



# City of Santa Fe

Land Use Department | Historic Preservation Division

**Plan Number:** 2024-009372--HDRB

**Project Description:** 2024-009372-HDRB, 1182 Cerro Gordo Rd., Downtown & Eastside Historic District, Contributing and no-historic status, High Desert Contractors LLC, agent for Lanalee Lewis Rev. Trust, owner, requests a status review with primary façade designation, if applicable, for an accessory structure.

**Project Location(s):** 1182 CERRO GORDO RD  
Santa Fe, NM 87501

**Contacts:**

Applicant: M Kay  
1660 OLD PECOS TRL B  
Santa Fe, NM 87505

mkay@hdc.contractors

Property Owner: Lisa A Falls  
1184 Cerro Gordo RD  
Santa Fe, NM 87501

lafalls@aol.com

**Historic District:** HD: Downtown And Eastside

**Historic Building Status:**

Non-Statused: True    Non-Contributing: True    Contributing: False    Significant/Landmark:

**Primary Elevations:**

**Publicly Visible Facade-East:**

**Publicly Visible Facade-North:**

**Publicly Visible Facade-South:**

**Publicly Visible Facade-West:**

**Historic District Inventory Number:** 1983 and 2024

**Year of Construction:** btwn 1948 and 1960

**Project Type:** Historic Status Review

**Historic Building Name:**

# City of Santa Fe, New Mexico

# memo

**DATE:** November 26, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Lani McCulley, Senior Planner, Historic Preservation Division

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**2024-009372-HDRB, 1182 Cerro Gordo Rd., Downtown & Eastside Historic District, Contributing and no-historic status, High Desert Contractors LLC, agent for Lanalee Lewis Rev. Trust, owner, requests a status review with primary façade designation, if applicable, for an accessory structure.**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: 2024 HCPI

**STAFF RECOMMENDATION:**

Staff recommend the historic status of the accessory structure be designated as significant, the upper retaining walls be designated as contributing, and the lower retaining wall at the acequia be designated as contributing per 14-5.2(C) Designation of Significant and Contributing Structures.

**BACKGROUND & SUMMARY:**

The single-family residence at 1182 Cerro Gordo is listed as contributing to the Downtown and Eastside Historic District. Tucked behind and below the grade of the residence sits an accessory structure which does not currently have a designated status. Further to the rear of the property at the bottom is an archaeological remnant of *Acequia de la Muralla*. The acequia does not have a distinct channel profile and is mainly identified by the short retaining wall to the north and the

vegetation that grows along its path. Acequias in the Cerro Gordo neighborhood speak to the cultural history of the neighborhood in that the Cerro Gordo community was mostly agricultural in character. The acequia should be preserved and not impacted by this or any other future development on the site.



Figure 1: Remnant of *Acequia de la Muralla* with retaining wall to the right

To the rear of the residence there are several sections of stone retaining walls holding back the slope upon which the house sits. The most extensive of these is 80 linear feet roughly 6' high wall section located directly below the house. The east section is built with local, undressed stone, mostly quartzite, laid in random courses. The exposed mortar is made of cement. The west section, which is situated lower on the slope, consists of more uniform, block-like stones arranged in regular courses at its east end. This section appears to be of heavier construction, with supporting end piers, and has been repointed with cement mortar. This portion does not appear on the 1978 aerial. The end of the wall at the west consists of dry-laid river cobbles. Part of the upper retaining wall is visible in a 1960 aerial photograph. The origin of the other walls is unclear.



Figure 2: Upper retaining wall which shows in the 1960 aerial photograph

Attached to the upper retaining wall is a three-walled stone accessory structure of indeterminate age, designated on plat maps as the “Rock Shed.” The stone structure does not appear in the 1948 aerial photograph, however a structure in this relative location is shown on the 1960 aerial.



Figure 3: 1960 Aerial showing the shed structure location

The structure, which is roughly 84 square feet, is made of quartzite and other local and imported stones. The main pattern consists of medium-sized flat and oblong stones with smaller rocks filling the gaps between them. These rest on a base of smaller rocks and cobbles. The stones are laid in mud mortar with cement patching at the window and top of the wall. The southeast corner is made of much larger stones, arranged almost like cornerstone supports. The rocks of the upper courses near the roofline are from a different source and are tabular. The entrance to the structure is on the east through double wood doors of an older vintage. The interior is one room with an earthen floor and a new wood joist ceiling created by a deck above it. Staff notes this deck is the subject of a red tag issued on the property for work without a permit. The roof previous to the recent deck

structure was constructed of red metal. The walls are partially mud-plastered, with sections that may be reconstructed or shored up with additional stones.



