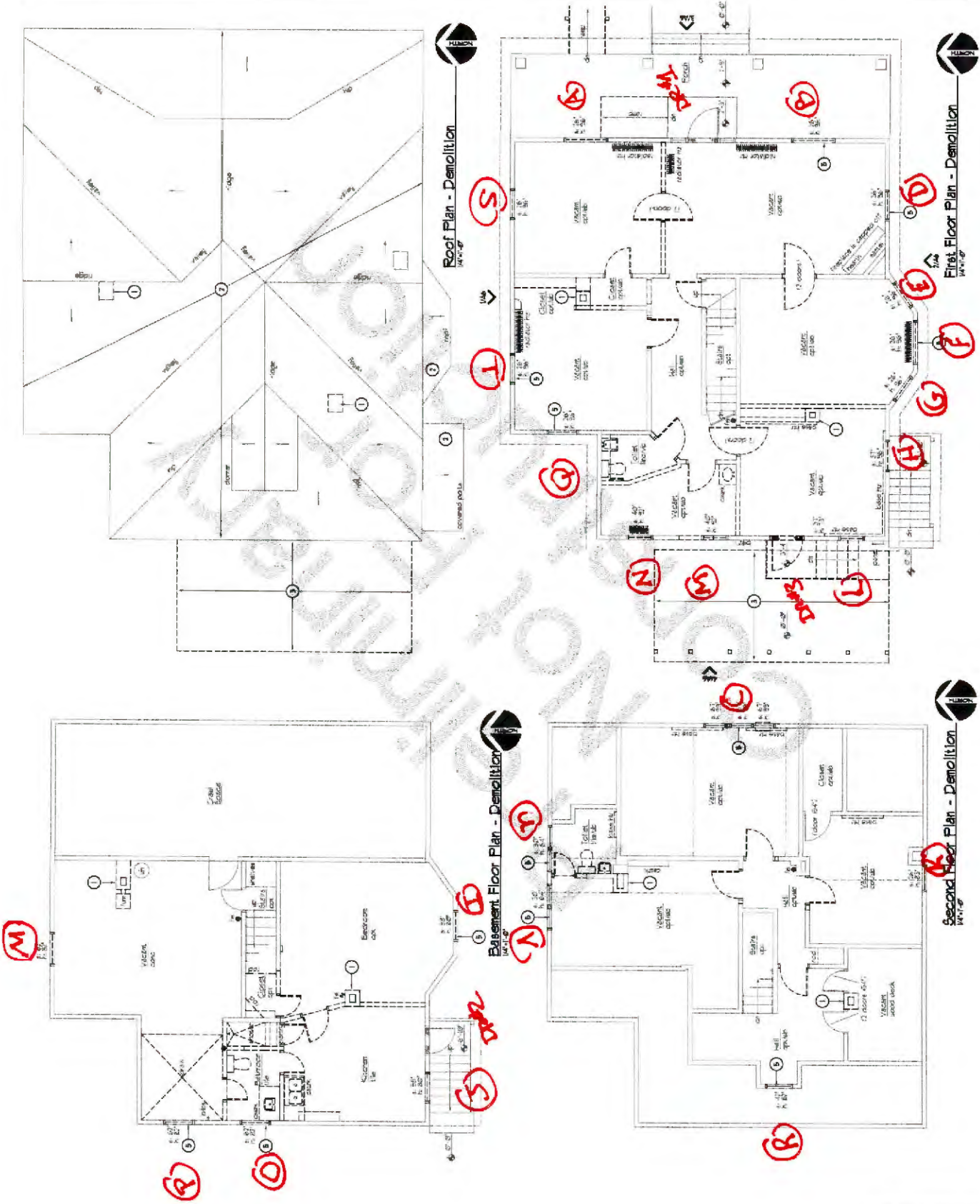
Keyed Notes A1:

1. REMOVE EXISTING BRICK CHIMNEY COMPLETE
2. REMOVE EXISTING BRICK PATIO
3. REMOVE EXISTING PORCH
4. NOT USED.
5. REMOVE EXISTING BRICK TYPICAL.

Design Development

Andreas Szanthos Law Office
533 Don Gaspar Avenue
Santa Fe, New Mexico 87505

Project Title
Site: UA
Prepared: KEG
Date: 2/20/18
Date: 2/26/18
Case No.: 2018-00001-1-ARCHITECT-NM







Studio East Dr #5



Studio East X



Studio West Y



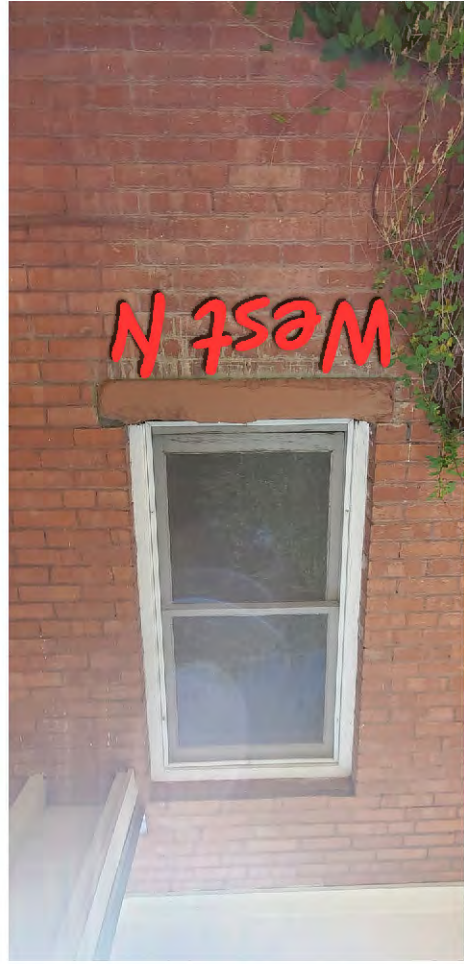
West Q













Pro Window & Door Guide





Leaders in Innovation Since 1925

From testing beyond industry requirements to delivering continuous innovation – we go beyond what meets the eye to make beautifully designed windows and doors to be a solution for every project. To learn more, visit pella.com/professionals.

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Experience Pella® products for yourself.

To get started, search “Pella” in the app store appropriate to your device and download the Pella AR app. To view the experience, select “Live View AR” and tap on the product you’d like to load.





We Are Dedicated to Window & Door Details

Pella ProEdge Solutions is an extension of your team, helping projects go more quickly and smoothly while reducing callbacks. With dedicated product expertise; anytime, anywhere communication; and service after the sale, you can complete jobs faster, get paid sooner and take on more jobs for your business.



Your Local Go-To Window and Door Experts

The expertise of your local Pella representatives coupled with personalized on- and off-site support, helps cut time and hassle from every project. And with access to local Pella showrooms, your homeowners can work directly with a Pella sales rep to decide which products will work best for their home.

Anytime, Anywhere Communication

Pella ProEdge Solutions provides builders and contractors with anytime, anywhere communication. With Pella ProConnect, you can contact your rep, track orders and see which accessories are being held. And when you need a quote or have a question, our project management team will respond within 24 hours. To create a new account, simply open your favorite web browser on your preferred device and visit proconnect.pella.com or use the QR code. Mobile users can add a tile icon to their home screen for easy access.



Why You Can Trust Pella

At Pella, we don't just create windows and doors. We innovate with purpose, design with passion, build with integrity and deliver with pride.

Rated #1 for innovation by homeowners¹

Rated #1 for highest quality by homeowners¹

The best Limited Lifetime Warranty for wood windows and patio doors²

¹ Study of homeowner perceptions of leading national brands. Study commissioned by Pella, 2021.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranties for complete details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.

Wood & Clad-Wood Windows & Patio Doors

Get the beauty and warmth of natural wood, our most customizable designs and exceptional energy efficiency. Personalize windows and patio doors to match your project with special sizes, grilles, premium interior and exterior colors and hardware finishes.

Our innovative EnduraGuard® wood protection provides advanced protection against the effects of moisture – helping to provide long-lasting performance. Pella's wood products are backed by the best limited lifetime warranty in the industry for wood windows and patio doors.*

Pella® Reserve™

Traditional

Exquisite designs with unparalleled historical detailing.

Contemporary

Simple and sophisticated designs that embody the tenets of pure, contemporary style.

Pella Lifestyle Series

Designed to deliver exceptional performance and create unique room-by-room solutions with performance options and time-tested innovations.



The best limited lifetime warranty.

Pella wood products are covered by the best limited lifetime warranty for wood windows and patio doors.* See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

* Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.

Pella® Lifestyle Series
Dual-pane casement windows with between-the-glass grilles and a custom stained interior.

Pella® Reserve™

Authentic designs with uncompromised attention to detail.

Made for the distinction creators, the purists of design, the architectural historians – each window and door is meticulously designed to achieve your vision. We deliver tailor-made solutions and intentional innovations to achieve your unique vision without concessions. From simple yet sophisticated style to historical detailing, anything less simply won't do.



Pella Reserve – Traditional

Pella Reserve – Traditional windows and patio doors are exquisitely designed with unparalleled historical detailing. They feature through-stile construction, deliberate proportions and intricate profiles to achieve authentic traditional style.



Pella Reserve – Contemporary

Contemporary-designed Pella Reserve windows and patio doors offer simple and sophisticated styles with expansive glass, sleek, minimal profiles and through-stile construction, which embody the tenets of pure contemporary design.

Pella® Reserve™ Traditional

Wood & Aluminum-Clad Wood

Pella Reserve
Traditional

Unparalleled historical detailing

Featuring historic elements with uncompromised attention to detail, including Integral Light Technology® grilles and a historic putty profile.

Authentic hardware

With a historically authentic spoon-lock and our Antiek casement window hardware inspired by period furniture.

Winner of the 2019 Most Innovative Window

From *Window and Door Magazine*, the patented Integrated Rolscreen® appears when you need it and is hidden when you don't.



Historic elements

Putty profile. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. These products offer the industry's deepest sash dimension.

Through-stile construction. Essential to the tradition of window making, butt joinery and through-stile construction create authentic proportions and emulate historic window design.

Integral Light Technology. Pella's Integral Light Technology helps capture the look of true-divided-light without sacrificing energy performance.

Intentional innovations

Single- and double-hung Integrated Rolscreen. The Integrated Rolscreen is a screen on a single- and double-hung window that appears when you open the window, and rolls away, out of sight, when you close it.

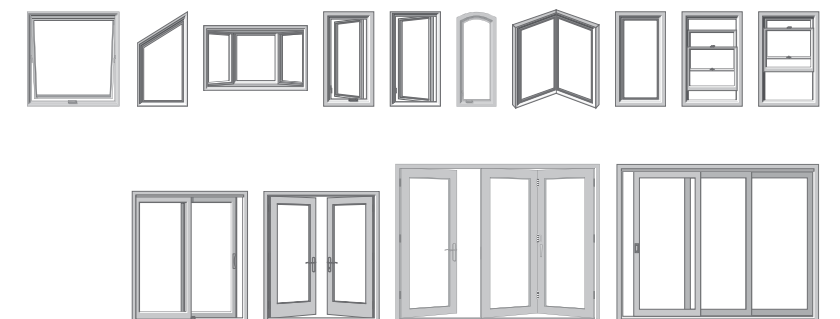
Innovative sash lugs. Add sash lugs to the exterior of our double-hung windows to create an authentic look, while maintaining modern tilting functionality for easy cleaning.

Integrated security sensors. Preserve the beauty of Pella Reserve windows and doors while protecting what matters most.

Exquisitely designed windows and doors with unparalleled historical detailing. Featuring through-stile construction, deliberate proportions and intricate profiles to achieve authentic traditional style. Durable interiors and extruded aluminum exteriors allow you to create the ideal look for your design. And with cutting-edge innovations that solve modern-day inconveniences without compromising the design, your clients can be proud to own Pella Reserve - Traditional windows and patio doors. We know your reputation matters, so we stand behind Pella Reserve products with the best limited lifetime warranty for wood windows and patio doors.*

Achieve your vision and impress your clients. From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions. And with large multi-slide and bifold patio doors, you can create a space that blurs the lines between indoors and out.

Available in these window and patio door styles:



Special shapes also available.

Compare Window & Patio Door Lines

Review our lines and discover your best fit.

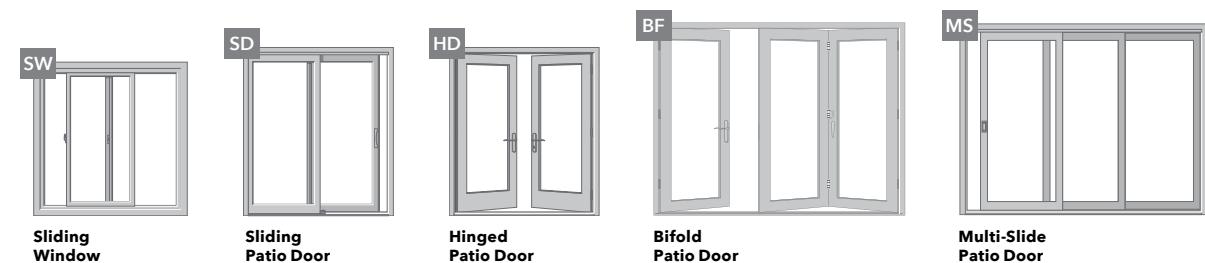
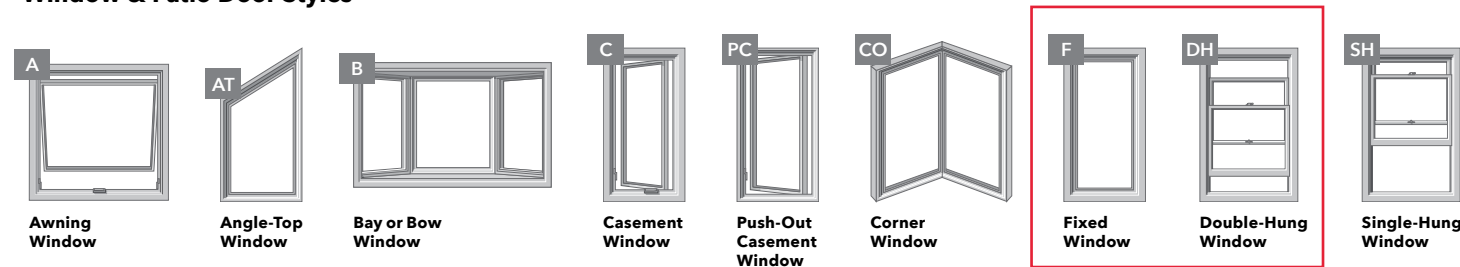
For more information on Pella's window and patio door offering, see your local Pella sales representative or visit pella.com/professionals.

Product Line	Pella® Reserve™	Contemporary	Pella Lifestyle Series
Material	Wood & Clad-Wood	Clad-Wood	Clad-Wood
Price	\$\$\$\$ - \$\$\$\$\$	\$\$\$\$ - \$\$\$\$\$	\$ - \$\$\$
Description	Exquisitely designed windows and doors with unparalleled historical detailing. Featuring through-stile construction, deliberate proportions and intricate profiles to achieve authentic traditional style.	Simple and sophisticated designs with expansive glass, sleek, minimal profiles and through-stile construction embody the tenets of pure contemporary style.	Purposeful innovations delivering room-by-room solutions like integrated blinds, shades and security sensors. Available performance packages offer an unbeatable combination of energy efficiency, sound control and value. ²
Available Styles	<p>Window Styles</p> <p>A AT B C CO DH</p> <p>F SH PC</p> <p>Patio Door Styles</p> <p>SD HD BF MS</p>	<p>Window Styles</p> <p>A AT C CO F PC</p> <p>Patio Door Styles</p> <p>SD HD BF MS</p>	<p>Window Styles</p> <p>A B C DH³ F</p> <p>Patio Door Styles</p> <p>SD HD</p>

Product Line	Pella Impervia®	Pella 250 Series	Encompass by Pella
Material	Fiberglass	Vinyl	Vinyl
Price	\$\$-\$\$\$	\$\$	\$ - \$\$
Description	Pella Impervia products are engineered to last. Our proprietary fiberglass material provides unmatched strength and lasting durability with sleek, timeless style. ⁴ Tested in extremes and designed for every day, these windows and patio doors deliver proven performance.	Pella 250 Series products offer innovative and enhanced security and privacy features for more peace of mind. Made with beautiful easy-care vinyl, these windows and patio doors provide Pella craftsmanship in a great-looking product.	Encompass by Pella is competitively priced, easy-care vinyl. Featuring low-maintenance, high-grade vinyl frames, these windows and patio doors will look great for years and are backed by a brand you can trust.
Available Styles	<p>Window Styles</p> <p>A AT B C DH F</p> <p>SH SW</p> <p>Patio Door Styles</p> <p>SD</p>	<p>Window Styles</p> <p>A AT B C DH F</p> <p>SH SW</p> <p>Patio Door Styles</p> <p>SD</p>	<p>Window Styles</p> <p>AT DH⁵ F SH SW</p> <p>Patio Door Styles</p> <p>SD</p>

¹ Additional special shapes also available.
² Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.
³ Double-hung window only available with dual-pane glass.
⁴ Pella's proprietary fiberglass material has displayed superior strength over wood, vinyl, aluminum, wood/plastic composites, and other fiberglass materials used by leading national brands in tensile and 3-point bend tests performed in accordance with ASTM D638 and D790 testing standards.
⁵ Double-hung window available in East Region only.

Window & Patio Door Styles¹










Colors & Finishes

Wood Types
C T

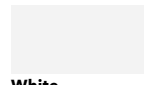
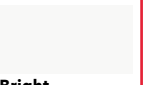
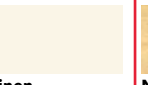


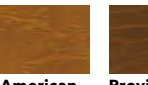

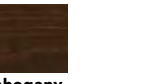



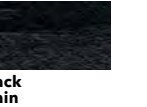
Choose the wood species that best complements your project's interior.

Custom solutions:

 Pine	 Douglas Fir	 Mahogany	 White Oak	 Red Oak	 Cherry	 Maple
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Prefinished Pine Interior Colors
C T

When you select pine, we can prefinish in your choice of a variety of paint and stain colors. Unfinished or primed and ready-to-paint are also available.

 White	 Bright White	 Linen White	 Natural Stain	 Golden Oak Stain	 Early American Stain	 Provincial Stain	 Dark Mahogany Stain
 Red Mahogany Stain	 Espresso Stain	 Charcoal Stain	 Black Stain				





Extruded Aluminum-Clad Exterior Colors
C T

Our low-maintenance EnduraClad® exterior finish resists chalking and fading. Take durability further with EnduraClad Plus protective finish, which meets the industry's highest exterior coating standard to defend against chalking and fading.¹ Custom colors are also available.

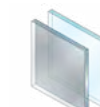
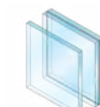
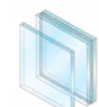
 Black	 White	 Brown	 Fossil				
 Iron Ore	 Portobello	 Putty	 Almond	 Classic White	 Brick Red	 Hartford Green	 Pearl Gray
 Soft Linen	 Satin Steel	 Matte Gray	 Wolf Gray	 Spice Red	 Sage	 Frost Blue	 Blue Ash

Glass

InsulShield® Low-E Glass²

 Advanced Low-E insulating dual-pane glass with argon or triple-pane glass with argon ² C T	 Advanced Comfort Low-E insulating dual-pane glass with argon C T	 Natural Sun Low-E insulating dual-pane glass with argon or triple-pane glass with argon ³ C T	 SunDefense™ Low-E insulating dual-pane glass with argon or triple-pane glass with argon ³ C T
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Additional Glass Options

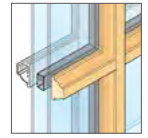
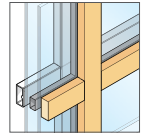

 Laminated (non-impact-resistant) ^{4,5} , tinted ^{2,4} or obscure ^{2,4} glass also available on select products C T	 STC (Sound Transmission Class)-improved dual-pane sound glass ^{3,6} C T	 Impact-resistant glass ^{3,4} T
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¹ The highest exterior coating standard for painted aluminum exteriors is the AAMA 2605 standard. EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.
² Optional high-altitude InsulShield Low-E glass is available with or without argon on select products.
³ Available on select products only. See your local Pella sales representative for availability.
⁴ Available with Low-E insulating glass with argon on select products.
⁵ For best performance, the laminated glass may be in the interior or exterior pane of the insulating glass, depending on the product.
⁶ Sound control glass consists of dissimilar glass thickness (3mm/5mm).








Grilles

Grille Types

Choose the look of true divided light with Integral Light Technology® or make cleaning easier by selecting grilles-between-the-glass.

 Ogee Integral Light Technology® 7/8", 1-1/4" or 2" T	 Square Integral Light Technology® 5/8", 7/8", 1-1/4" or 2" C	 Aluminum Grilles-Between-the-Glass 3/4" C T
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Grilles-Between-the-Glass Interior Colors:²

 Black	 White	 Brown	 Fossil	 Ivory	 Harvest	 Cordovan
--	--	--	---	--	--	---

Grille Patterns

In addition to the patterns shown here, custom grille patterns are available.

 12-Lite Prairie T	 14-Lite Prairie T	 Victorian T	 New England T	 Traditional C T	 9-Lite Prairie C T	 Top Row C T	 Cross C T	 Custom C T
 Diamond T	 Simulated French T							

Screens³

Rolscreen® & Integrated Rolscreen
C T

Rolscreen soft-closing retractable screens roll out of sight when not in use on Pella Reserve - Traditional casement windows and sliding patio doors and on Pella Reserve - Contemporary sliding patio doors. The Integrated Rolscreen is a fully concealed Rolscreen that moves seamlessly with the sash – appearing when you open a Pella Reserve - Traditional single- or double-hung window and rolling completely away when you close it.

Flat
C T

InView™ screens let in 14% more light and are 8% more open for improved airflow.⁴

Added Peace of Mind

Integrated Security Sensors
C T

Optional integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁵ For more information, go to connectpella.com.

¹ Color-matched to your product's interior and exterior color.
² Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.
³ Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.
⁴ Improved airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.
⁵ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection

Window Hardware

Classic
Collection

T

Get a timeless look with authentic styles in classic finishes.



Fold-Away Crank
Antiek

Spoon-Style Lock

Finishes:



Modern
Collection

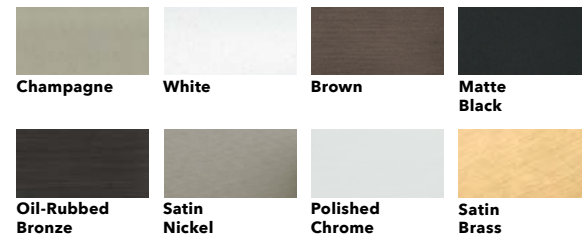
C

Achieve the ultimate contemporary look with exclusive hardware designed by Pella.



Fold-Away Crank
Saldo

Finishes:



Rustic
Collection

T

Create a distinct and charming look with distressed finishes.



Fold-Away Crank
Antiek

Spoon-Style Lock

Finishes:



Essential
Collection

T

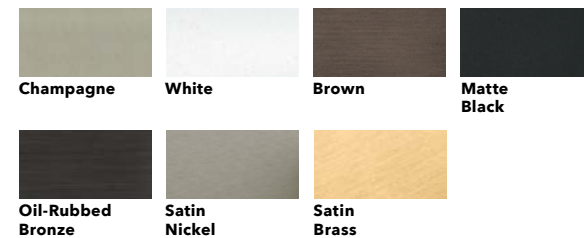
Select from popular designs and finishes to suit every style.



Fold-Away Crank

Cam-Action Lock

Finishes:



C Pella® Reserve™ - Contemporary
T Pella Reserve - Traditional

Patio Door Hardware

Classic
Collection

C T

BALDWIN

Choose timeless pieces for a look that will never go out of style.



**Hinged & Bifold
Patio Door Handles**
Virago

**Sliding &
Multi-Slide
Patio Door
Handle**
Ambrose

**Multi-Slide
Patio Door
Handle^{1,2}**

Finishes:



Modern
Collection

C T

BALDWIN

Achieve the ultimate contemporary look with sleek finishes.

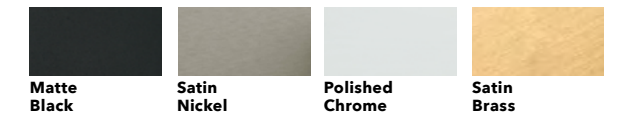


**Hinged & Bifold
Patio Door Handle**
Spire

**Sliding &
Multi-Slide
Patio Door
Handle**
Plazo

**Multi-Slide
Patio Door
Handle^{1,2}**

Finishes:



Rustic
Collection

C T

BALDWIN

Stand out with bold looks and create an utterly unique aesthetic.



**Hinged & Bifold
Patio Door Handles**
Rustiek

**Sliding &
Multi-Slide
Patio Door
Handle**
Notus

Finishes:



Essential
Collection

C T

Elevate your style and transform a home with elegant selections.