Figure 4: Exterior of the Shed



Figure 5: Stone shed structure interior



Figure 6: Previous red panel roof on the shed

The applicant requests:

- 1) Status review with primary façade designation, if applicable, for an accessory structure.
- 2) Status designation for retaining walls.

These types of stone structures were located throughout the development of Cerro Gordo Road. The most outstanding of which is a garage located at 1666 Cerro Gordo Road and the stone church across from 1163 Cerro Gordo, across from 1588 Cerro Gordo, and at 1666 ½ Cerro Gordo. Each of these structures have contributing or significant status. In addition to the buildings there are a significant number of rock retaining walls, most of which remain unstatused. The structures vary in size and material based on the location along the road and the acequias. This storage shed is typical of a shed from the era in which it was constructed and has been well maintained over the years partially due to the metal roof which protected it from weather damage. Due to the character of the structure, staff recommends it be designated as significant so that the whole structure would be preserved.

#### **RELEVANT CODE CITATIONS:**

#### **14-5.2 HISTORIC DISTRICTS**

##### **(A) General Provisions**

- (1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

**(C) Regulation of Significant and Contributing Structures in the Historic Districts**

(Ord. No. 2004-26)

**(1) Purpose and Intent**

It is intended that:

- (a) Each *structure* to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical *development*, such as the addition of conjectural features or architectural elements from other *buildings*, shall not be undertaken;
- (b) Changes to *structures* that have acquired historic *significance* in their own right shall be retained and preserved, recognizing that most *structures* change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a *structure* be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic *property* and its environment would be unimpaired.

**(2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts**

**(a) Status Designation**

*Structures* within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of *structures* located in the Historic Districts.

**(b) Board Authority to Review Status Designation**

- (i) The Board is authorized to change the status of a *structure* or to designate a status for a *structure* with no status designated.
- (ii) A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

**14-12 Contributing Structure:**

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

**14-12 Noncontributing Structure:**

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.

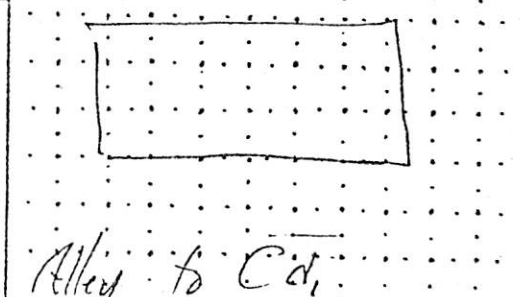
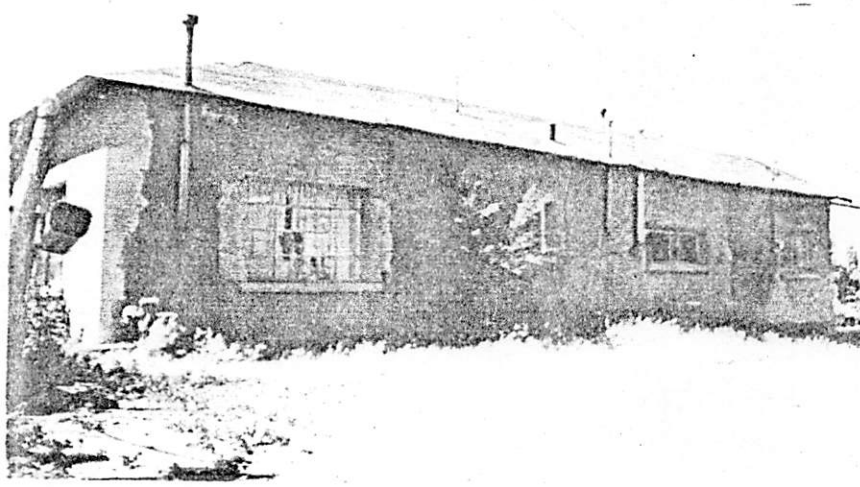
**14-12 Primary Façade:**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

**APPROVED AS TO FORM BY THE PLANNING AND LAND USE DEPARTMENT:**

Title	Name	Initials
Department Director	Heather Lamboy	
Assistant Department Director	Maggie Moore	MEM
Planning Manager	Gary Moquino	GM
Planner Senior	Lani McCulley	LJM

building threatened? yes	surveyed date 7-7-83 by mb	county Santa Fe	ID no. 051600644	#1334
field map Santa Fe, New Mexico	number 1	UTM reference easting zone 12 13		northing
location description 1180 Cerro Cordo			city/town Santa Fe	
building name Vigil			legal description T17 N 5 range 10 E 7 sec 30 NE 1/2 NW 1/2	
film roll by W no. 28	negative nos. 31	loc of neg. HPB	plan shape ↓	



date of construction  
Pre 1928 estimate \_\_\_\_\_ actual \_\_\_\_\_

source  
Directory

use  
present residential  
other \_\_\_\_\_

historic residential  
other \_\_\_\_\_

condition  
\_\_\_ excellent \_\_\_ good  
\_\_\_ fair \_\_\_ deteriorating

degree of remodeling  
 minor  moderate \_\_\_ major

describe:  
Reset windows

surroundings  
Res

relationship to surroundings  
\_\_\_ similar \_\_\_ not similar

district potential  
 yes \_\_\_ no

significance  
\_\_\_ eligible  of \_\_\_ none

if eligible interest

why?

associated buildings? \_\_\_ yes  
what type?

if inventoried, list ID nos.

see back? \_\_\_ yes

style  
Mountain Vernacular

foundation material  
Concrete

wall material/surface  
Stucco

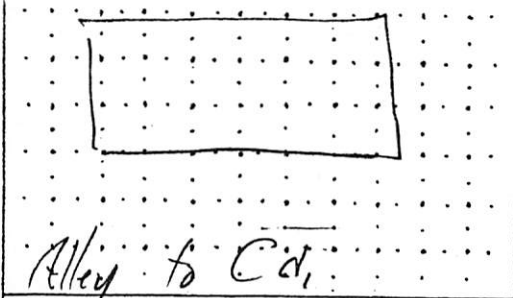
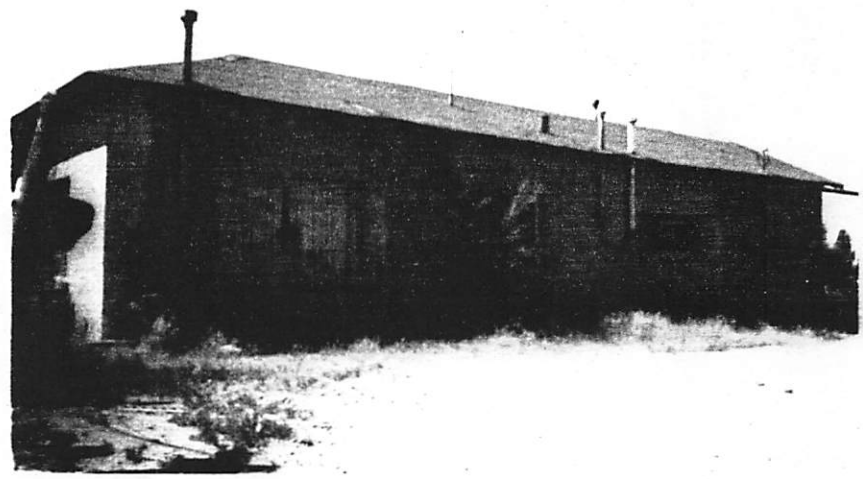
architectural features  
Windows - 3 lite steel casement w/ final concrete sill  
1 lite over - alum's edge  
Roof - hipped roll roofing  
4 metal pipe/vents - visible

comments

Street scope  
wall  
hedge  
wire fence  
landscaping  
street trees  
stone curb  
D set back  
200sq ft

*[Handwritten signature]*

building threatened? yes	surveyed date 7-7-83 by mb	county Santa Fe	ID no. 051600644
field map number Santa Fe, New Mexico 1	UTM reference easting northing zone 12 13		
location description		city/town Santa Fe	
1180 Cerro Cordo		<del>land grant/reservation</del>	
building name: Vigil	legal description tnspl 7 N R range 10 E R sec 30 NE 1/4 NW 1/4		
film roll by M no. 28	negative nos. 31	loc of neg. HPB	plan shape ↓