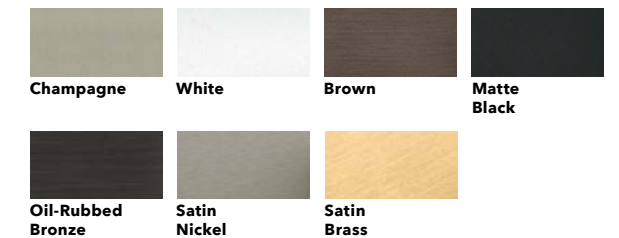


**Hinged & Bifold
Patio Door Handles**
Standard

**Sliding Patio
Door Handle**
Standard

**Multi-Slide
Patio Door
Handle^{1,2}**

Finishes:



¹ Flush multi-slide handle is a Pella exclusive design.
² Flush multi-slide handle is not available in Champagne.

Give your business the advantage with Pella ProEdge Solutions



We're here to help your projects go smoother. This service operates as an extension of your team to help projects run more smoothly while reducing callbacks. With Pella ProEdge Solutions, you can expect:

Your Local Go-To Window and Door Experts

Anytime, Anywhere Communication

Service After the Sale

Pella ProEdge Solutions is here to get your jobs completed faster, get you paid quicker and ultimately get more jobs sooner.

Learn more about Pella ProEdge Solutions at pella.com/proedge.



Pella products are backed by some of the best warranties in the business.

You can be confident in your investment. Pella windows and patio doors are backed by a strong national brand and some of the strongest warranties.

NOTE: Product specifications may change without notice.
Actual colors may vary from those shown and products may vary slightly from illustrations and photos.



METAL SHINGLE ROOFING

Our original 1908 line of W. F. Norman Victorian Roof Shingles are still available with a variety of hip and ridge finishes. Norman shingles are produced in galvanized steel or solid copper.

PLEASE NOTE: Galvanized steel from the factory can vary in color and shine from one piece to another. If left unpainted they may discolor unevenly after installation. If color variation is not acceptable, we recommend the galvanized be painted.

These two classic styles A and C are offered, along with ornamental ridge tiles, finials, hip shingles, cresting and folded valley needed for installation. Click below for more images and visit the { Pricing } page to see the roofing price list.



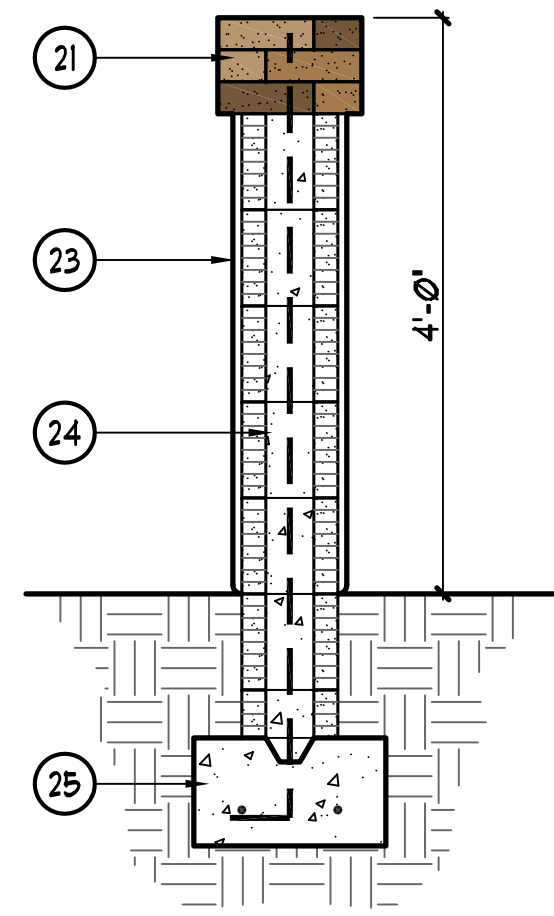
Style C Shingle - Size 8 1/4" x 12" - 145 shingles per square



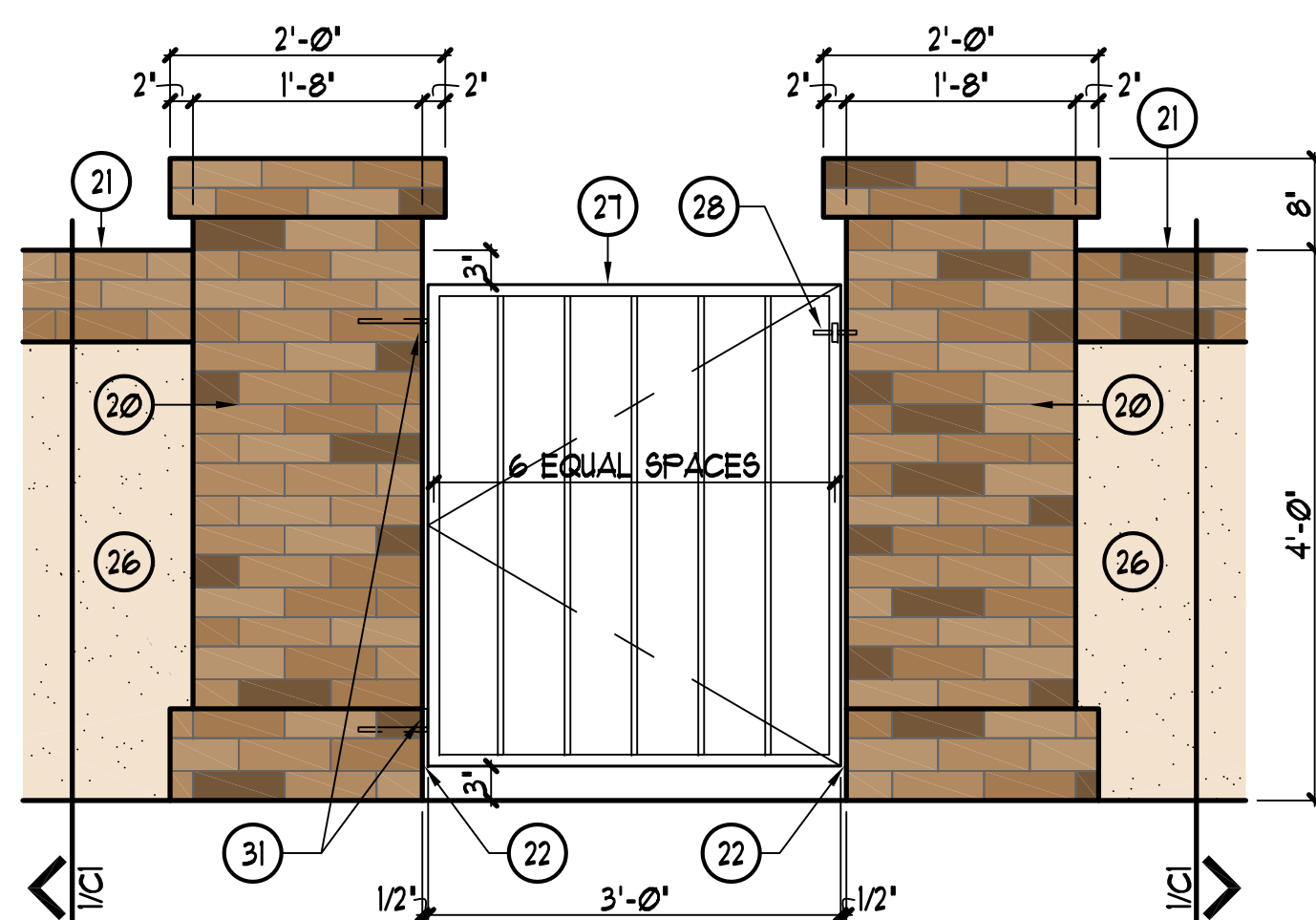
Style A Shingle - Size 8 1/4" x 12" - 145 shingles per square

Keyed Notes C1:

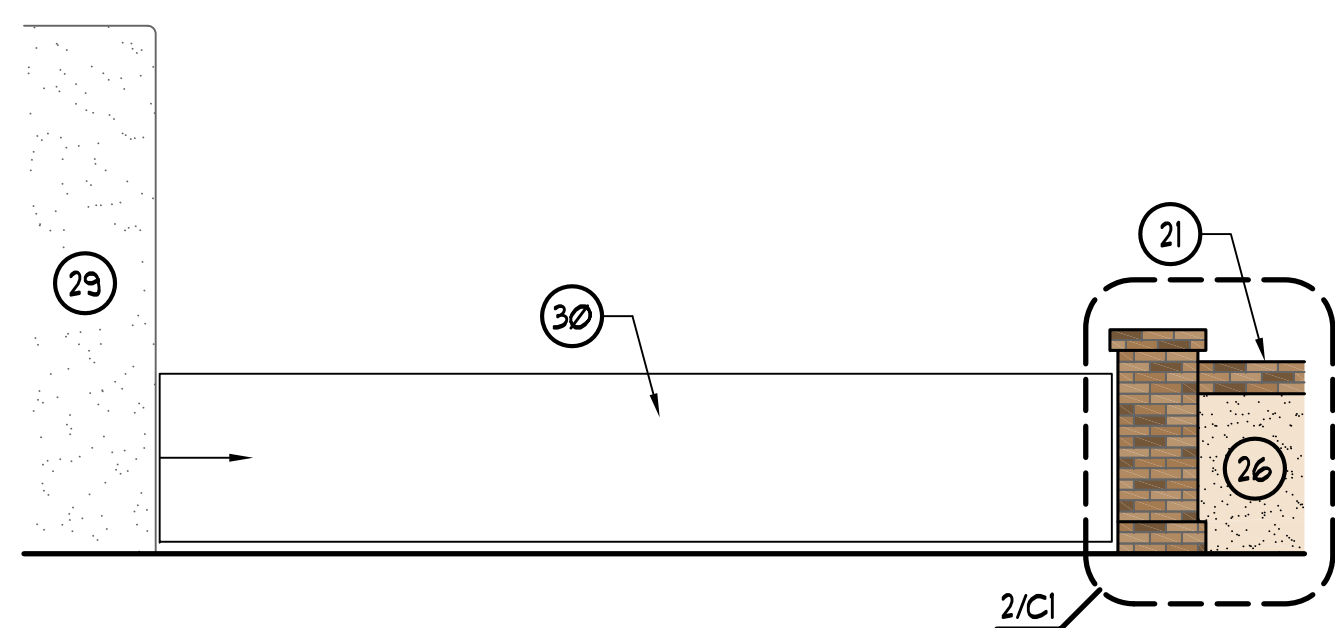
1. CLEAR SIGHT TRIANGLE.
2. SIGNAGE.
3. CMU WALL, SEE 1/C1.
4. NEW STAIR.
5. NEW CONCRETE SLAB.
6. PRECAST CONCRETE PARKING BUMPER, TYPICAL.
7. NEW GATE, SEE 2/C1.
8. NEW WOOD DECK.
9. NEW HANDICAP LIFT, SEE SHEET A2.
10. REMOVE WIRE FENCE.
11. NEW 20' WIDE MOTORIZED GATE, SEE 3/C1.
12. EXISTING TREE TO REMAIN.
13. REMOVE EXISTING RAMP AND RAILING.
14. REMOVE WOOD FENCE.
15. REMOVE EXISTING DRIVEWAY.
16. INSTALL NEW CURB / GUTTER.
17. REMOVE EXISTING CANOPY.
18. REMOVE EXISTING SLAB / FLAGSTONE UNDER CANOPY.
19. EXISTING CHAINLINK FENCE TO REMAIN.
20. 20' X 20' BRICK PILLASTERS.
21. 3 COURSE STANDARD BRICK CAP.
22. 24" BASE, (CUT BACK AT GATE ONLY).
23. EL REY STUCCO NO. 111 FAUN.
24. 8" CMU WALL.
25. CONCRETE FOOTING.
26. STUCCO WALL.
27. 1/2" WROUGHT IRON, PAINT TO MATCH STUCCO.
28. GATE LATCH.
29. EXISTING BUILDING.
30. GATE BY GATE MANUFACTURER, PAINT TO MATCH STUCCO.
31. ROD HINGE.



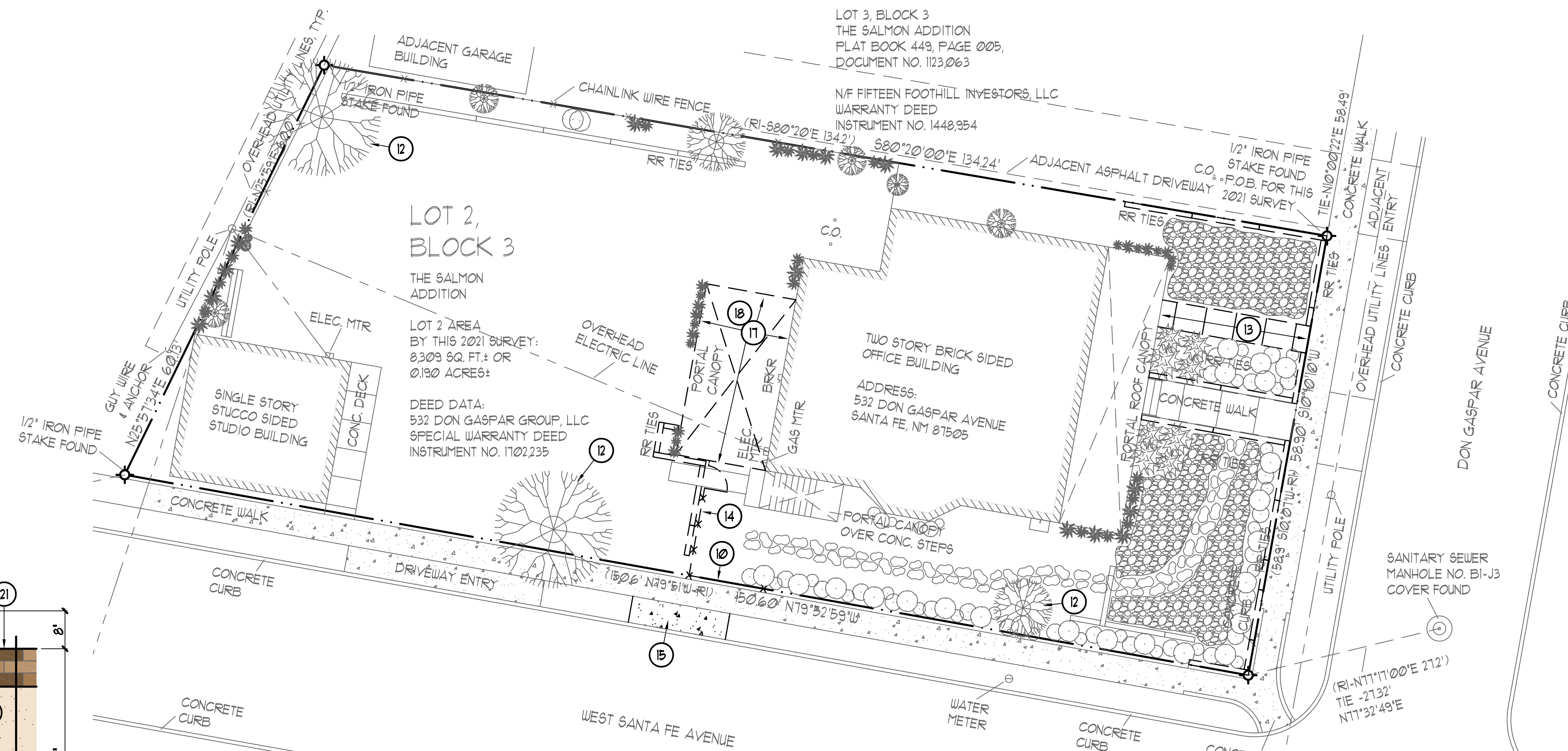
Yard Wall Section 1
3/4" = 1'-0" C1



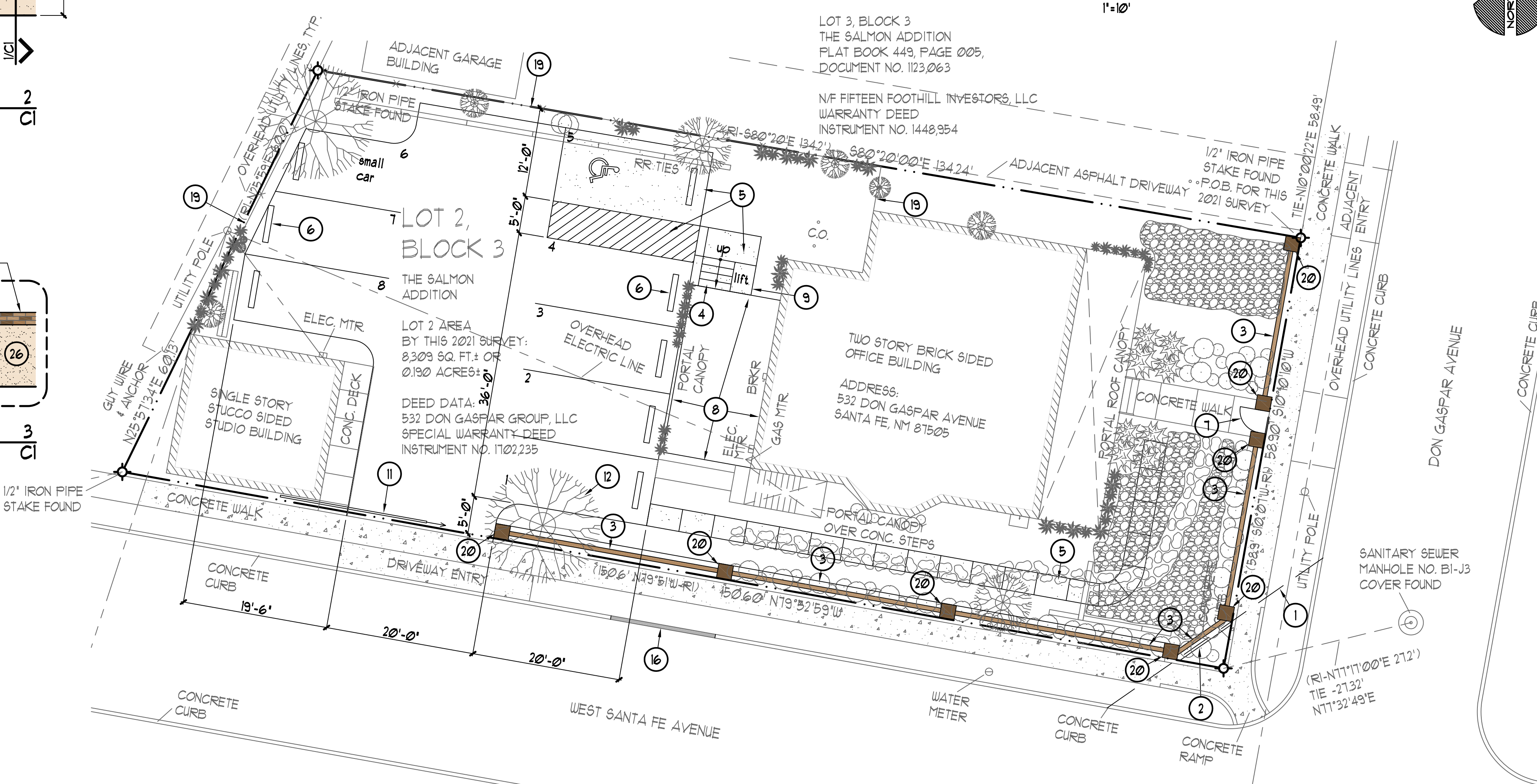
Gate 2
3/4" = 1'-0" C1



Motorized Gate 3
1/4" = 1'-0" C1



Site Plan - Demolition
1" = 10'



Site Plan - New
1" = 10'

95% Construction Documents

Andras Szanthy Law Office
532 Don Gaspar Avenue
Santa Fe, New Mexico 87505

Project Title

Drawn JA/EB Checked KEG
By By

Proj. No. 202118 Date 8/2/22

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Revisions Architect Engineer

VICINITY MAP
SITE PLAN - DEMOLITION
SITE PLAN - NEW
YARD WALL SECTION
GATE DETAILS

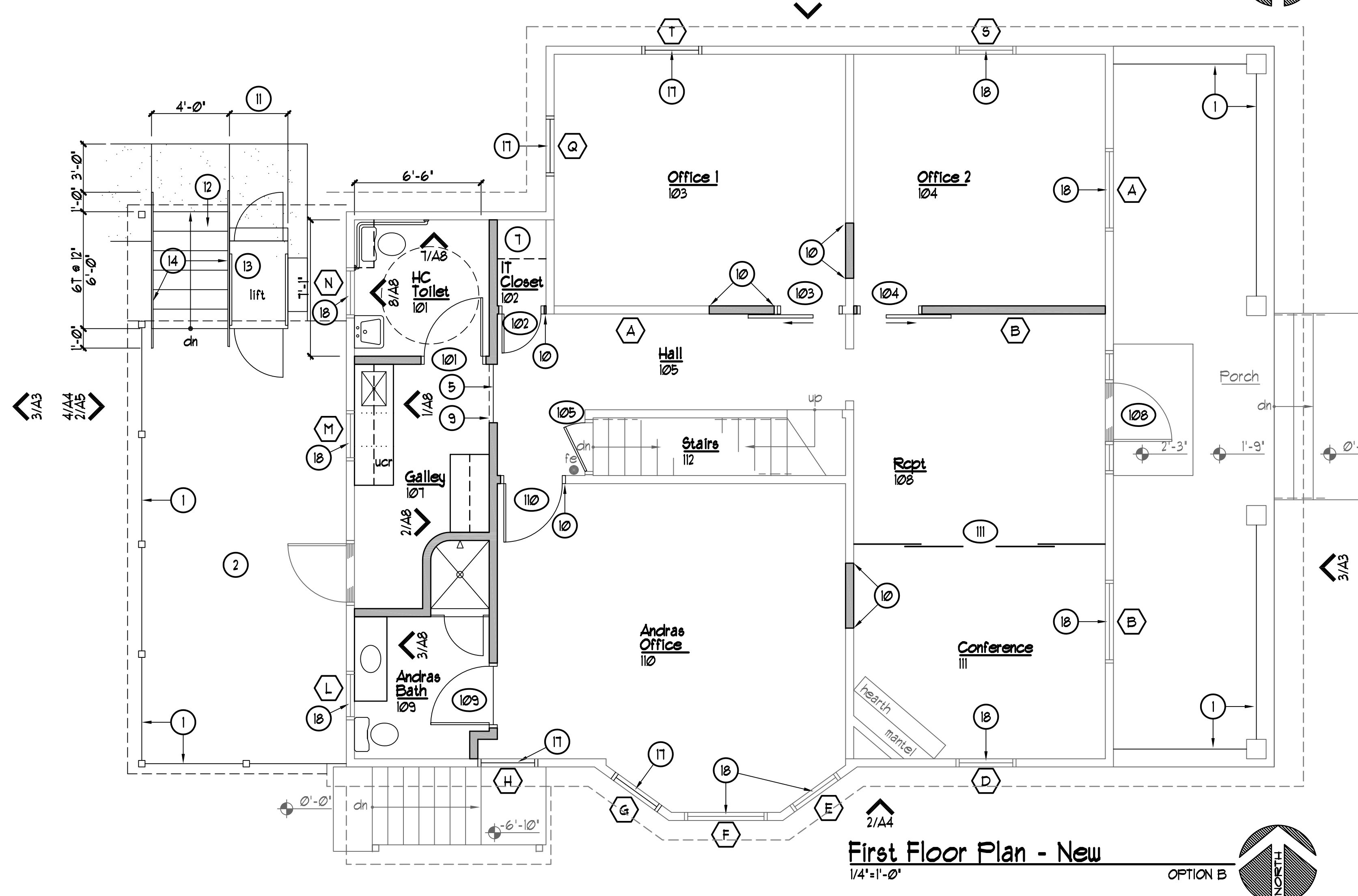
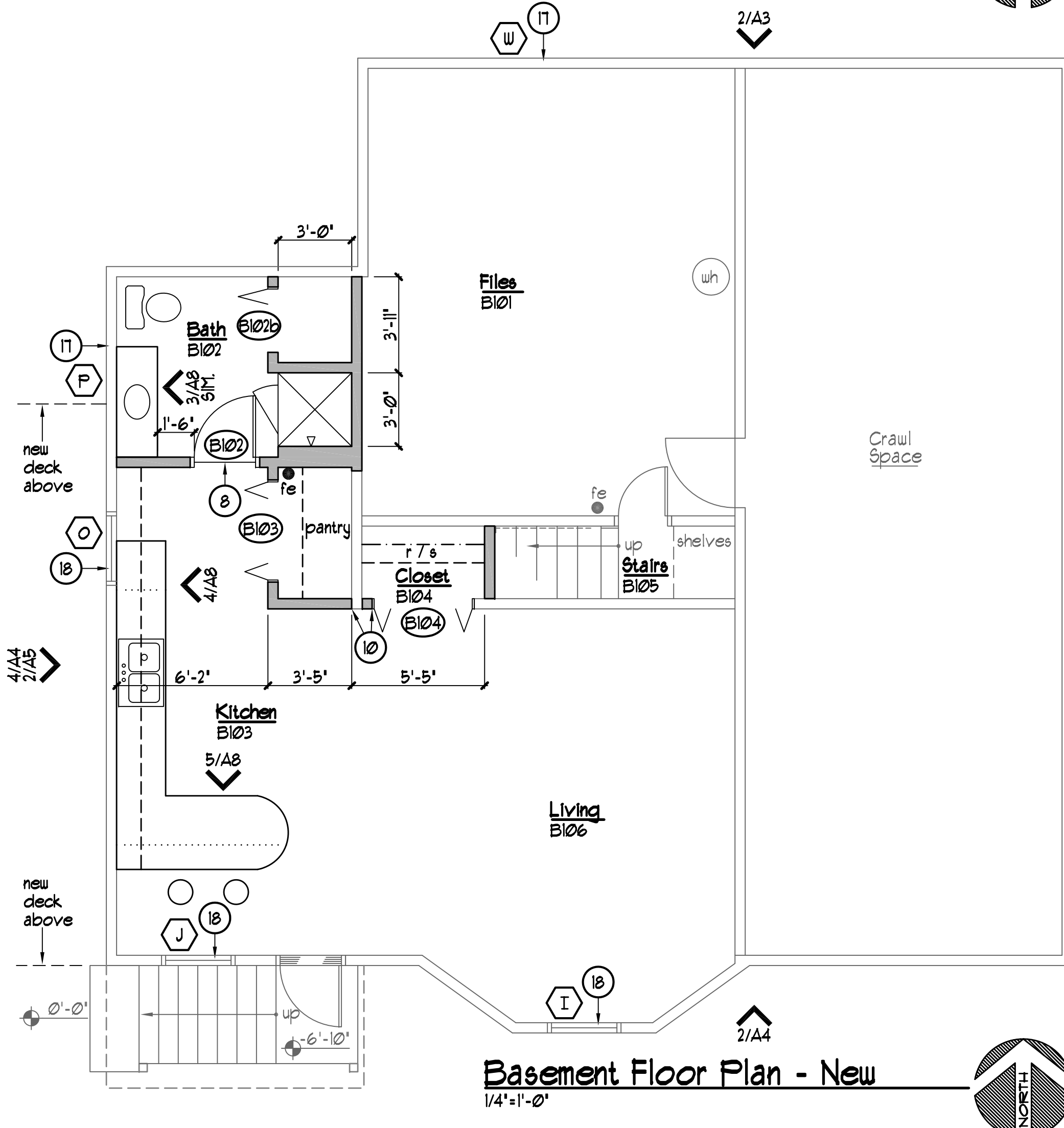
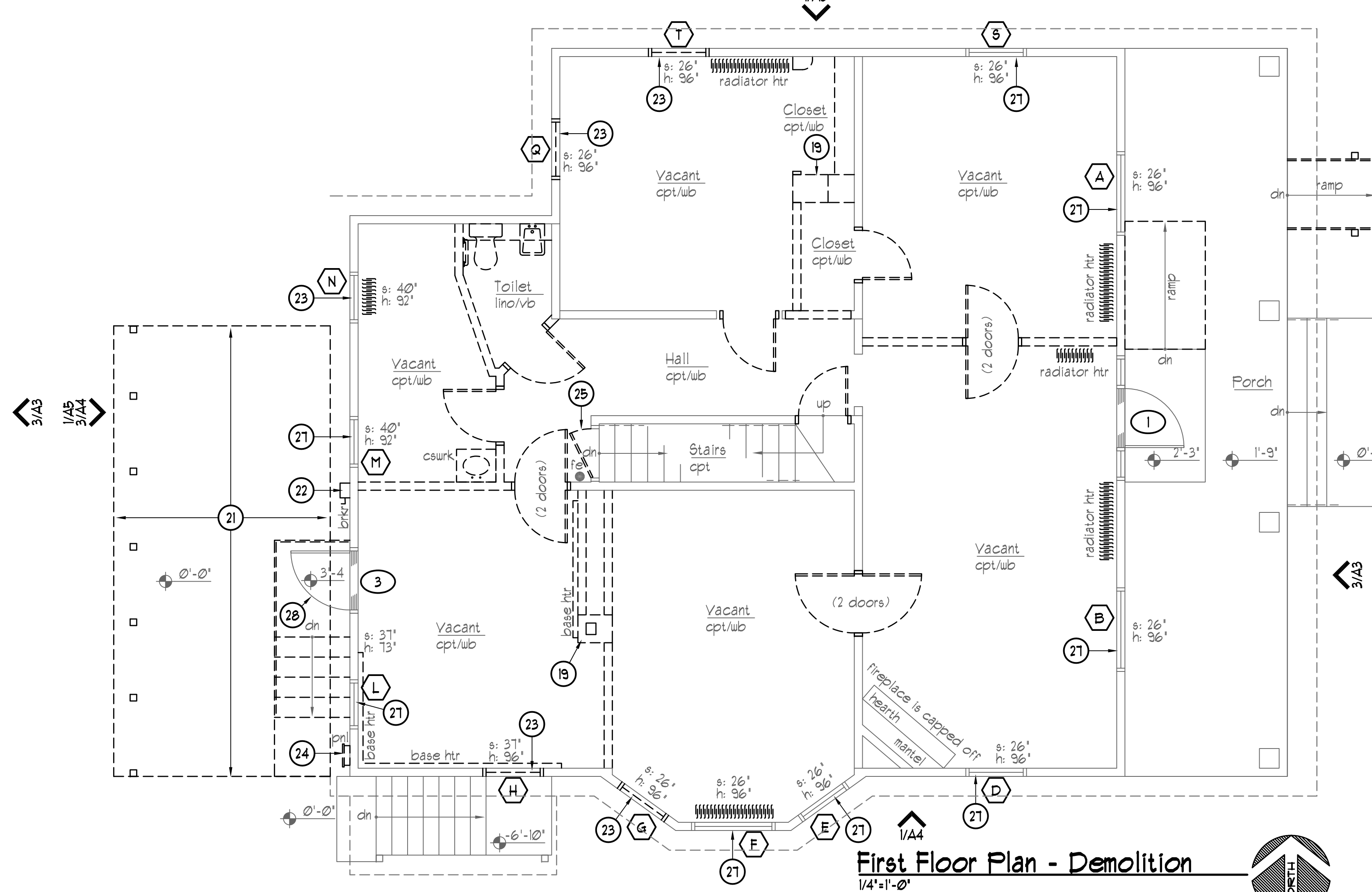
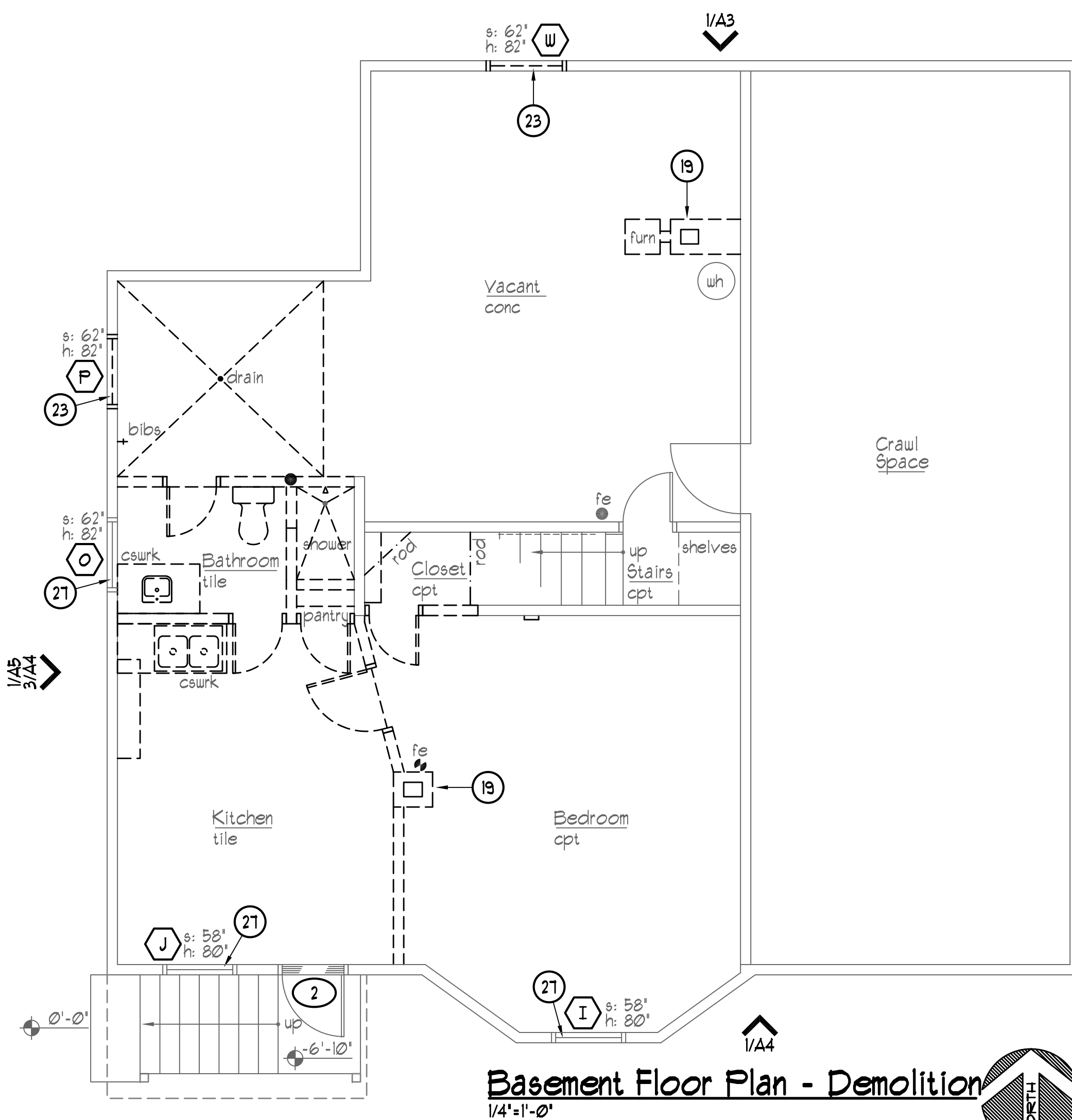
Sheet Title Sheet - of -

C1

Sheet - of -

Keyed Notes A1:

1. NEW GUARDRAIL, SEE 13/A8 AND 14/A8.
2. NEW DECK, SEE STRUCTURAL.
3. INSTALL NEW BERRIDGE PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 1 LAYER OF ASPHALT ROOFING FELT.
4. INSTALL NEW BERRIDGE PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 2 LAYERS OF ASPHALT ROOFING FELT.
5. DENOTES DROPPED CEILING.
6. PATCH ROOF OPENING WITH NEW WOOD DECKING, MATCH EXISTING.
7. ADJUSTABLE SHELVES.
8. TRANSITION STRIP, SEE 1/A8.
9. TRANSITION STRIP, SEE 8/A8.
10. ALIGN FINISHES BOTH SIDES WHERE APPLICABLE.
11. VERIFY DIMENSIONS WITH LIFT MANUFACTURER.
12. WOOD STAIR, SEE STRUCTURAL. 6 TREADS AT 12" = 6'-0", 7 RISERS AT 6.51" EA. = 3'-10".
13. HANDICAP LIFT - TRUSS T LIFT OR EQUAL. SHOP DRAWINGS BY SUPPLIER / MANUFACTURER.
14. GUARDRAIL AND RAILING, SEE 14/A8.
15. INSTALL OFCI SHADES IN CLOSED POSITION, COVER WITH PAINTED GYPSUM BOARD.
16. EXISTING CHIMNEY TO REMAIN.
17. NEW FELLA RESERVE TRADITIONAL WINDOW. WOOD FINISH BOTH INTERIOR AND EXTERIOR. INSULATED GLAZING. PAINT SHERWIN WILLIAMS SUPERIOR CREAM & SUGAR.
18. EXISTING WINDOW TO REMAIN, REPLACE / REPAIR ALL DETERIORATED MATERIAL AND RETURN TO LIKE NEW.
19. REMOVE EXISTING BRICK CHIMNEY COMPLETE.
20. REMOVE EXISTING PRESSED METAL ROOFING AND UNDERLAYMENT. REPLACE ALL DAMAGED SHEATHING WITH NEW.
21. REMOVE EXISTING PORTAL.
22. REMOVE EXISTING BREAKER.
23. REMOVE EXISTING WINDOW, TYPICAL.
24. REMOVE EXISTING PANEL.
25. REMOVE EXISTING DOOR, FRAME TO REMAIN.
26. DEMOLISH BRICK, HEARTH AND MANTEL AT FIREPLACE AND PREP FOR CERAMIC TILE TO CEILING.
27. EXISTING WINDOW TO REMAIN. REPLACE ALL DAMAGED MATERIALS, MAKE NEW.
28. EXISTING DOOR TO REMAIN.
29. EXISTING BRICK CHIMNEY TO REMAIN.



Wall Legend

- EXISTING PARTITION TO REMAIN
- ==== EXISTING PARTITION TO BE DEMOLISHED

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Project Title
Drawn JA/EB Checked KEG
By
Proj. No. 202118 Date 8/2/22
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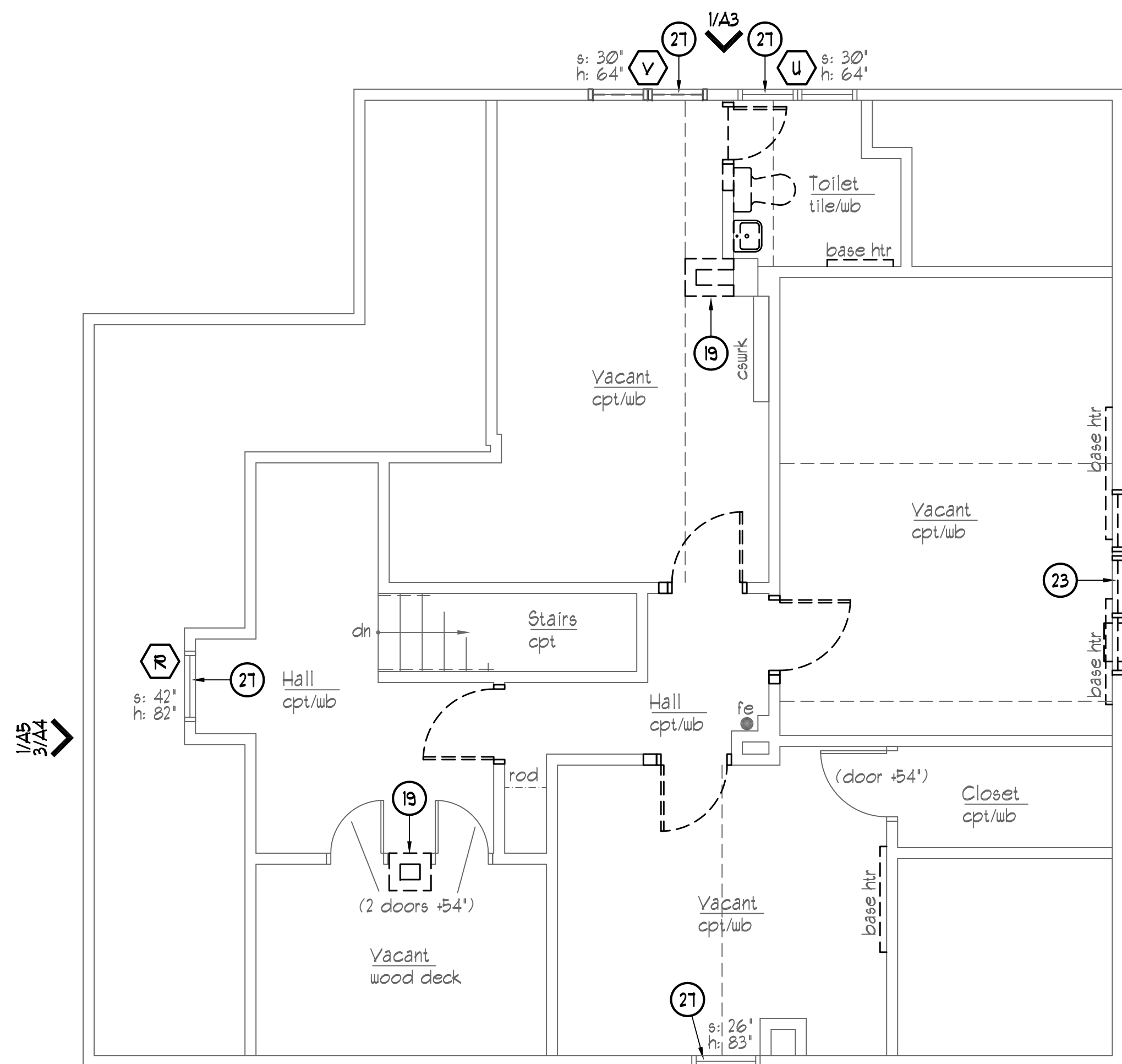
BASEMENT FLOOR PLAN - DEMOLITION,
BASEMENT FLOOR PLAN - NEW,
FIRST FLOOR PLAN - DEMOLITION,
FIRST FLOOR PLAN - NEW

A1

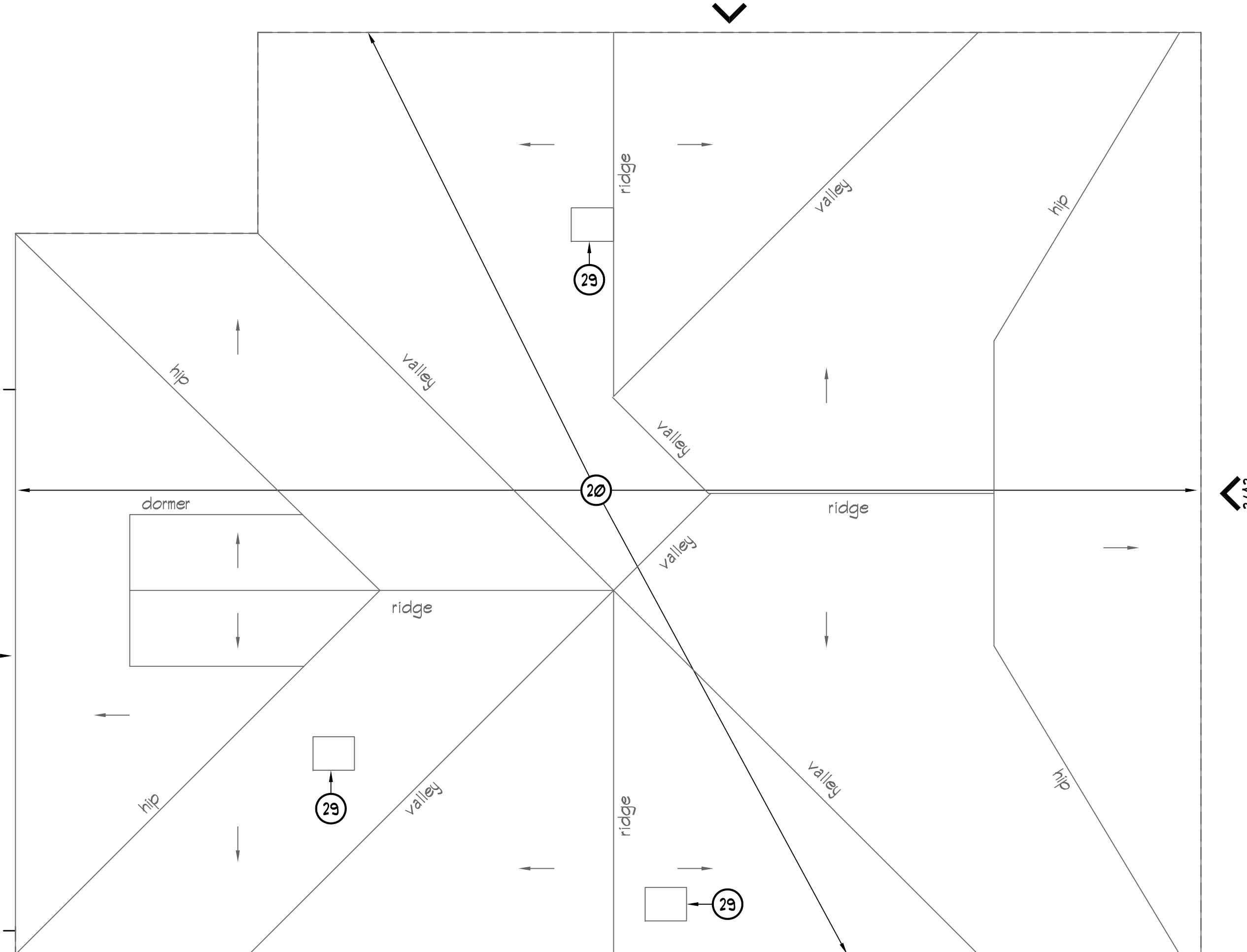
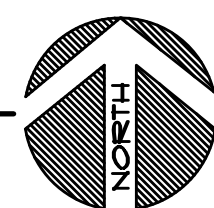
Sheet Title Sheet - of -

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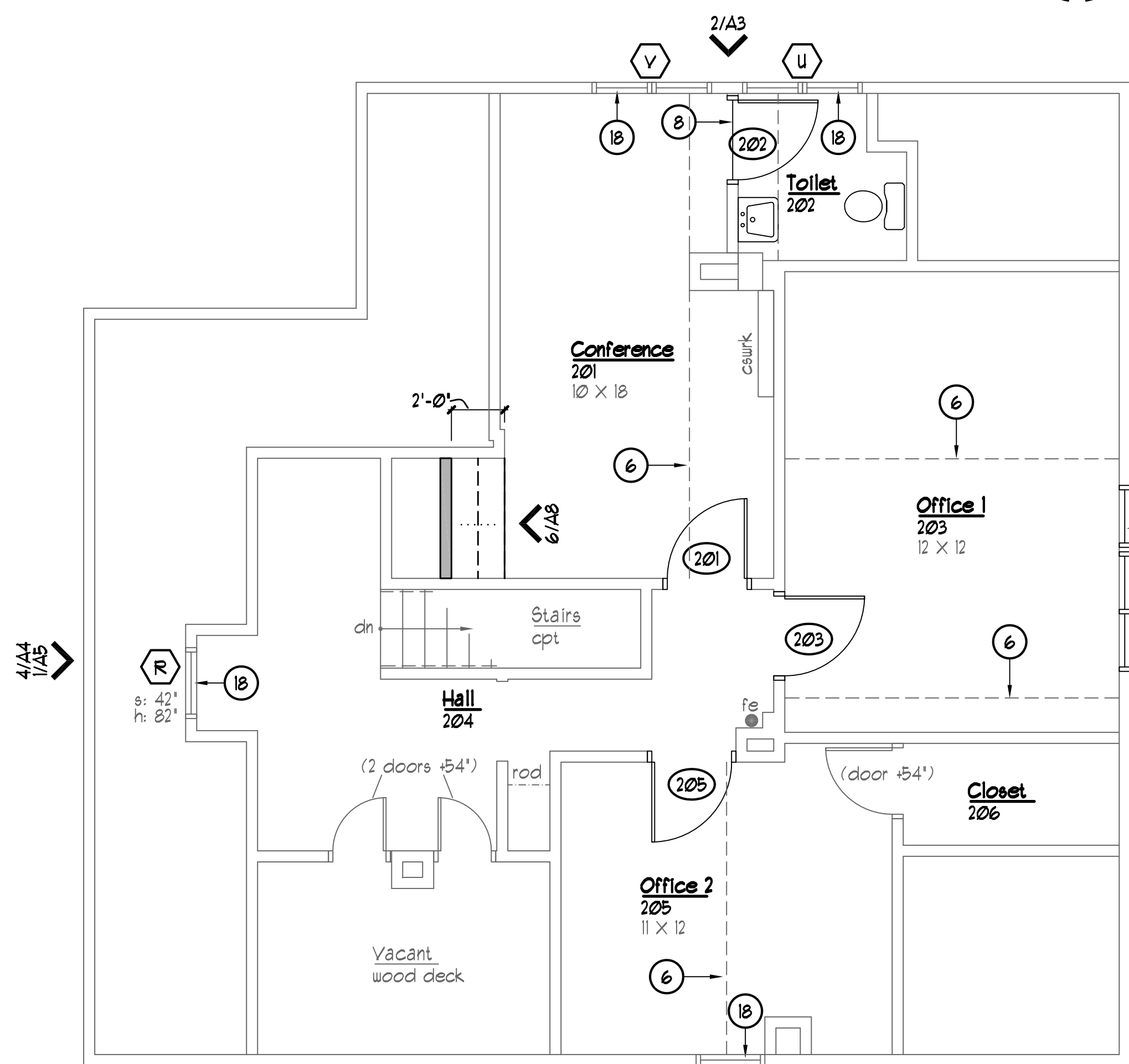
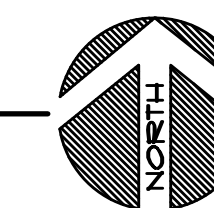
1. NEW GUARDRAIL, SEE 13/A8 AND 14/A8.
2. NEW DECK, SEE STRUCTURAL.
3. INSTALL NEW BERRIDGE PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 1 LAYER OF ASPHALT ROOFING FELT.
4. INSTALL NEW BERRIDGE PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 2 LAYERS OF ASPHALT ROOFING FELT.
5. DENOTES DROPPED CEILING.
6. PATCH ROOF OPENING WITH NEW WOOD DECKING, MATCH EXISTING.
7. ADJUSTABLE SHELVES.
8. TRANSITION STRIP, SEE 1/A8.
9. TRANSITION STRIP, SEE 8/A8.
10. ALIGN FINISHES BOTH SIDES WHERE APPLICABLE.
11. VERIFY DIMENSIONS WITH LIFT MANUFACTURER.
12. WOOD STAIR, SEE STRUCTURAL. 6TREADS AT 12" = 6'-0", 7 RISERS AT 6.51" EA. = 3'-10".
13. HANDICAP LIFT - TRUSS T LIFT OR EQUAL. SHOP DRAWINGS BY SUPPLIER / MANUFACTURER.
14. GUARDRAIL AND RAILING, SEE 14/A8.
15. INSTALL OFCI SHADES IN CLOSED POSITION, COVER WITH PAINTED GYPSUM BOARD.
16. EXISTING CHIMNEY TO REMAIN.
17. NEW PELLA RESERVE TRADITIONAL WINDOW. WOOD FINISH BOTH INTERIOR AND EXTERIOR. INSULATED GLAZING. PAINT SHERWIN WILLIAMS SUPERIOR CREAM & SUGAR.
18. EXISTING WINDOW TO REMAIN, REPLACE / REPAIR ALL DETERIORATED MATERIAL AND RETURN TO LIKE NEW.
19. REMOVE EXISTING BRICK CHIMNEY COMPLETE.
20. REMOVE EXISTING PRESSED METAL ROOFING AND UNDERLAYMENT. REPLACE ALL DAMAGED SHEATHING WITH NEW.
21. REMOVE EXISTING PORTAL.
22. REMOVE EXISTING BREAKER.
23. REMOVE EXISTING WINDOW, TYPICAL.
24. REMOVE EXISTING PANEL.
25. REMOVE EXISTING DOOR, FRAME TO REMAIN.
26. DEMOLISH BRICK, HEARTH AND MANTEL AT FIREPLACE AND PREP FOR CERAMIC TILE TO CEILING.
27. EXISTING WINDOW TO REMAIN, REPLACE ALL DAMAGED MATERIALS, MAKE NEW.
28. EXISTING DOOR TO REMAIN.
29. EXISTING BRICK CHIMNEY TO REMAIN.



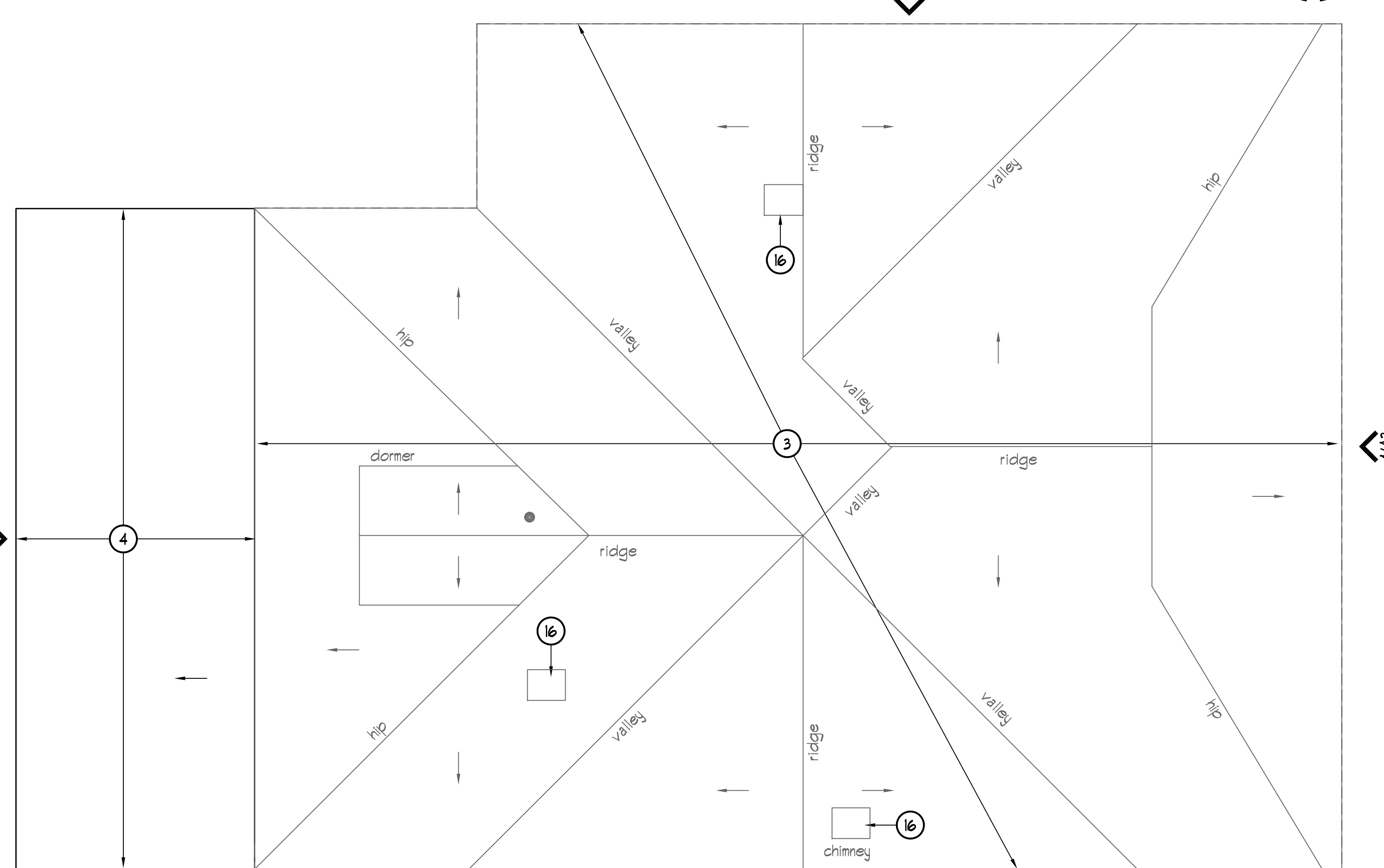
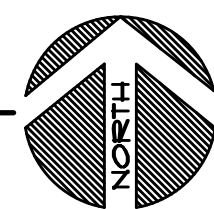
Second Floor Plan - Demolition
 1/4"=1'-0"



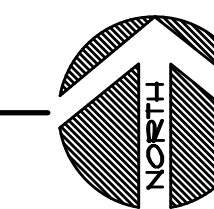
Roof Plan - Demolition
 1/4"=1'-0"



Second Floor Plan - New
 1/4"=1'-0"



Roof Plan - New
 1/4"=1'-0"



Wall Legend

- EXISTING PARTITION TO REMAIN
- ==== EXISTING PARTITION TO BE DEMOLISHED

95% Construction Documents

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 532 Don Gaspar Avenue
 Santa Fe, New Mexico 87505

Project Title	
Drawn JA/EB	Checked KEG
By	By
Proj. No. 202118	Date 8/2/22
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Revisions	Architect	Engineer
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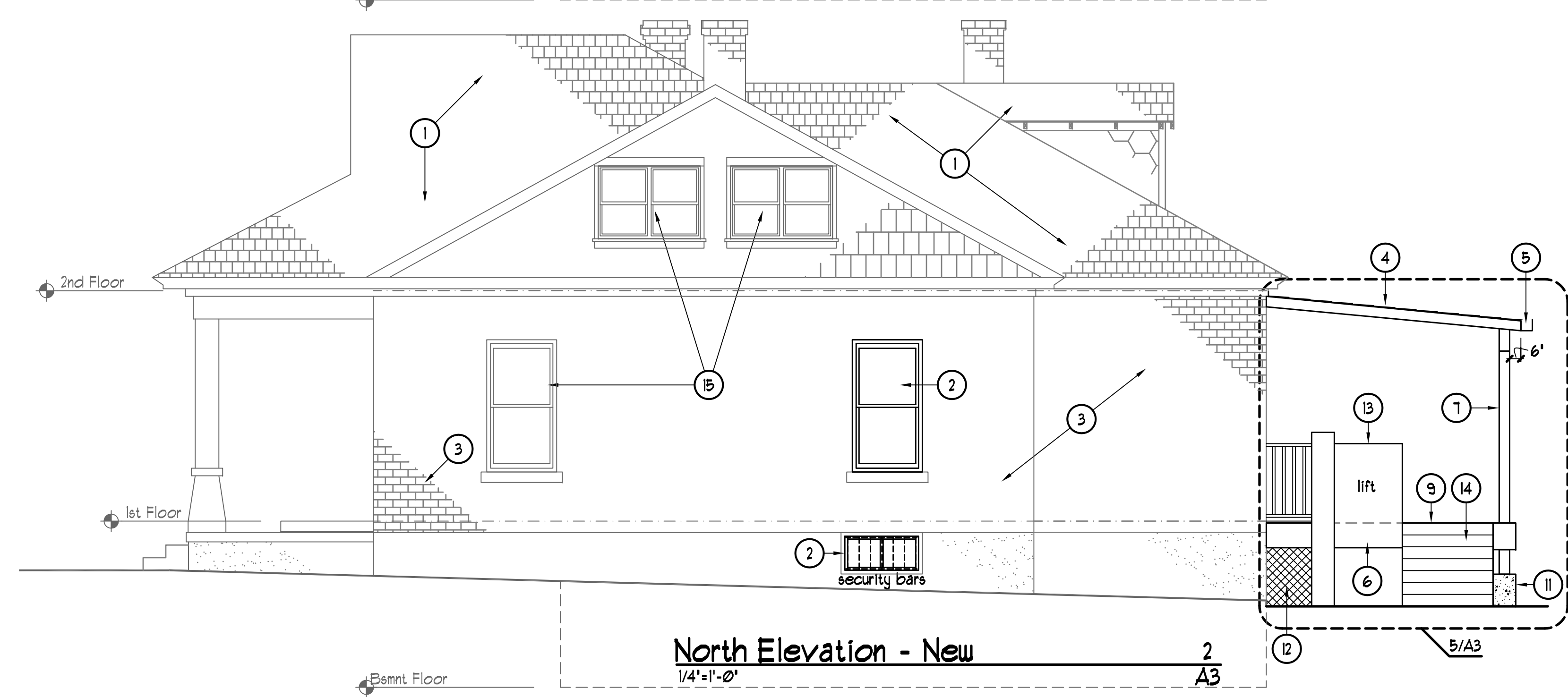
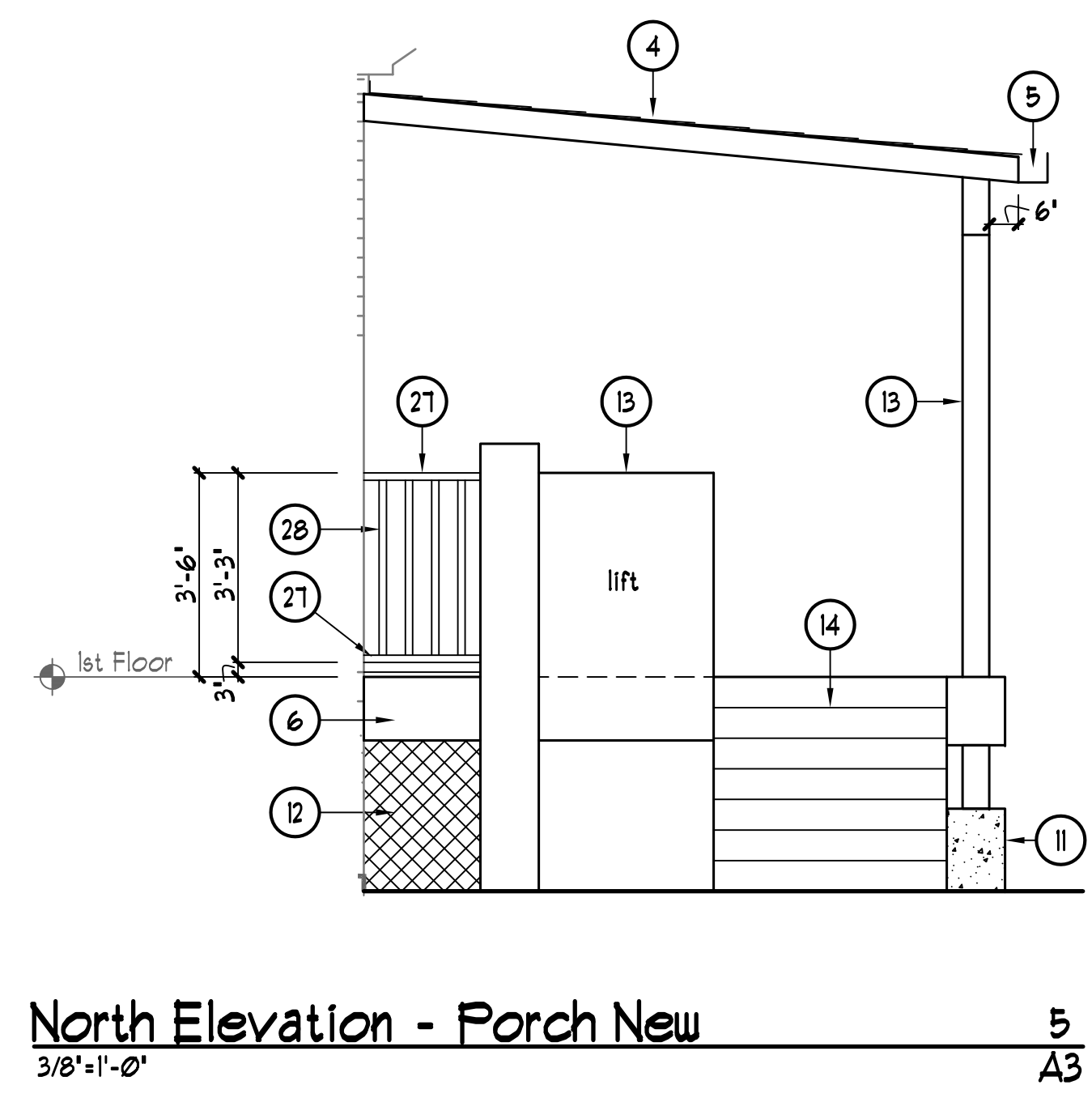
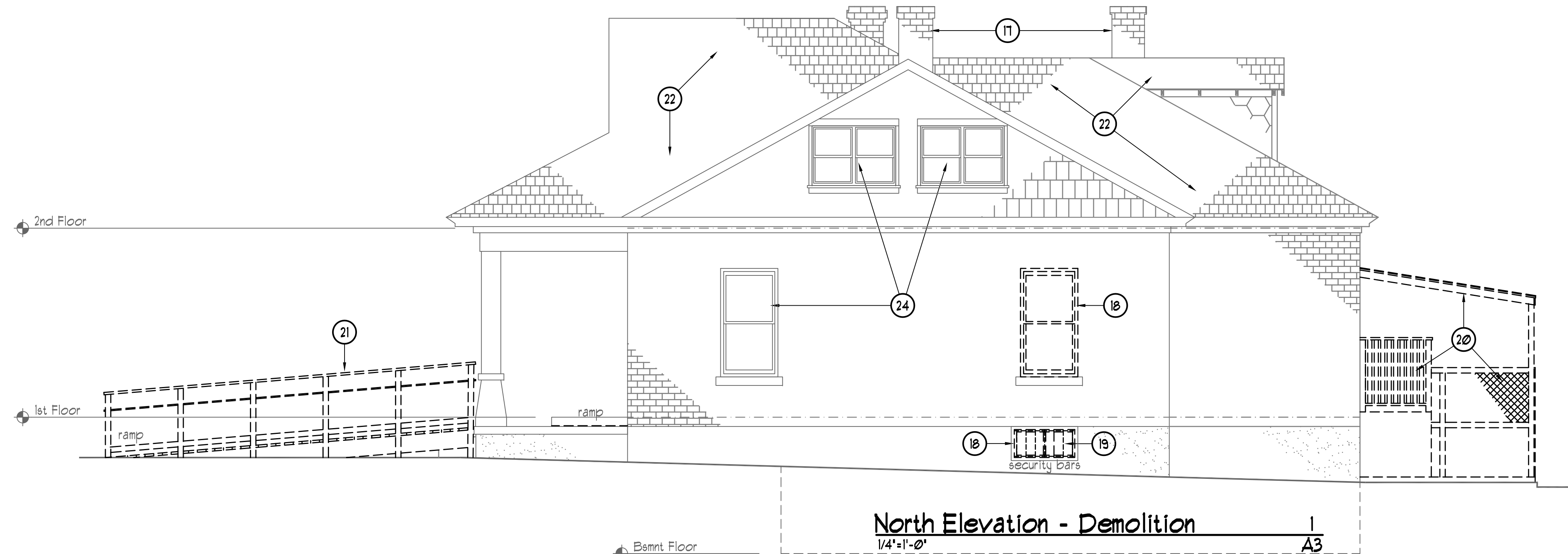
SECOND FLOOR PLAN - DEMOLITION,
 SECOND FLOOR PLAN - NEW,
 ROOF PLAN - DEMOLITION,
 ROOF PLAN - NEW.

A2

Sheet Title Sheet - of -

Keyed Notes A3:

1. NEW METAL ROOFING, MATCH EXISTING, TYPICAL.
2. NEW WINDOWS. TYPICAL. SEE SHEET A2.
3. CLEAN EXISTING BRICK, TYPICAL.
4. NEW ROOFING OVER SHEATHING.
5. GUTTER.
6. BEAM, SEE STRUCTURAL.
7. 4X6 WOOD COLUMN OR POST.
8. DENOTES GUARDRAIL.
9. DECKING.
10. HEADER JOIST.
11. CONCRETE PEDESTAL.
12. LATTICE AROUND PERIMETER OF DECK.
13. HANDICAP LIFT.
14. STAIR.
15. EXISTING WINDOW TO REMAIN.
16. EXISTING DOOR TO REMAIN.
17. EXISTING CHIMNEY TO REMAIN, SEE STRUCTURAL.
18. REMOVE EXISTING WINDOWS, TYPICAL.
19. REMOVE SECURITY BARS, SALVAGE FOR REUSE.
20. REMOVE EXISTING PORTAL AND STAIR COMPLETE.
21. REMOVE EXISTING RAMP.
22. REMOVE EXISTING METAL ROOFING.
23. REMOVE EXISTING ROOFING.
24. EXISTING WINDOW TO REMAIN.
25. EXISTING DOOR TO REMAIN.
26. REMOVE EXISTING AIR CONDITIONER, INSTALL NEW GLAZING.
27. 2X4 TOP AND BOTTOM RAIL.
28. 2X2 WOOD PICKETS SPACED TO REPEL A 4' DIAMETER SPHERE.



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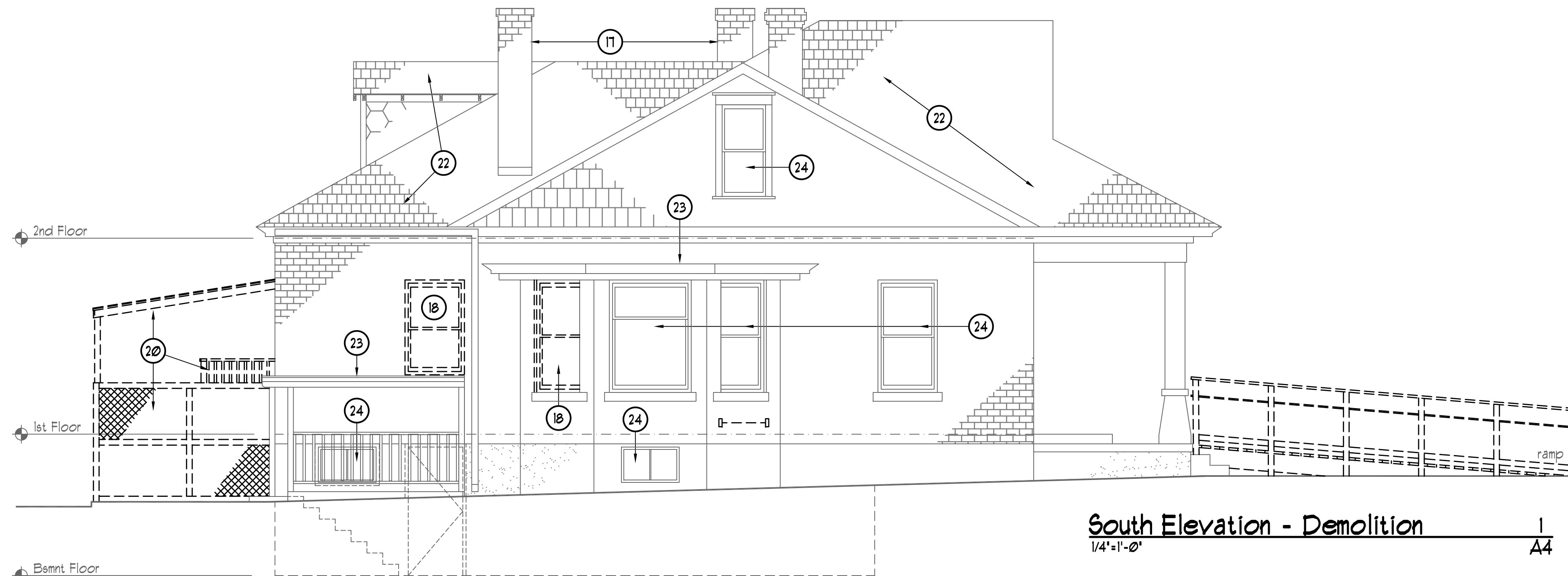
NORTH ELEVATION - DEMOLITION,
NORTH ELEVATION - NEW,
EAST ELEVATION - DEMOLITION,
EAST ELEVATION - NEW,
NORTH ELEVATION - PORCH NEW

A3

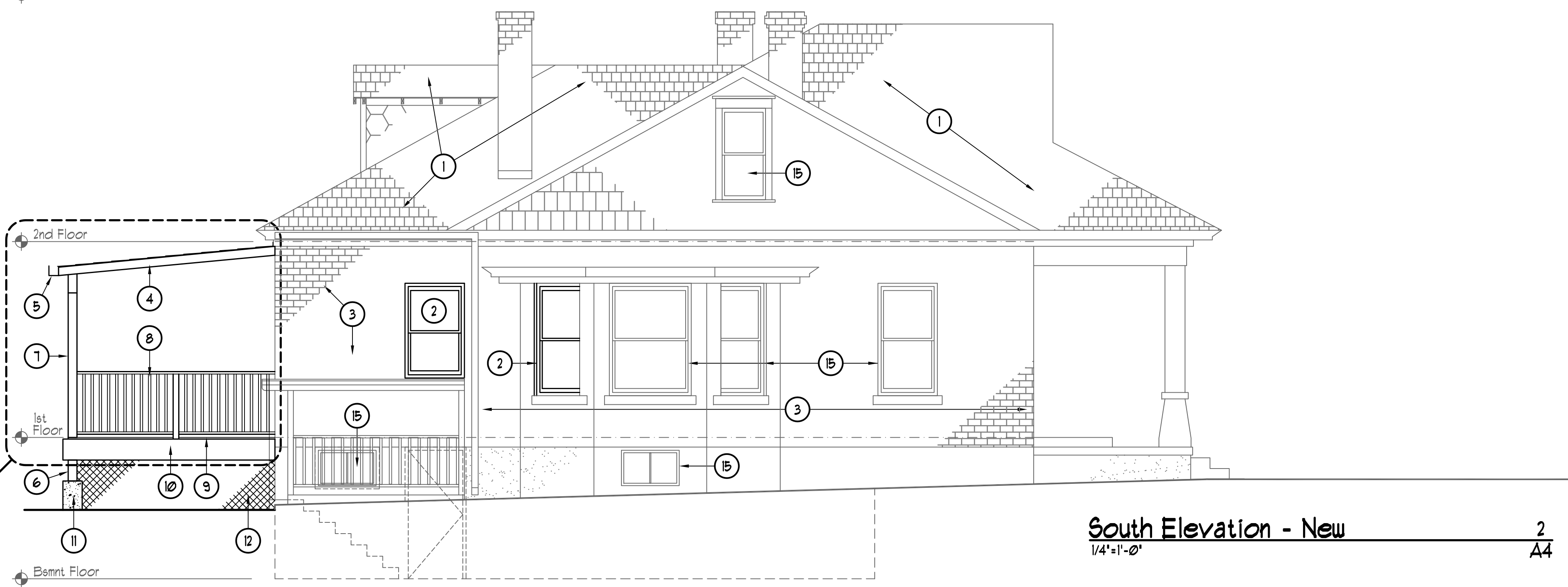
Sheet Title Sheet - of -

Keyed Notes A4:

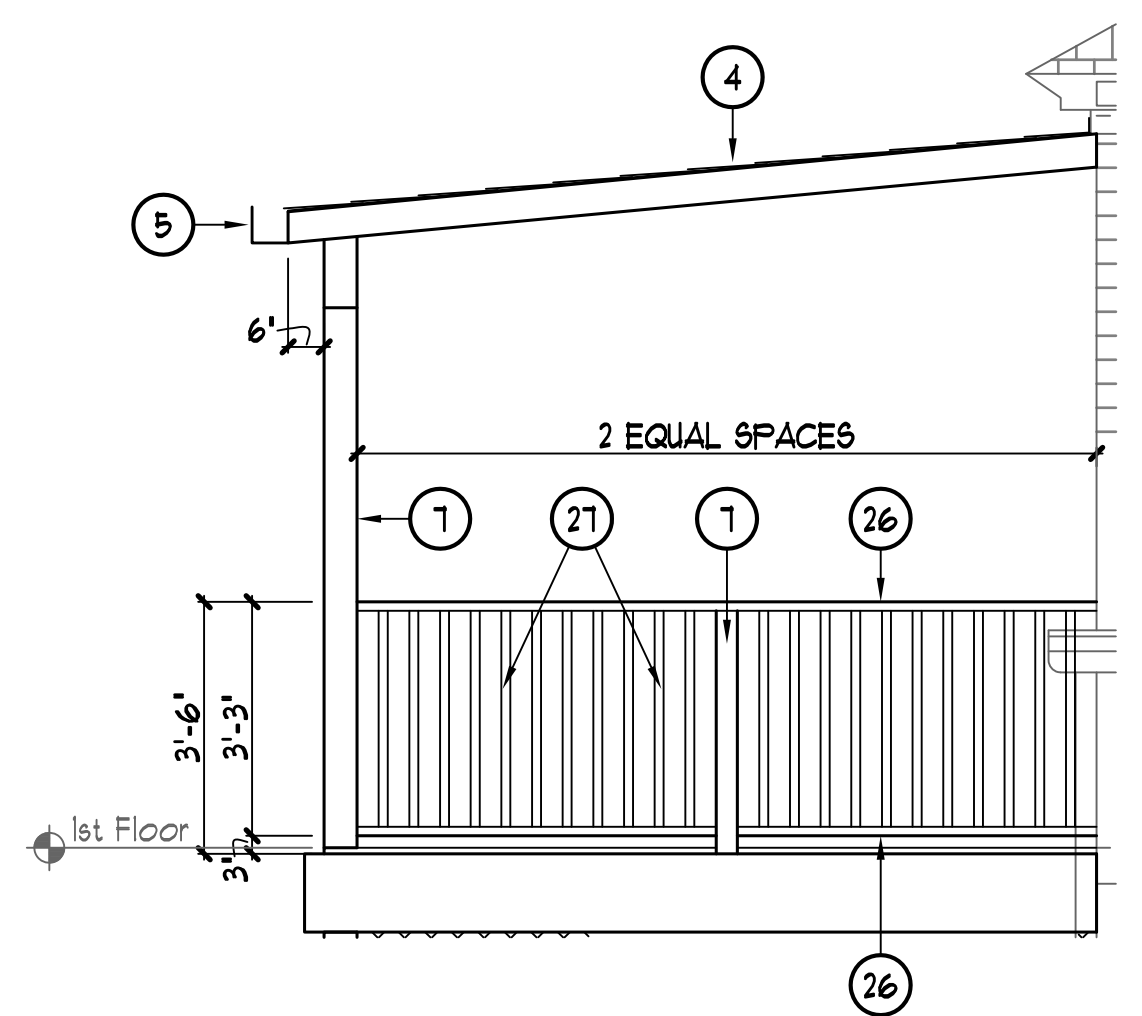
1. INSTALL NEW BERRIDGE PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 1 LAYER OF ASPHALT ROOFING FELT.
2. NEW WINDOWS, TYPICAL. SEE SHEET A2.
3. CLEAN EXISTING BRICK, TYPICAL.
4. INSTALL NEW BERRIDGE PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 2 LAYERS OF ASPHALT ROOFING FELT.
5. GUTTER PAINTED WHITE.
6. BEAM, SEE STRUCTURAL.
7. 4X6 WOOD COLUMN OR POST.
8. DENOTES GUARDRAIL.
9. DECKING.
10. HEADER JOIST.
11. CONCRETE FEDESTAL.
12. LATTICE AROUND PERIMETER OF DECK.
13. HANDICAP LIFT DASHED FOR CLARITY.
14. STAIR DASHED FOR CLARITY.
15. EXISTING WINDOW TO REMAIN.
16. EXISTING DOOR TO REMAIN.
17. EXISTING CHIMNEY TO REMAIN, SEE STRUCTURAL.
18. REMOVE EXISTING WINDOWS, TYPICAL.
19. REMOVE SECURITY BARS, SALVAGE FOR REUSE.
20. REMOVE EXISTING PORTAL AND STAIR COMPLETE.
21. REMOVE EXISTING RAMP.
22. REMOVE EXISTING METAL ROOFING.
23. REMOVE EXISTING ROOFING.
24. EXISTING WINDOW TO REMAIN.
25. EXISTING DOOR TO REMAIN.
26. 2X4 TOP AND BOTTOM RAIL.
27. 2X2 WOOD PICKETS SPACED TO REPEL A 4" DIAMETER SPHERE.



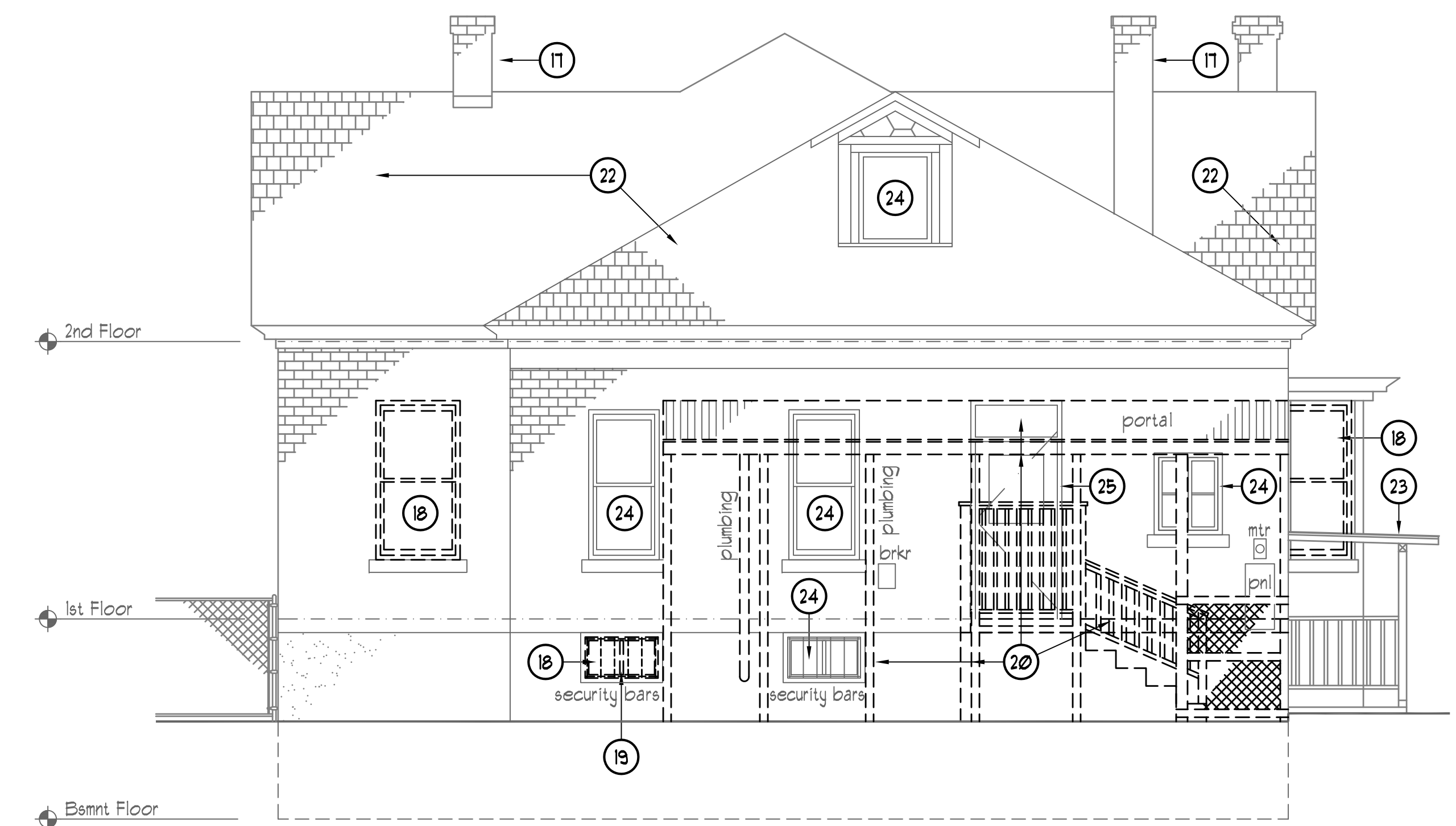
South Elevation - Demolition 1
 1/4"=1'-0" A4



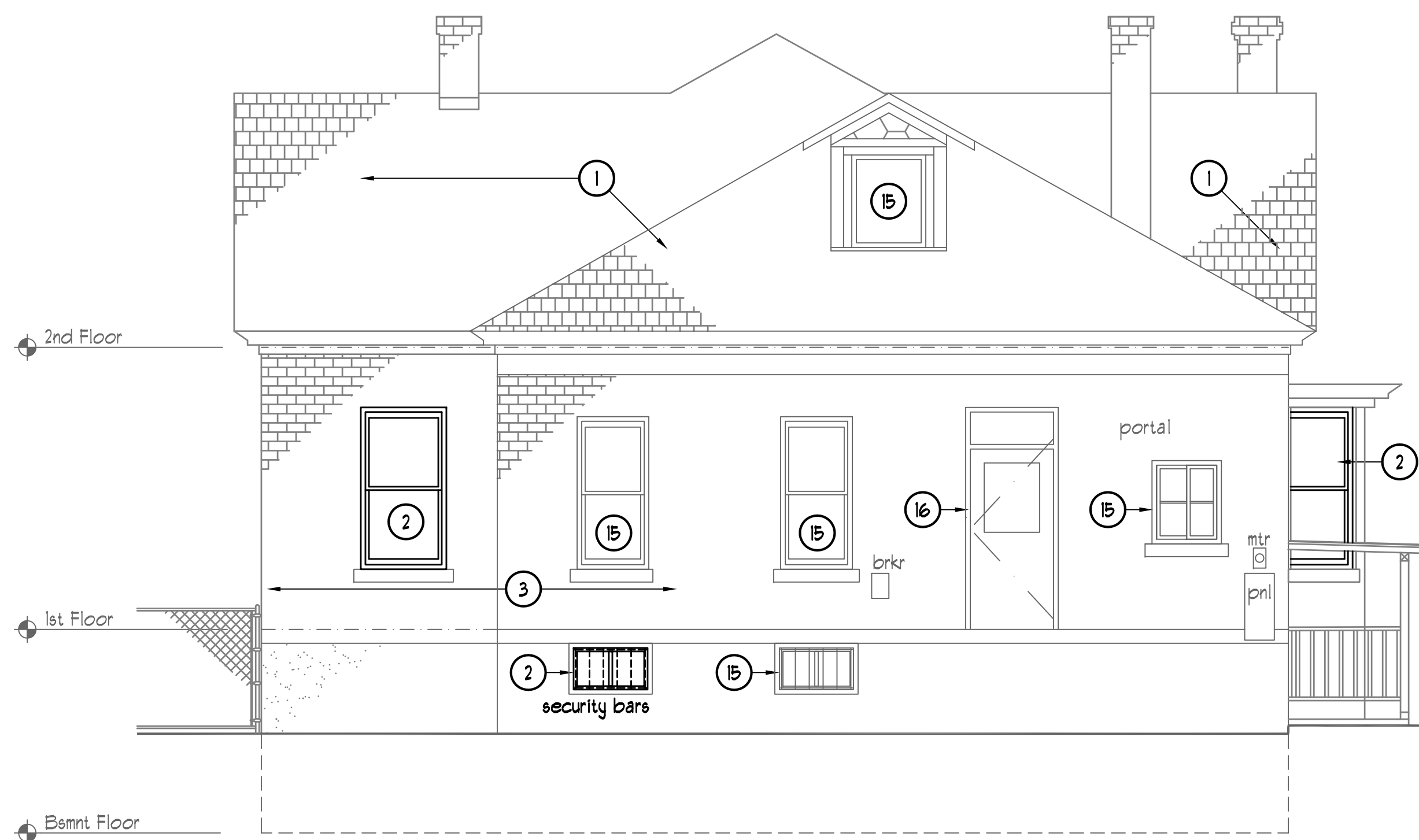
South Elevation - New 2
 1/4"=1'-0" A4



South Elevation - Porch New 5
 3/8"=1'-0" A4



West Elevation - Demolition 3
 1/4"=1'-0" A4



West Elevation - New 4
 1/4"=1'-0" A4

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SOUTH ELEVATION - DEMOLITION
 SOUTH ELEVATION - NEW
 WEST ELEVATION - DEMOLITION
 WEST ELEVATION - NEW
 SOUTH ELEVATION - PORCH NEW

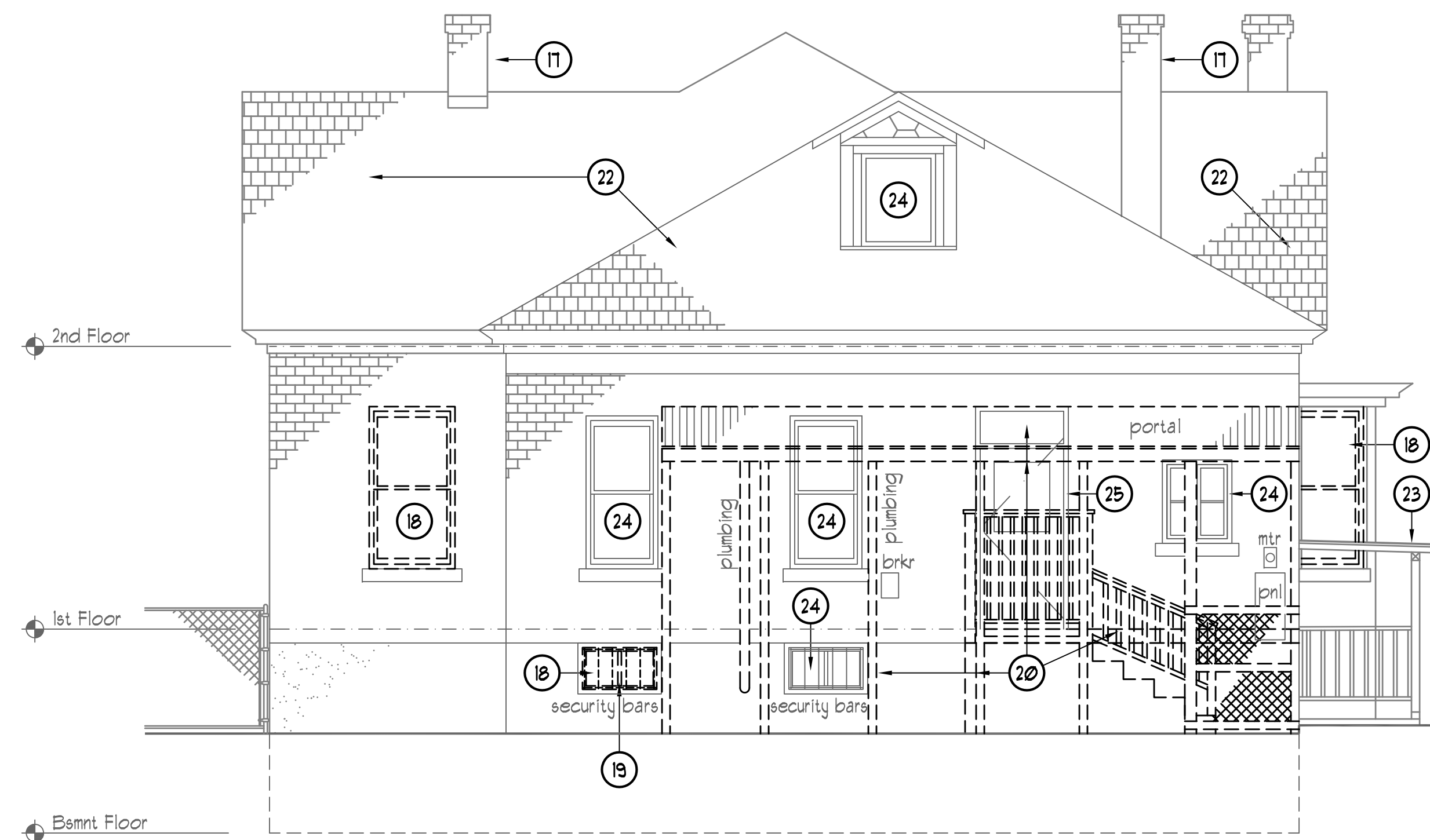
A4

Sheet Title Sheet - of -

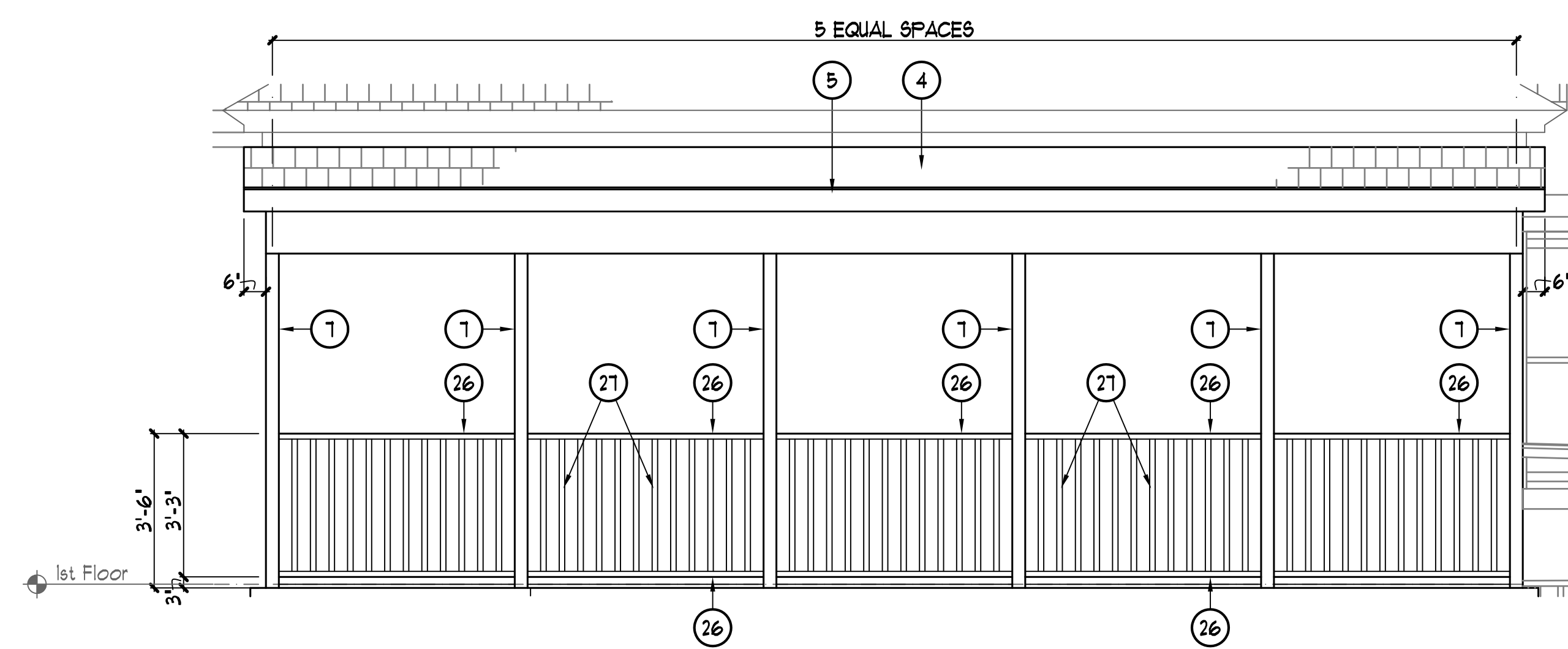
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Keyed Notes A5:

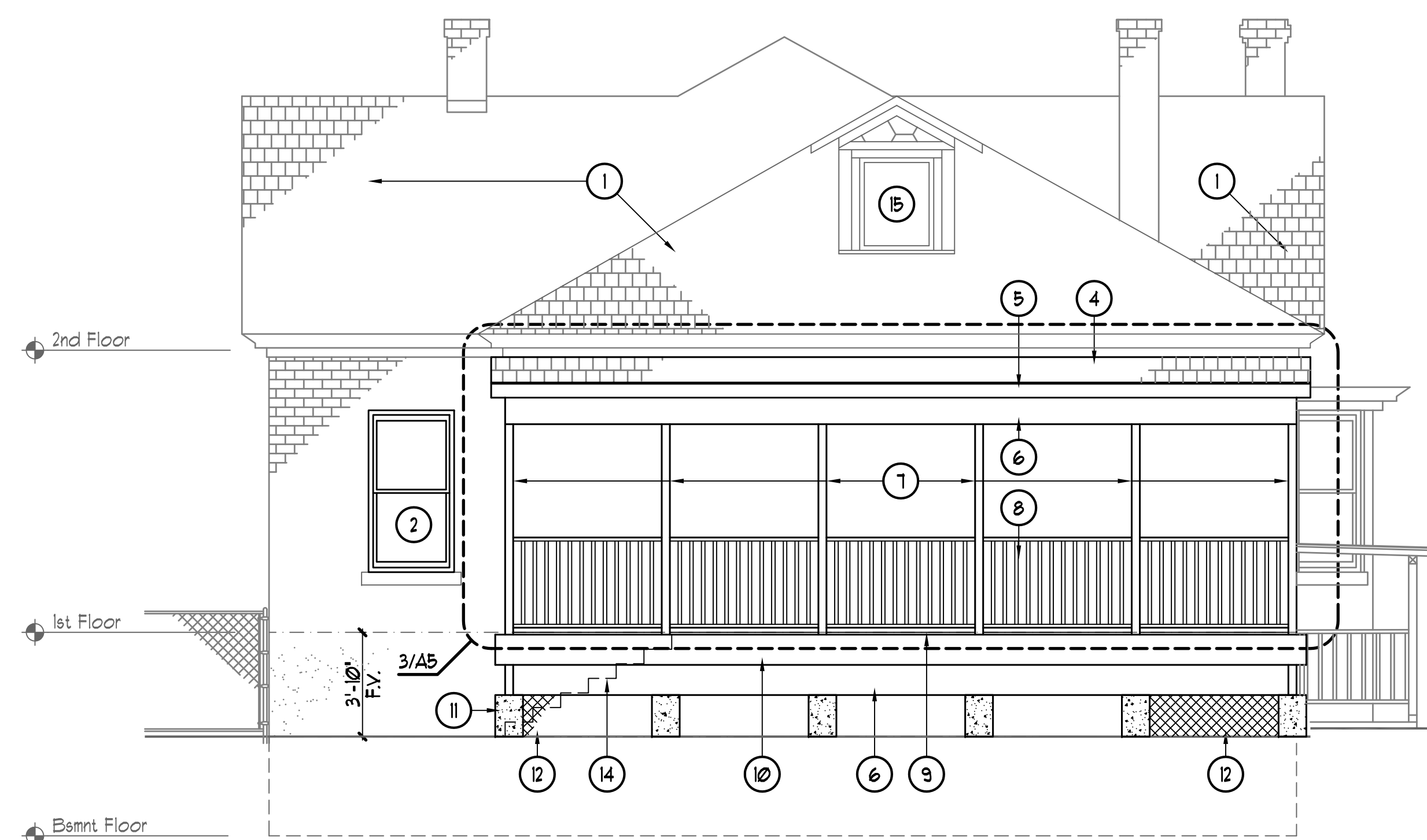
1. NEW METAL ROOFING, MATCH EXISTING, TYPICAL.
2. NEW WINDOWS. TYPICAL. SEE SHEET A2.
3. CLEAN EXISTING BRICK, TYPICAL.
4. NEW ROOFING OVER SHEATHING.
5. GUTTER.
6. BEAM, SEE STRUCTURAL.
7. 4X6 WOOD COLUMN OR POST.
8. DENOTES GUARDRAIL.
9. DECKING.
10. HEADER JOIST.
11. CONCRETE PEDESTAL.
12. LATTICE AROUND PERIMETER OF DECK.
13. HANDICAP LIFT DASHED FOR CLARITY.
14. STAIR DASHED FOR CLARITY.
15. EXISTING WINDOW TO REMAIN.
16. EXISTING DOOR TO REMAIN.
17. EXISTING CHIMNEY TO REMAIN, SEE STRUCTURAL.
18. REMOVE EXISTING WINDOWS, TYPICAL.
19. REMOVE SECURITY BARS, SALVAGE FOR REUSE.
20. REMOVE EXISTING PORTAL AND STAIR COMPLETE.
21. REMOVE EXISTING RAMP.
22. REMOVE EXISTING METAL ROOFING.
23. REMOVE EXISTING ROOFING.
24. EXISTING WINDOWS TO REMAIN.
25. EXISTING DOOR TO REMAIN.
26. 2X4 TOP AND BOTTOM RAIL.
27. 2X2 WOOD PICKETS SPACED TO REPEL A 4" DIAMETER SPHERE.



West Elevation - Demolition 1
 1/4" = 1'-0" A5



West Elevation - Porch New 3
 3/8" = 1'-0" A5



West Elevation - New 2
 1/4" = 1'-0" A5

95% Construction Documents

Andras Szantho Law Office
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 Santa Fe, New Mexico 87505

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WEST ELEVATION - DEMOLITION
 WEST ELEVATION - NEW
 WEST ELEVATION - PORCH NEW

A5

Sheet Title Sheet - of -

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Current Case
2024-009381-HDRB
Remodel
532 Don Gaspar**



Hannon Structures
Licensed Bonded Insured
17-D Amado Sueno
Santa Fe NM 87507
Ken Hannon, Contractor
505-660-0923

September 26thth 2024

Good Afternoon,

Concerning 532 Don Gaspar remodel and renovation for the Andras Szanthos Law Office. Kevin Georges & associates had meetings with Carli for 11/2 years prior to start and met all required Historical, City and CID inspections. This includes all interior and exterior Historical requirements. Only a certain amount of windows allowed to be replaced and HVAC units, wheel chair lift and parking are all shown. Back porch, public sidewalk and driveway repairs are on prints and have been met according to approved prints issued for permits and street cut permits.

We were issued permit #2022-25497 in March of 2023. All renovation and remodeling has been completed by Hannon Structures. All required plumbing, HVAC, and electrical inspections as well as required building inspections. All we lack is certification of occupancy inspection. We were doing side walk repairs at end of project for completion when we were stopped because of wrong color for public sidewalk repairs in May. Since then we have had stop after stop. One inspector said we need rail on front porch because it raised more than 18'' high. We inquired and were told to match back porch rail. ADA inspector showed up and we were required to pour sidewalk from public sidewalk to ADA parking space. Now we are being informed that we need to discuss exterior porch light fixtures? We tried to match existing light fixtures on porches. I have all prints issued for project. These include inspector set, field sets and notes saying a fence would be ok.

We will match whatever style you required for fence and light fixtures. We need to know exactly what is needed or required so we can get our final C.O. inspection done.

Please feel free to call me, Ken Hannon at 505-660-0923 asap to discuss what we can do to resolve this. If we need to schedule a meeting we are available.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Ken Hannon', written in a cursive style.

Ken Hannon
Contractor

Historic Districts and Historic Landmarks
Design Standards and Signage Exception Criteria

(i) Do not damage the character of the district
"Architecture"

Response: Adding back character to district plus be
ADA compliant

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Response: ADA Compliant for welfare of Disabled

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: NO public walkways Infringed upon.
Safe but open spaced For total
Architectural views

Historic Districts and Historic Landmarks
Design Standards and Signage Exception Criteria

(i) Do not damage the character of the district the railing on the front porch does not damage the character of the district. It is keeping with the design of the building and the type of architecture of the building.
Response: it mirrors the railing on the back porch and the color is matched to the other elements of the resident. This helps the structure blend in with the Don Gaspar Area Historic District.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare
Response: the railing prevents hardship by providing much needed fall protection on the front porch area.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: No public walkways infringed upon.
Safe but open spaced for total
Architectural views.

Kenneth A. Hannon



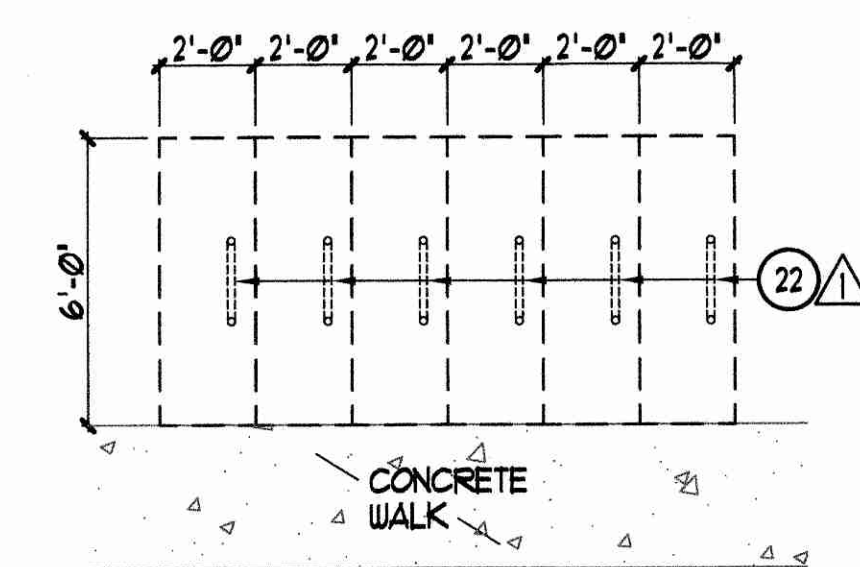




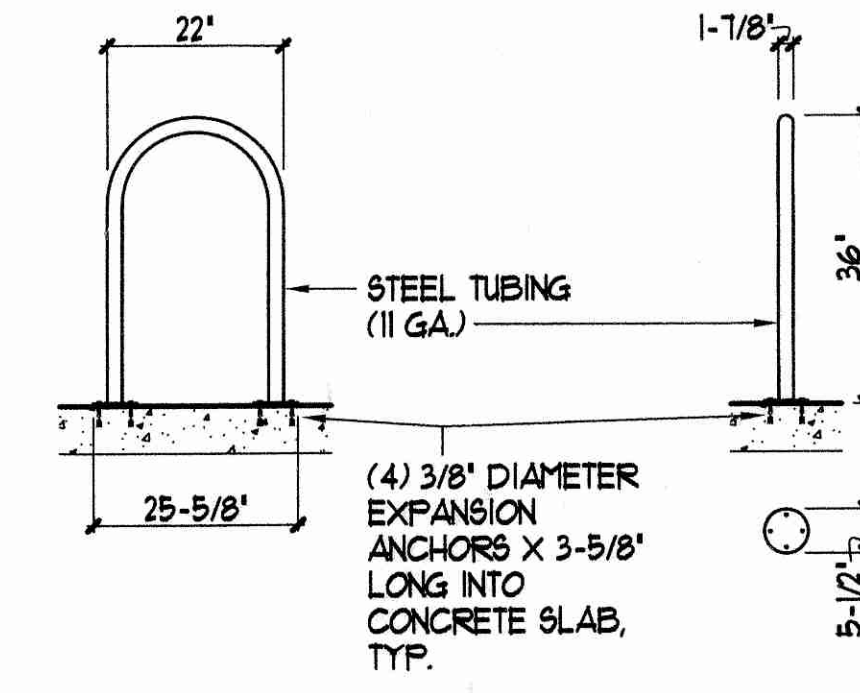


Keyed Notes C1:

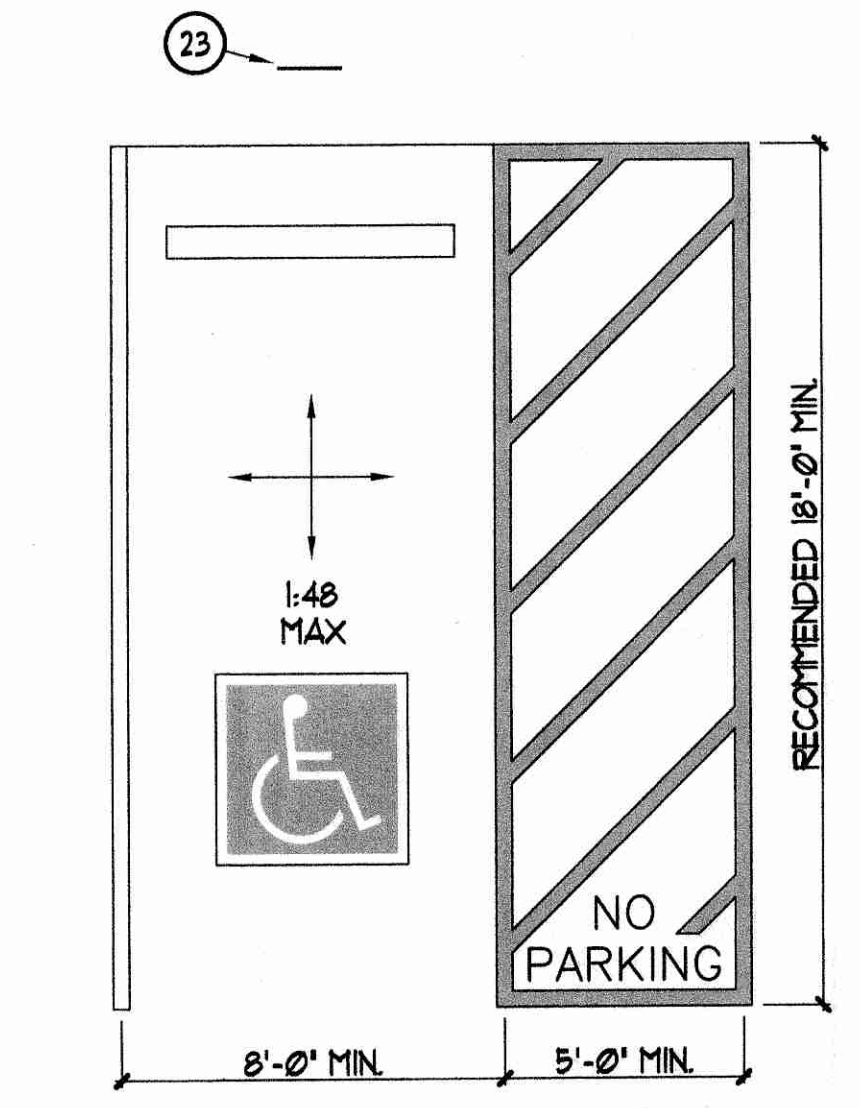
1. CLEAR SIGHT TRIANGLE.
 2. SIGNAGE.
 3. REMOVE EXISTING WALK, TYPICAL.
 4. NEW STAIR.
 5. NEW 5' CONCRETE SLAB.
 6. PRECAST CONCRETE PARKING BUMPER, TYPICAL.
 7. REMOVE VEGETATION.
 8. NEW WOOD DECK.
 9. NEW ACCESSIBLE LIFT, SEE SHEET A1.
 10. REMOVE WIRE FENCE.
 11. NOT USED.
 12. EXISTING TREE TO REMAIN.
 13. REMOVE EXISTING RAMP AND RAILING.
 14. REMOVE WOOD FENCE.
 15. REMOVE EXISTING DRIVEWAY.
 16. INSTALL NEW CURBS / GUTTER PER CITY STANDARDS.
 17. REMOVE EXISTING CANOPY.
 18. REMOVE EXISTING SLAB / FLAGSTONE UNDER CANOPY.
 19. EXISTING CHAINLINK FENCE TO REMAIN.
20. COMMERCIAL ZONING ITEM 1 EXISTING MESSAGE NOT PART OF PERMIT.
 21. COMMERCIAL ZONING ITEM 2, CONCRETE SLAB WITH 6 BICYCLE RACKS.
 22. COMMERCIAL ZONING ITEM 2, U RACK SEE 2/C1 BICYCLE RACKS TO COMPLY WITH SFCC CHAPTER 14 APPENDIX D.
 23. SITE ACCESSIBILITY REVIEW PROVIDE SIGN WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY CENTERED ON THE HEAD OF THE PARKING SPACE. SEE 4/C1.
 24. SITE ACCESSIBILITY REVIEW ANY BROKEN, CRACKED, FLAKING, LOOSE OR SECTIONS OF SIDEWALK THAT HAVE A VERTICAL RISE OR FALL THAT IS 1/4" OR LARGER IS OUT OF REPAIR AND NEEDS TO BE REPLACED.



Bicycle Rack Plan
1/4"=1'-0"
C1

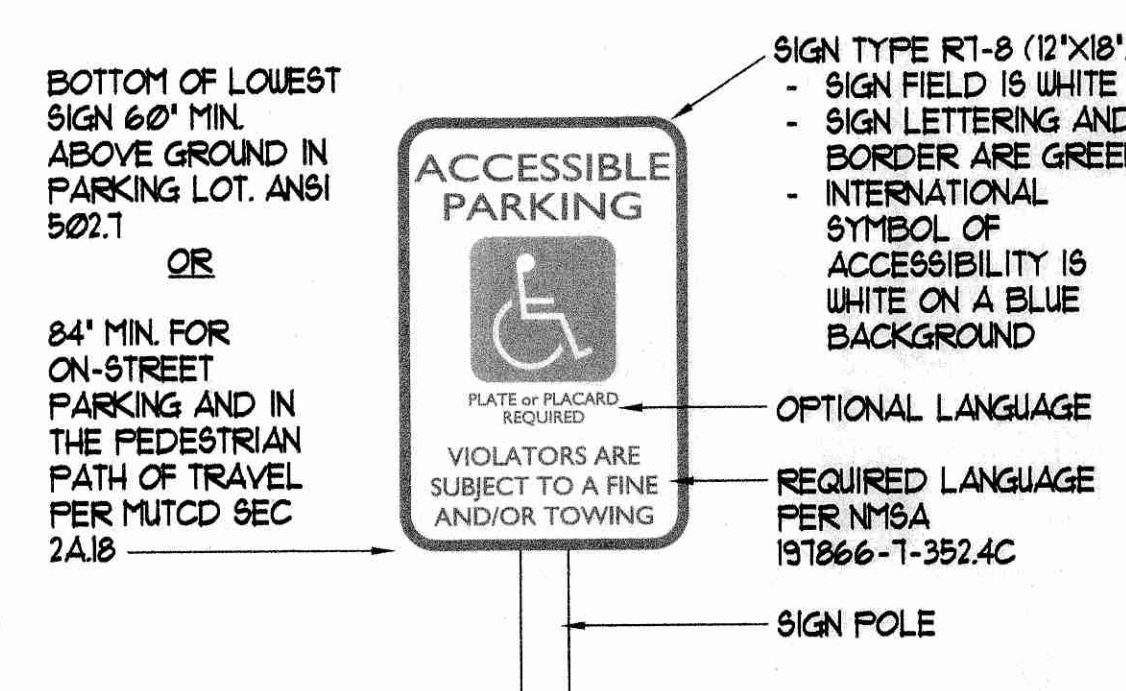


'U' Bike Rack Details
1/2"=1'-0"
C1

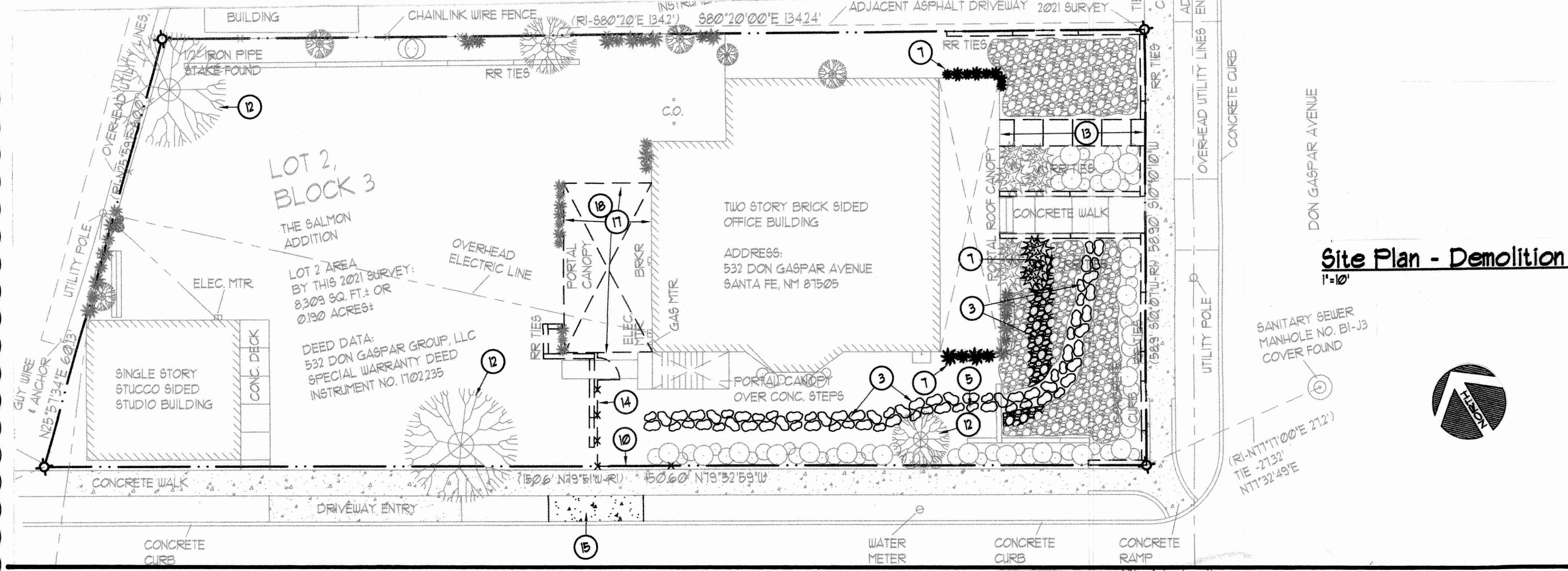


SITE ACCESSIBILITY REVIEW NOTE: STRIPING LAYOUT AND SIGNAGE TO BE PER 2015 NM ACCESSIBLE PARKING STANDARD.

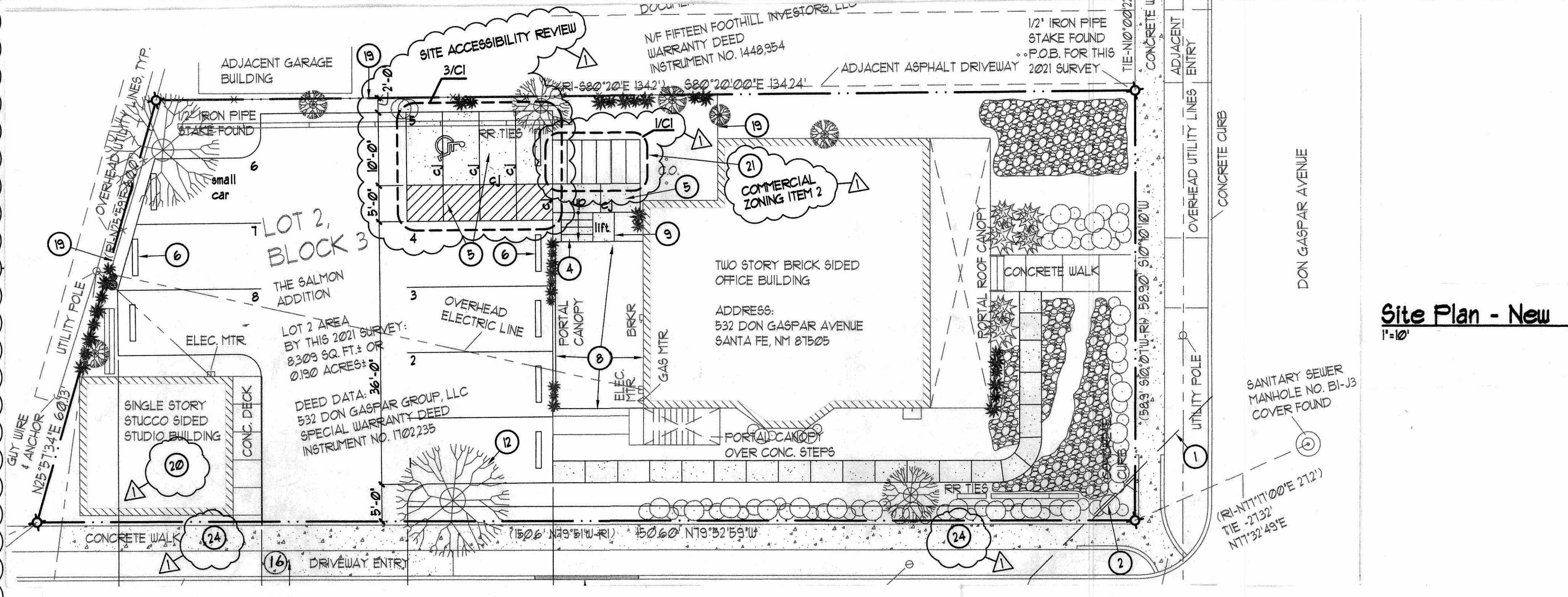
Standard Parking Spaces 3
1/4"=1'-0"
C1



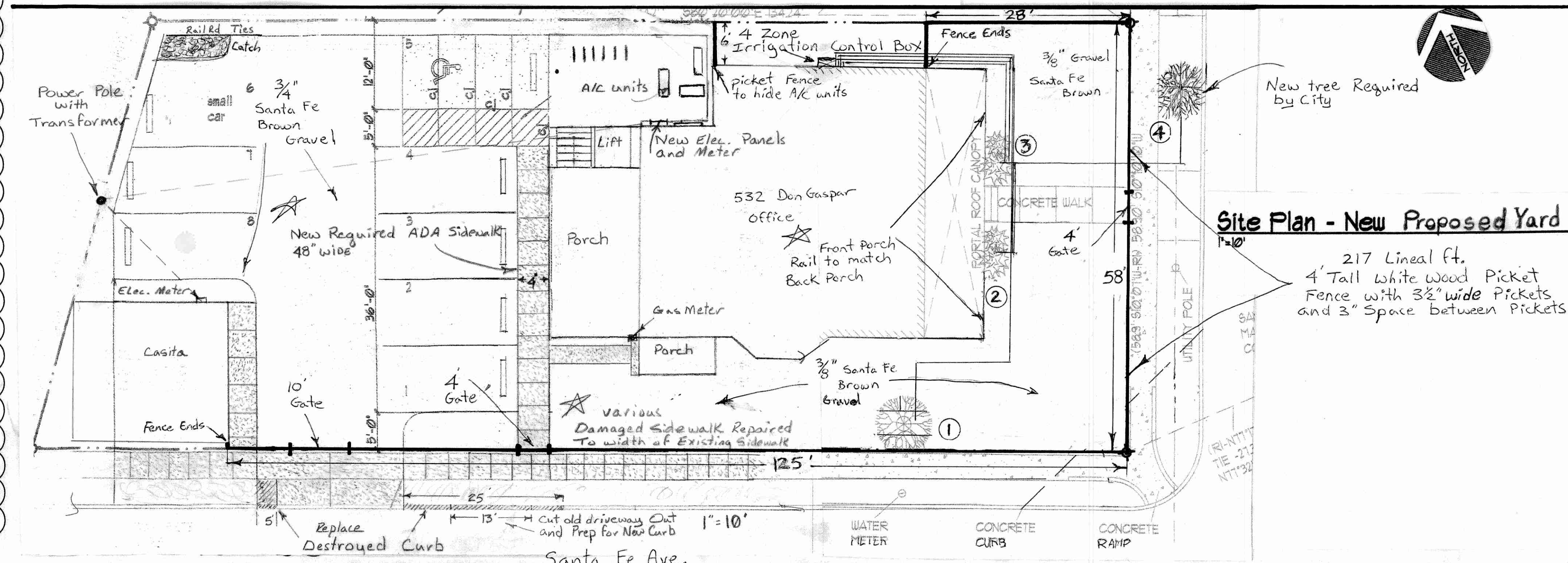
Parking Signage
1-1/2"=1'-0"
C1



Site Plan - Demolition
1"=10'



Site Plan - New
1"=10'

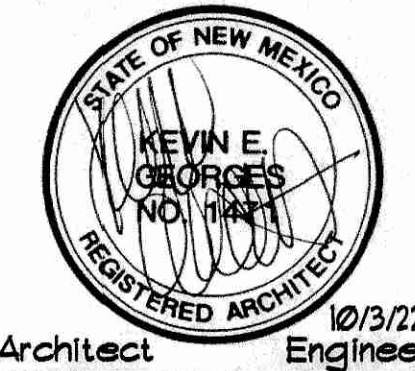


Site Plan - New Proposed Yard
1"=10'

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Santa Fe, New Mexico 87505

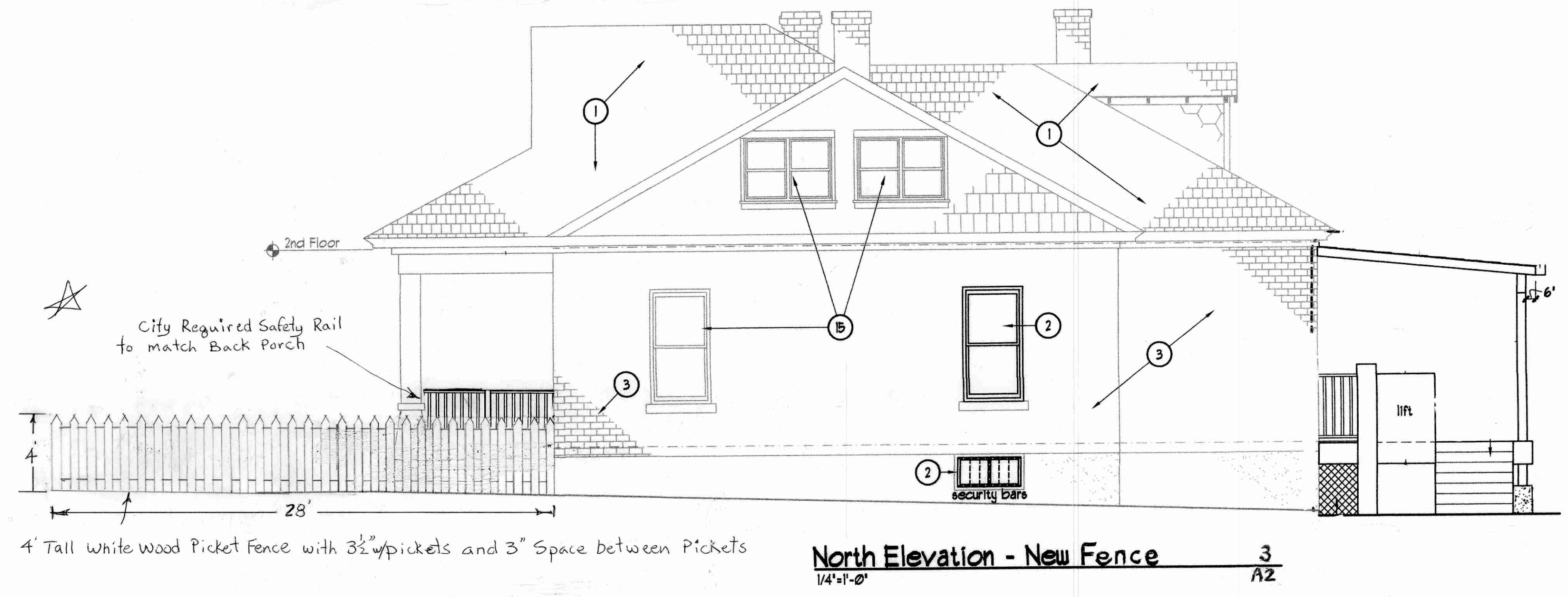
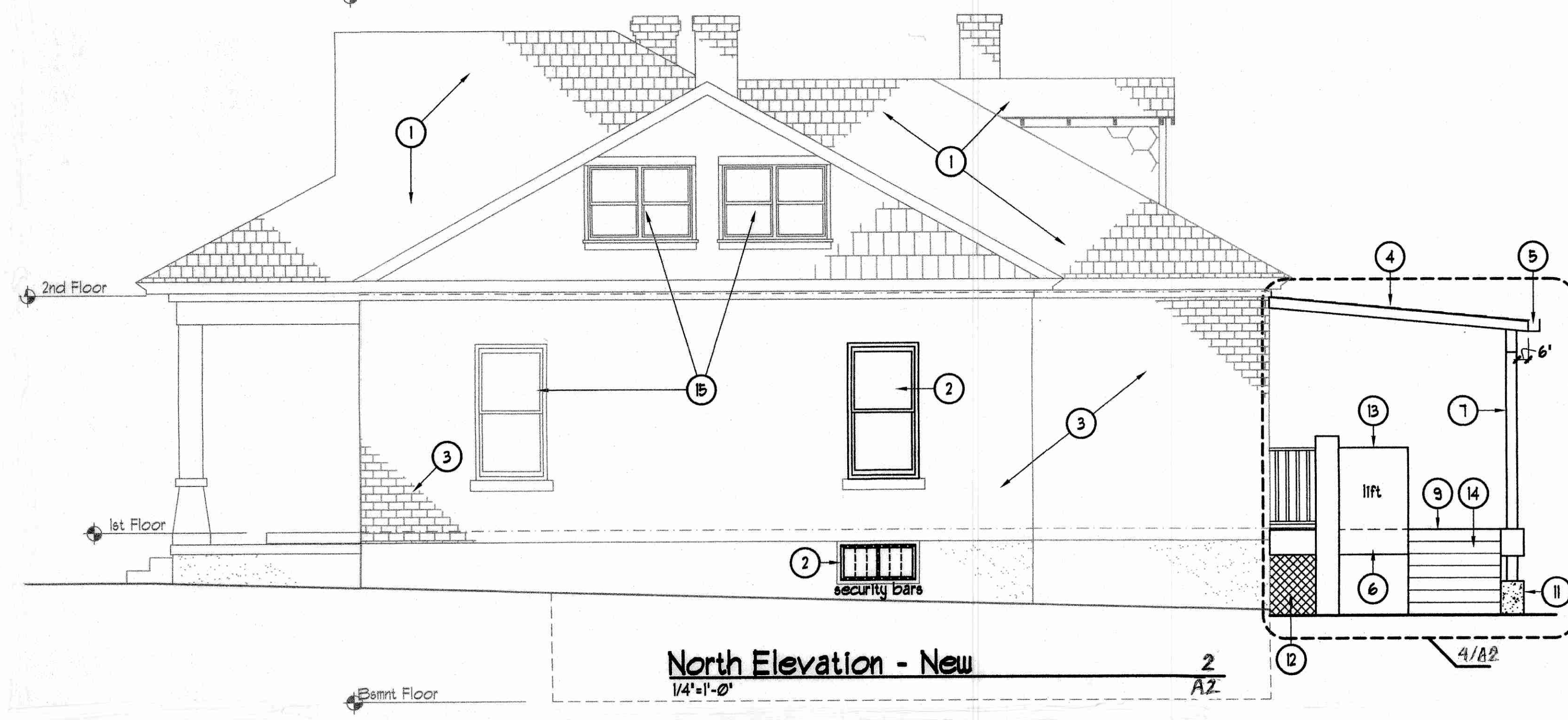
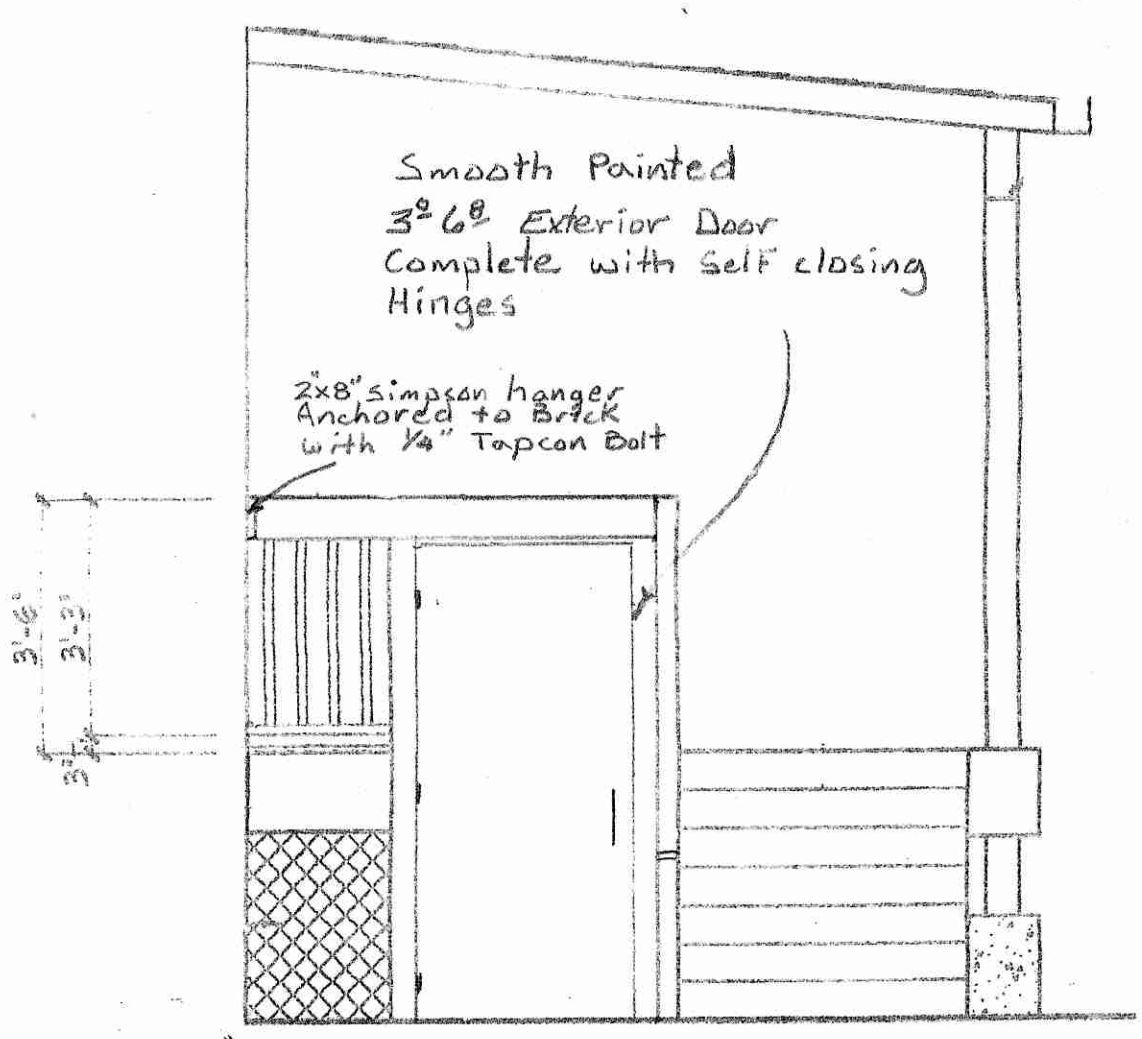
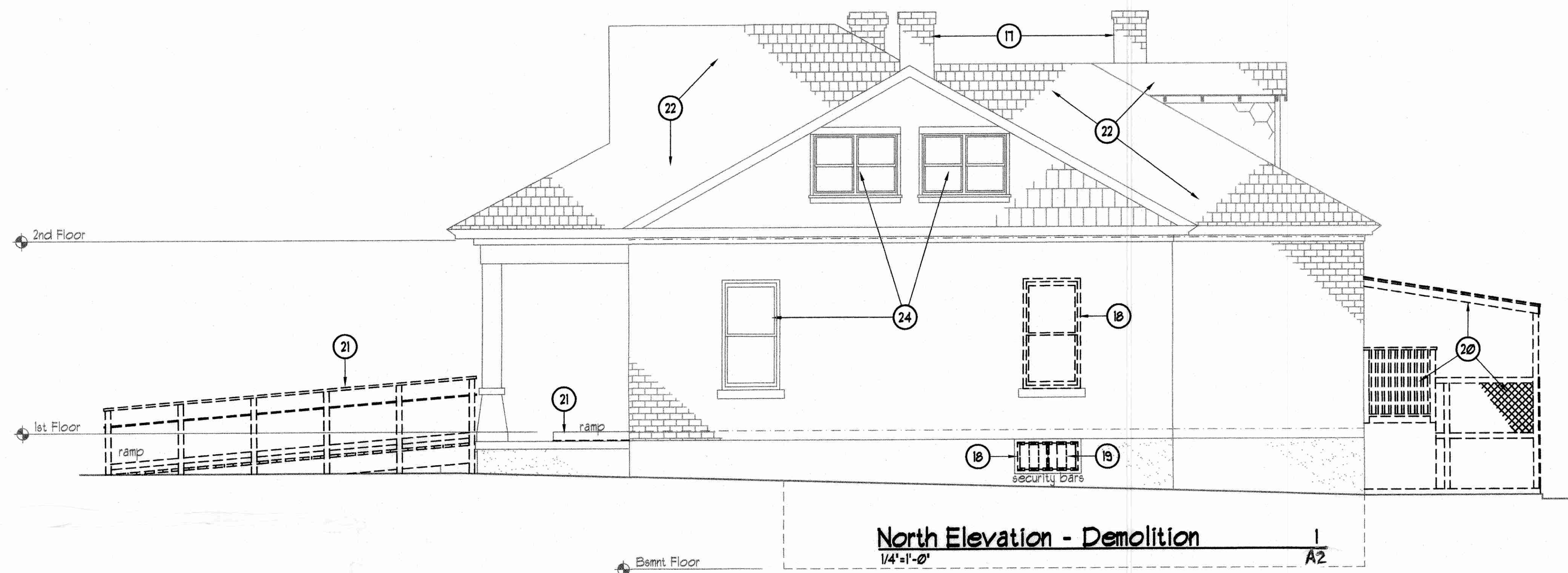
Project Title
Drawn By JAE/Checked By KEG
Project No. 202118 Date 10/3/22
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PERMIT REVISIONS 12/13/22
Revisions Architect 10/3/22 Engineer



A1

Keyed Notes A3:

1. NEW METAL ROOFING, SEE A2, SEE SPECS.
2. NEW WINDOWS, TYPICAL, SEE SHEET A2.
3. CLEAN EXISTING BRICK, TYPICAL.
4. NEW ROOFING OVER SHEATHING.
5. GUTTER.
6. BEAM, SEE STRUCTURAL.
7. 4X6 WOOD COLUMN OR POST, SEE STRUCTURAL.
8. NOT USED.
9. NOT USED.
10. HEADER JOIST.
11. CONCRETE FEDESTAL, SEE STRUCTURAL.
12. LATTICE AROUND PERIMETER OF DECK, PAINT.
13. HANDICAP LIFT.
14. STAIR, SEE STRUCTURAL.
15. EXISTING WINDOW TO REMAIN.
16. NOT USED.
17. EXISTING CHIMNEY TO REMAIN, SEE STRUCTURAL.
18. REMOVE EXISTING WINDOWS, TYPICAL.
19. REMOVE SECURITY BARS, SALVAGE FOR REUSE.
20. REMOVE EXISTING PORTAL, STAIR AND SLAB COMPLETE.
21. REMOVE EXISTING RAMP.
22. REMOVE EXISTING METAL ROOFING.
23. NOT USED.
24. EXISTING WINDOW TO REMAIN.
25. EXISTING DOOR TO REMAIN, REFINISH ALL WOOD.
26. REMOVE EXISTING AIR CONDITIONER, INSTALL NEW GLAZING, SEE MECHANICAL.
27. 2X4 TOP AND BOTTOM RAIL, SEE B3/A3 AND A4/A3.
28. 2X2 WOOD PICKETS SPACED TO REPEL A 4" DIAMETER SPHERE.



General Note:

1. PAINT ALL EXTERIOR TRIM SHERWIN WILLIAMS SW9501 CREAM & SUGAR.

100% Construction Documents

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Santa Fe, New Mexico 87505

Project Title

Drawn By JA/EB Checked By KEG

Proj. No. 202118 Date 10/3/22

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Revisions

NORTH ELEVATION - DEMOLITION
NORTH ELEVATION - NEW
EAST ELEVATION - DEMOLITION
EAST ELEVATION - NEW
NORTH ELEVATION - PORCH NEW

A2

Sheet Title sheet 10 of 29

Keyed Notes A3:

1. NEW METAL ROOFING, SEE A2, SEE SPECS.
2. NEW WINDOWS, TYPICAL. SEE SHEET A2.
3. CLEAN EXISTING BRICK, TYPICAL.
4. NEW ROOFING OVER SHEATHING.
5. GUTTER.
6. BEAM, SEE STRUCTURAL.
7. 4X6 WOOD COLUMN OR POST, SEE STRUCTURAL.
8. NOT USED.
9. NOT USED.
10. HEADER JOIST.
11. CONCRETE PEDESTAL, SEE STRUCTURAL.
12. LATTICE AROUND PERIMETER OF DECK, PAINT.
13. ACCESSIBLE LIFT, SEE 1A/AB (SITE ACCESSIBILITY REVIEW).
14. STAIR, SEE STRUCTURAL.
15. EXISTING WINDOW TO REMAIN.
16. NOT USED.
17. EXISTING CHIMNEY TO REMAIN, SEE STRUCTURAL.
18. REMOVE EXISTING WINDOWS, TYPICAL.
19. REMOVE SECURITY BARS, SALVAGE FOR REUSE.
20. REMOVE EXISTING PORTAL, STAIR AND SLAB COMPLETE.
21. REMOVE EXISTING RAMP.
22. REMOVE EXISTING METAL ROOFING.
23. NOT USED.
24. EXISTING WINDOW TO REMAIN.
25. EXISTING DOOR TO REMAIN, REFINISH ALL WOOD.
26. REMOVE EXISTING AIR CONDITIONER, INSTALL NEW GLAZING, SEE MECHANICAL.
27. 2X4 TOP AND BOTTOM RAIL, SEE 13/AB AND 14/AB.
28. 2X2 WOOD PICKETS SPACED TO REFEL A 4" DIAMETER SPHERE.



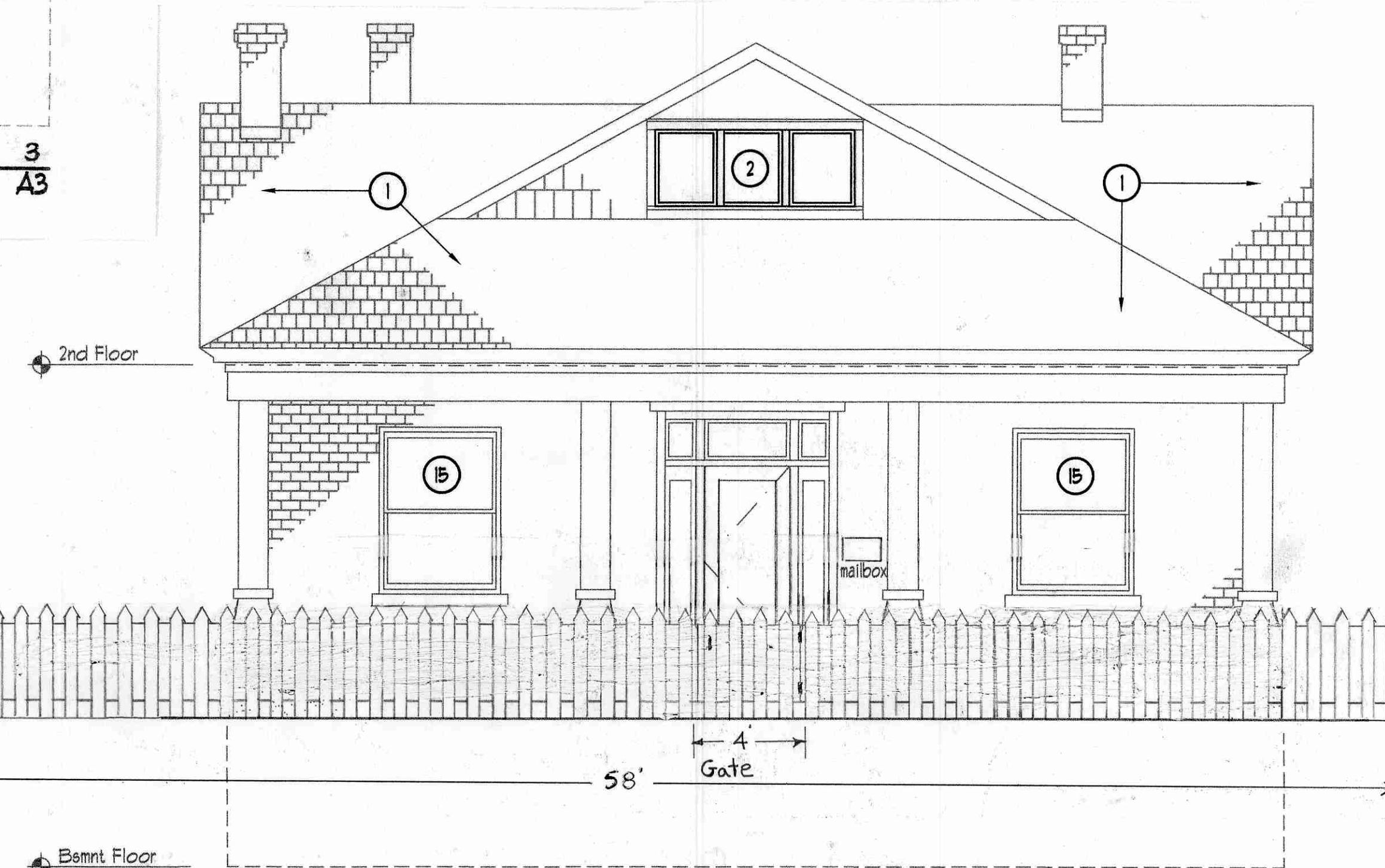
East Elevation - Demolition
 1/4"=1'-0" 1
A3



East Elevation - New
 1/4"=1'-0" 2
A3



East Elevation - New Safety Rail
 1/4"=1'-0" 3
A3
 Proposed
 City Required
 to match Back Porch



East Elevation - New Fence
 1/4"=1'-0" 4
A3

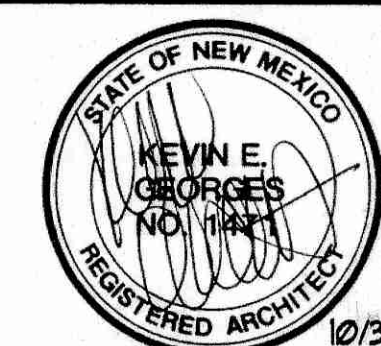
General Note:

1. PAINT ALL EXTERIOR TRIM SHERWIN WILLIAMS SW9501 CREAM 1 & SUGAR.

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 Santa Fe, New Mexico 87505

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 Drawn JA/EB Checked KEG
 By By
 Proj. 202118 Date 10/3/22
 No. 202118 Date 10/3/22
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 PERMIT REVISIONS 12/19/22
 Revisions Architect 10/3/22 engineer



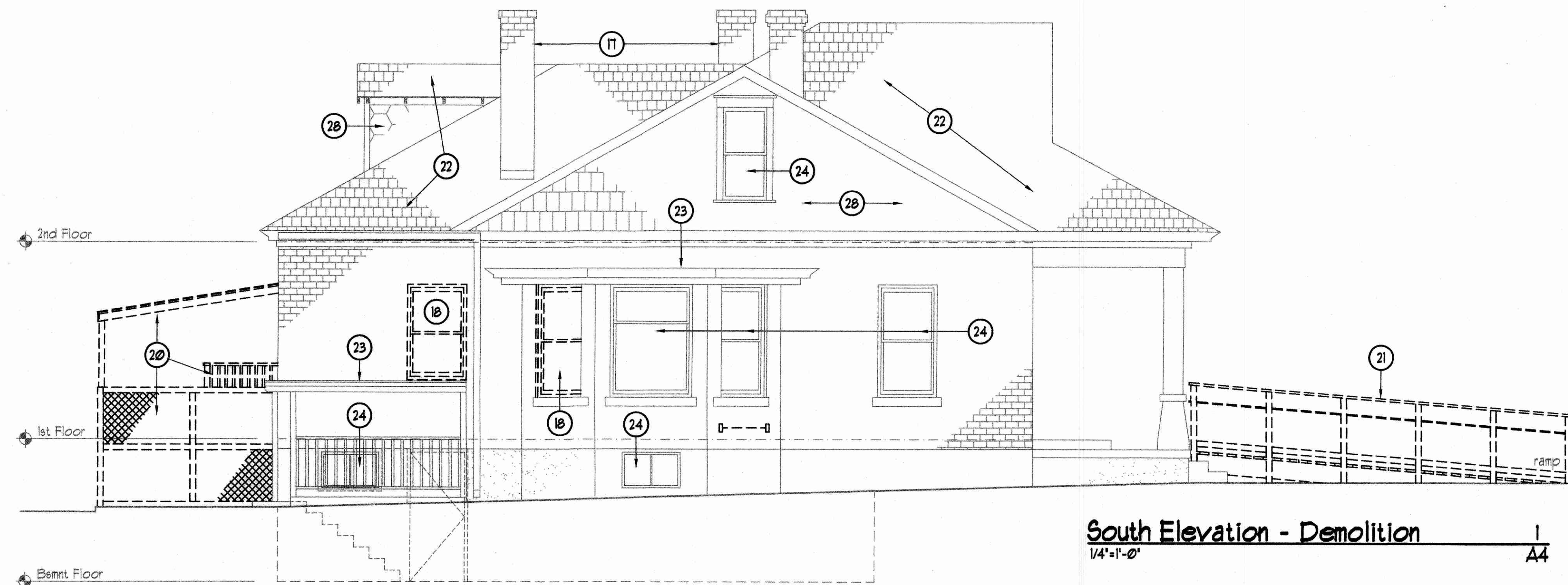
NORTH ELEVATION - DEMOLITION,
 NORTH ELEVATION - NEW,
 EAST ELEVATION - DEMOLITION,
 EAST ELEVATION - NEW,
 NORTH ELEVATION - PORCH NEW

A3

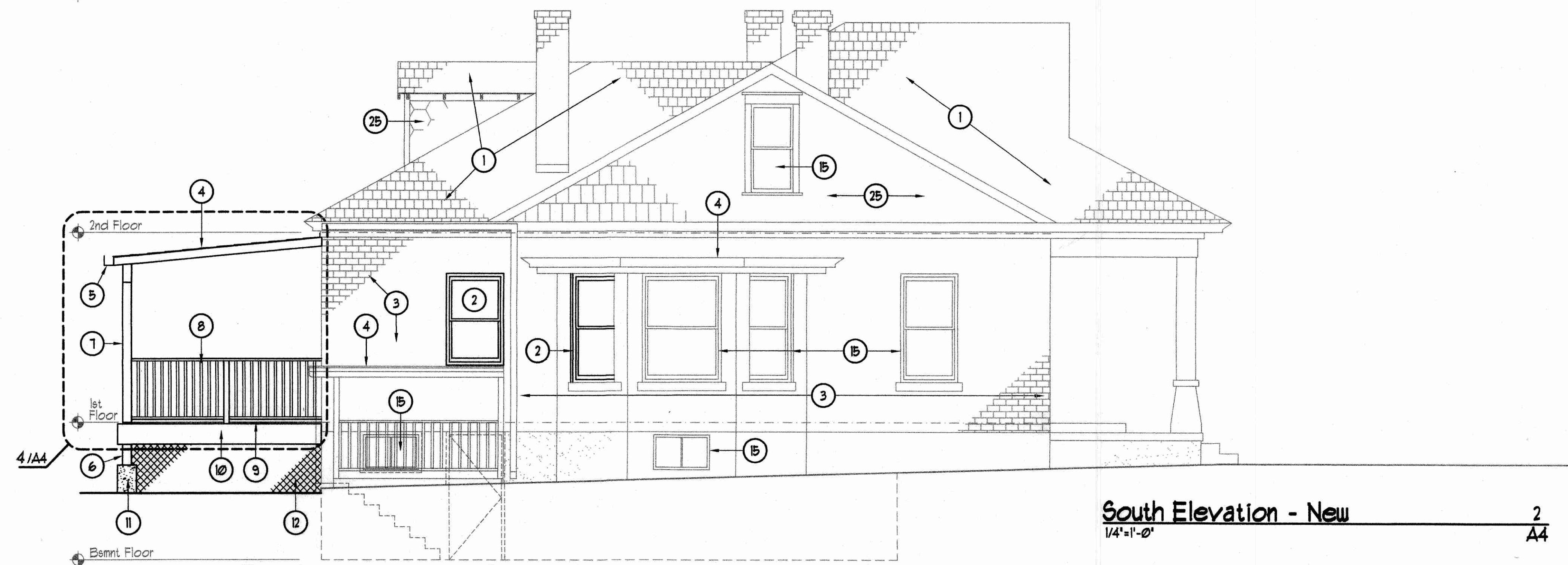
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Keyed Notes A4:

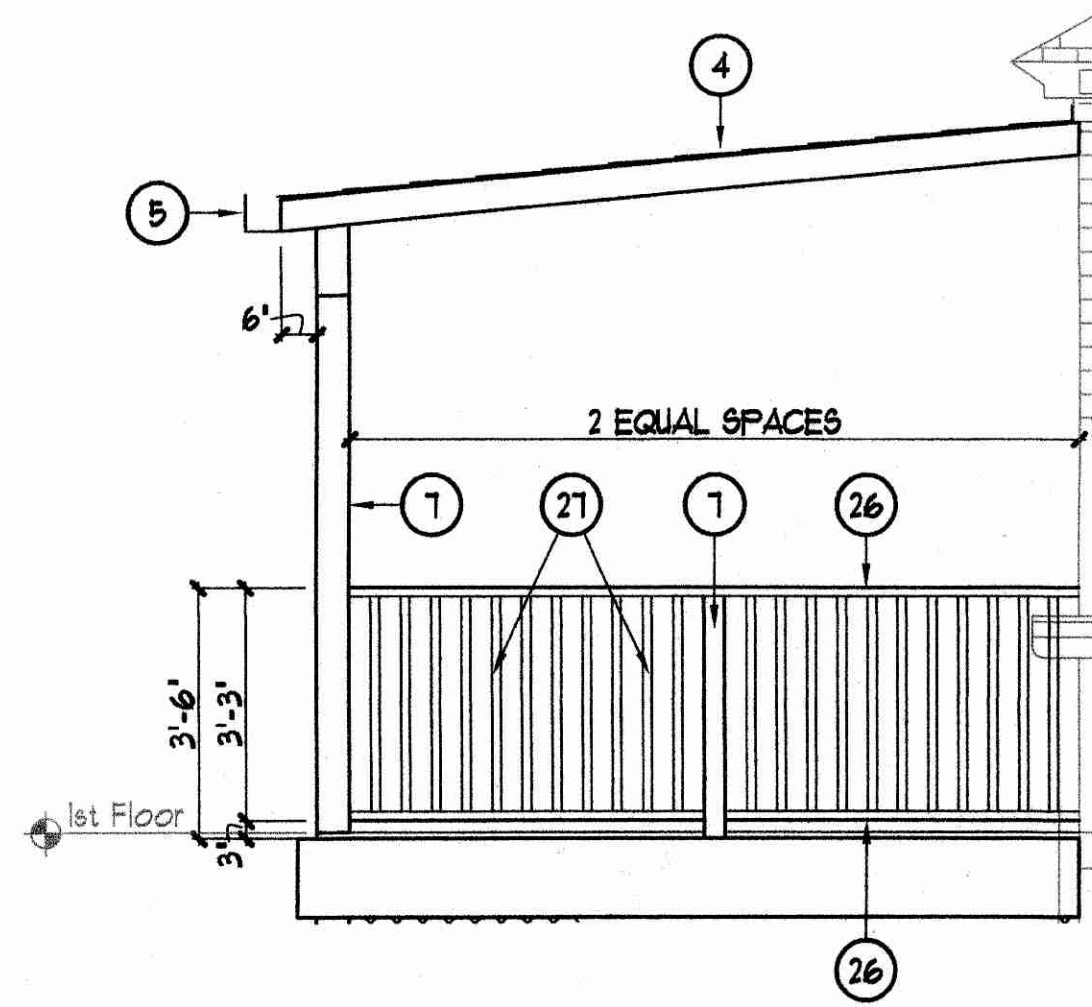
1. INSTALL NEW NORMAN PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 1 LAYER OF ASPHALT ROOFING FELT, SEE A2, SEE SPECS.
2. NEW WINDOWS, TYPICAL, SEE SPECS.
3. CLEAN EXISTING BRICK, TYPICAL.
4. INSTALL NEW NORMAN PREFINISHED METAL VICTORIAN STYLE SHINGLES OVER 2 LAYERS OF ASPHALT ROOFING FELT, SEE SPECS.
5. GUTTER PAINTED WHITE.
6. BEAM, SEE STRUCTURAL.
7. 4X6 WOOD COLUMN OR POST, SEE STRUCTURAL.
8. DENOTES GUARDRAIL - SEE 13/A9 AND 14/A9.
9. DECKING.
10. HEADER JOIST, SEE STRUCTURAL.
11. CONCRETE FEDESTAL, SEE STRUCTURAL.
12. LATTICE AROUND PERIMETER OF DECK, PAINT.
13. NOT USED.
14. NOT USED.
15. EXISTING WINDOW TO REMAIN.
16. EXISTING DOOR TO REMAIN.
17. EXISTING CHIMNEY TO REMAIN, SEE STRUCTURAL.
18. REMOVE EXISTING WINDOWS, TYPICAL.
19. REMOVE SECURITY BARS, SALVAGE FOR REUSE.
20. REMOVE EXISTING PORTAL, STAIR AND SLAB COMPLETE.
21. REMOVE EXISTING RAMP.
22. REMOVE EXISTING METAL ROOFING.
23. REMOVE EXISTING ROOFING.
24. EXISTING WINDOW TO REMAIN.
25. INSTALL ROOFING MATERIAL OVER 1 LAYER ASPHALT ROOFING FELT.
26. 2X4 TOP AND BOTTOM RAIL, SEE 13/A9 AND 14/A9.
27. 2X2 WOOD PICKETS SPACED TO REPEL A 4" DIAMETER SPHERE, SEE 13/A9 AND 14/A9.
28. REMOVE EXISTING METAL SIDING.



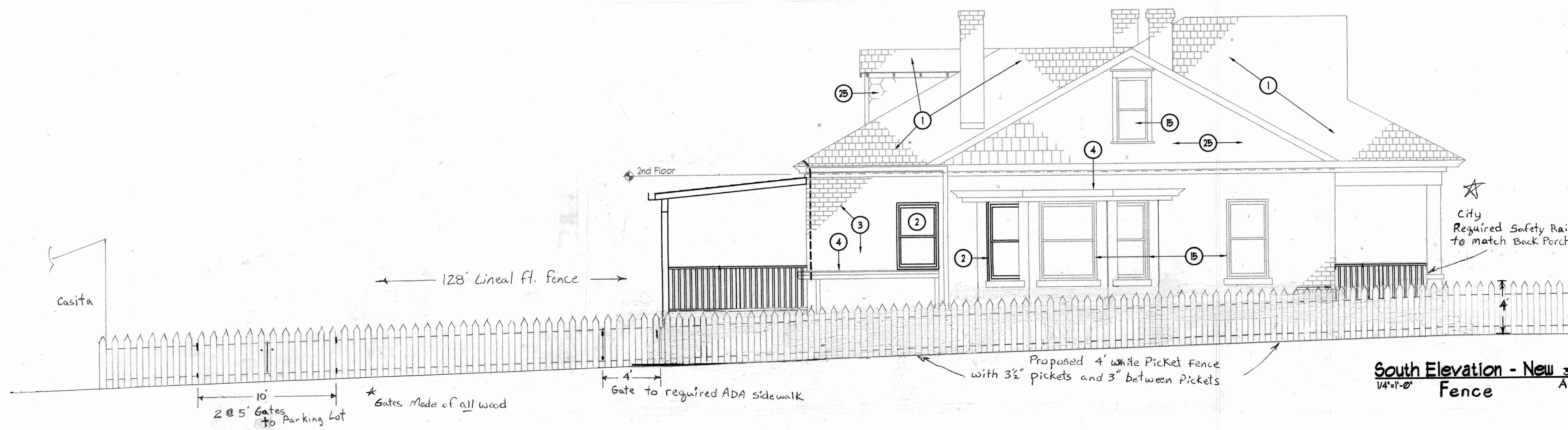
South Elevation - Demolition 1
 1/4"=1'-0" A4



South Elevation - New 2
 1/4"=1'-0" A4



South Elevation - Porch New 4
 3/8"=1'-0" A4



South Elevation - New Fence 3
 1/4"=1'-0" A4

General Notes:

1. PAINT ALL EXTERIOR TRIM SHERWIN WILLIAMS SUBS01 CREAM & SUGAR

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Project Title	
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Proj. No.	202118
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Revisions	Architect
	10/3/22

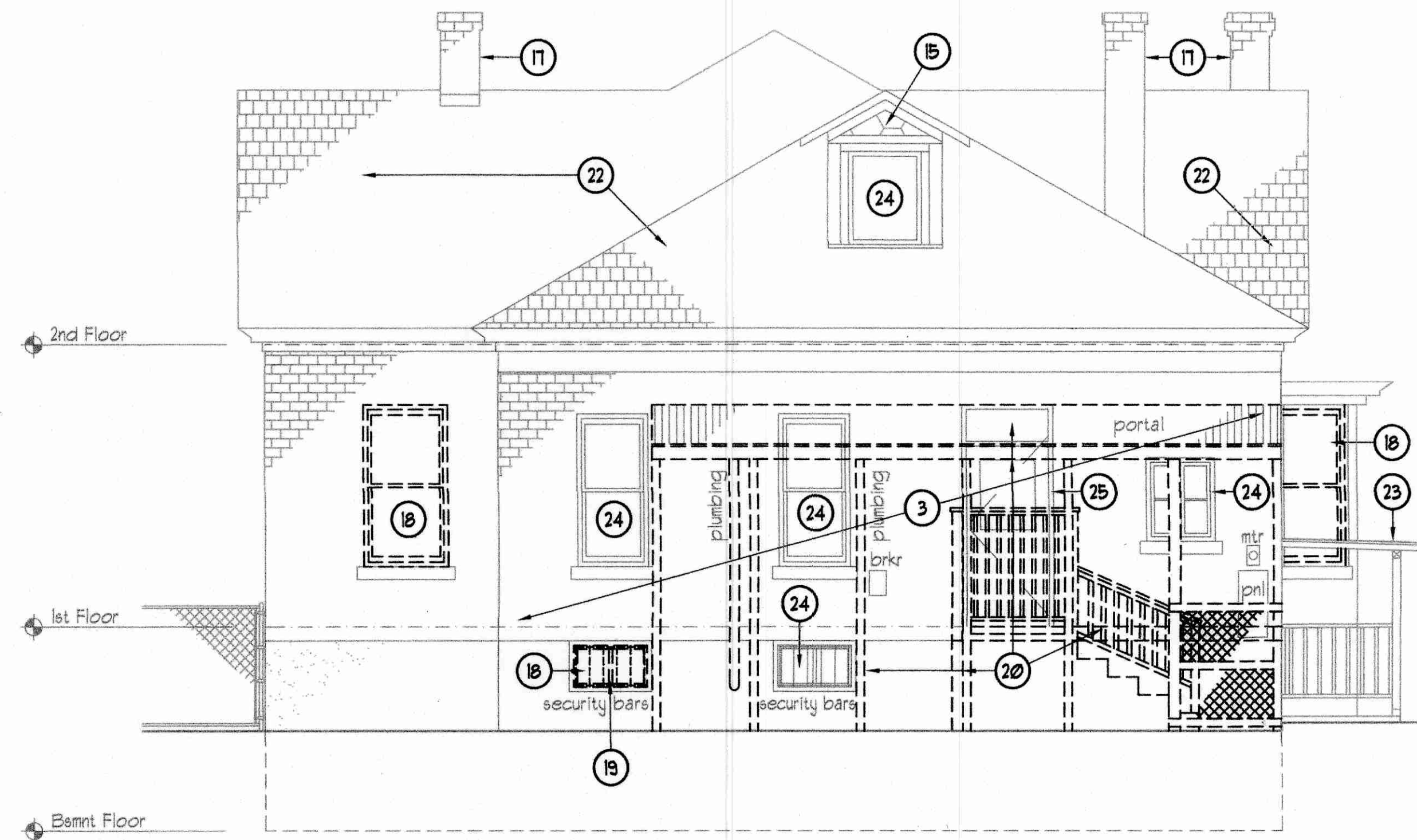


SOUTH ELEVATION - DEMOLITION,
 SOUTH ELEVATION - NEW,
 WEST ELEVATION - DEMOLITION,
 WEST ELEVATION - NEW,
 SOUTH ELEVATION - PORCH NEW

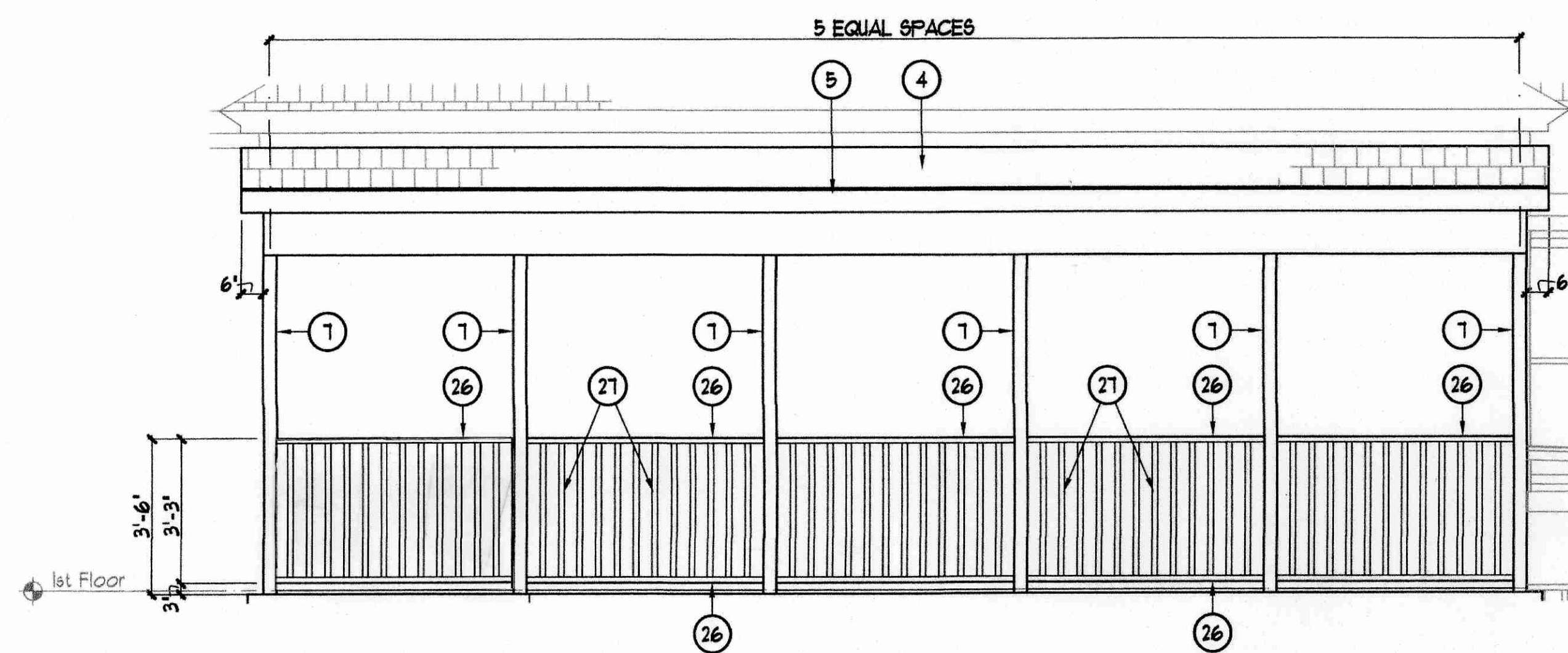
A4

Keyed Notes A5:

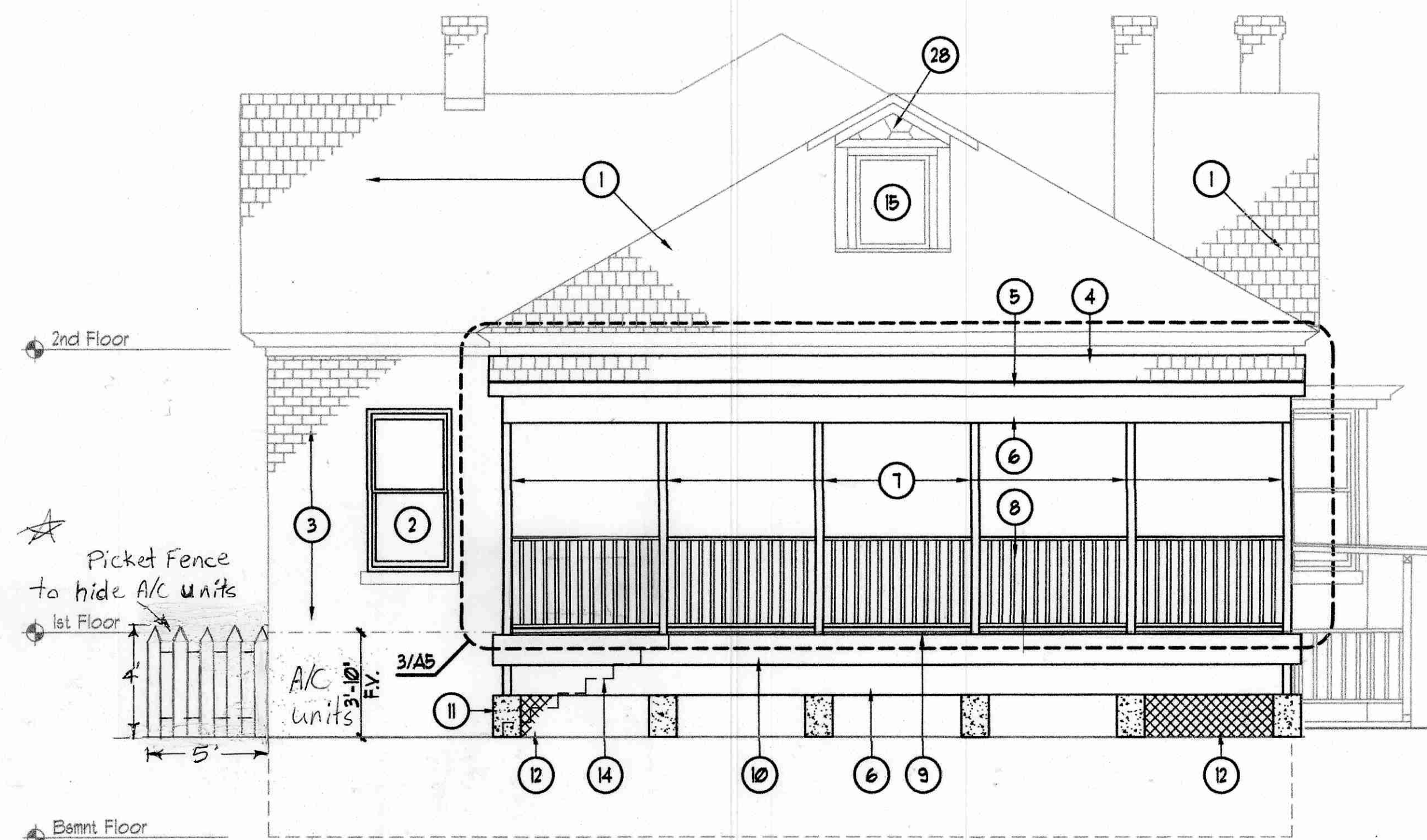
1. NEW METAL ROOFING, TYPICAL, SEE SPECS.
2. NEW WINDOWS, TYPICAL. SEE SHEET A2.
3. CLEAN EXISTING BRICK, TYPICAL.
4. NEW ROOFING OVER SHEATHING.
5. GUTTER PAINTED WHITE, DOWNSPOUT EACH END DOWN COLUMN.
6. BEAM, SEE STRUCTURAL.
7. 6X6 WOOD COLUMN OR POST, SEE STRUCTURAL.
8. DENOTES GUARDRAIL, SEE 13/A9 AND 14/A9.
9. DECKING.
10. HEADER JOIST, SEE STRUCTURAL.
11. CONCRETE PEDESTAL, SEE STRUCTURAL.
12. LATTICE AROUND PERIMETER OF DECK, PAINT WHITE.
13. NOT USED.
14. STAIR DASHED FOR CLARITY.
15. REMOVE EXISTING METAL MATERIAL.
16. NOT USED.
17. EXISTING CHIMNEY TO REMAIN, SEE STRUCTURAL.
18. REMOVE EXISTING WINDOWS, TYPICAL.
19. REMOVE SECURITY BARS, SALVAGE FOR REUSE.
20. REMOVE EXISTING PORTAL AND STAIR COMPLETE.
21. NOT USED.
22. REMOVE EXISTING METAL ROOFING.
23. REMOVE EXISTING ROOFING.
24. EXISTING WINDOWS TO REMAIN.
25. EXISTING DOOR TO REMAIN.
26. 2X4 TOP AND BOTTOM RAIL. SEE 13/A9 AND 14/A9.
27. 2X2 WOOD PICKETS SPACED TO REPEL A 4" DIAMETER SPHERE, SEE 13/A9 AND 14/A9.
28. INSTALL ROOFING MATERIAL OVER 1 LAYER ASPHALT ROOFING FELT.



West Elevation - Demolition 1
 1/4"=1'-0" A5



West Elevation - Porch New 3
 3/8"=1'-0" A5



West Elevation - New Picket Fence 2
 1/4"=1'-0" A5

General Note:

1. PAINT ALL EXTERIOR TRIM SHERWIN WILLIAMS SWS501 CREAM & SUGAR.

100% Construction Documents

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 Santa Fe, New Mexico 87505

Project Title

Drawn JA/EB Checked KEG
 By

Proj. No. 202118 Date 10/3/22

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Revisions



10/3/22
 Architect engineer

WEST ELEVATION - DEMOLITION,
 WEST ELEVATION - NEW,
 WEST ELEVATION - PORCH NEW

A5

Sheet Title Sheet 12 of 29