date of construction Pre 1928 estimate \_\_\_\_\_ actual \_\_\_\_\_

source Directory

use present residential other \_\_\_\_\_ historic residential other \_\_\_\_\_

condition excellent  good fair \_\_\_\_\_ deteriorating \_\_\_\_\_

style Mountain Vernacular	foundation material Concrete	degree of remodeling <input checked="" type="checkbox"/> minor <del>moderate</del> major
	wall material/surface Stucco	describe: Reset windows
architectural features	Windows - 3 lite steel casement & fixed concrete sill 1 lite over - alum' sldg, Roof - hipped roll roofing 4 metal planters - fig tree	surroundings Res
		relationship to surroundings similar _____ not similar _____
		district potential <input checked="" type="checkbox"/> yes _____ no _____
		significance eligible <input checked="" type="checkbox"/> of _____ none _____
comments	wall	if eligible interest
Street scope hedge w/ fence wood frame landscape street trees stone curb to set back acacia		why?
		associated buildings? yes _____
		what type?
		if inventoried, list ID nos.
		see back? _____ yes _____

*M. J.*

# **HIGH DESERT CONTRACTORS, LLC**

**License: 397335**

**P.O. Box 33136**

**Santa Fe, New Mexico 87594**

**1660 Old Pecos Trail, Suite B**

**Santa Fe, New Mexico 87505**

**Telephone: (505) 986-8515**

**[www.hdc.contractors](http://www.hdc.contractors)**

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October 28, 2024

To Whom this May Concern:

This is a proposal letter asking for a status review of the shed and the primary façade for the contributing structure located at 1182 Cerro Gordo Road.


Thank you,

M Kay  
High Desert Contractors

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

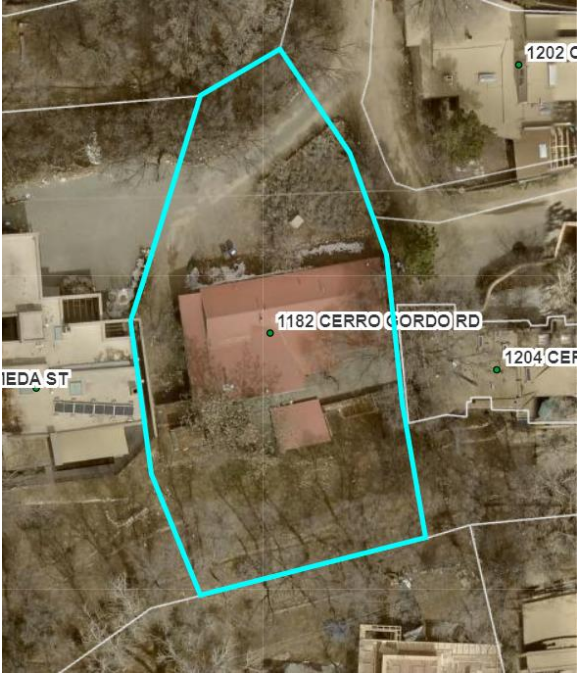
Date of Form: September 20, 2024 -F X

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Juan Pedro Williams/ Acencio and Dolores Vigil/ Juan José and Lettie Vigil House	<b>2. Location:</b>  1182 Cerro Gordo Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-1334  <b>4. County:</b> Santa Fe Parcel # 910005068
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 house <input checked="" type="checkbox"/> Structures: Stone walls and attached structure <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> September 14, 2024		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: July 7, 1983, Michael Belshaw <input checked="" type="checkbox"/> No: stone structure and retaining walls		
<b>8. Name of Project:</b> HDRB Status Evaluation		
<b>9. Lat/Long:</b> 35.6815058,-105.9190395		
<b>10. Photo Information:</b> Giulia Caporuscio, photographer. Photo 1: View of north and west elevations. Camera facing southeast. The west portal is not historic.		
<b>11. Brief Description of the Property:</b>  This former farmhouse sits approximately 200' south of Cerro Gordo Road, at the top of a steep escarpment descending to the Santa Fe River (Fig. 1). It is approached by a private gravel drive, giving access to several newer homes that crowd around it. Before these homes, the house sat alone on this brow overlooking the Santa River valley. There are several stone-retaining walls of unknown vintage near the house. A crude stone structure likely dating from the mid-20th century is attached to one of these walls. At the bottom of the property is an archaeological remnant of <i>Acequia de la Muralla</i> . Per the Santa Fe County Assessor data, the house encloses 1,746 square feet containing two bedrooms and 1.5 baths.		
<i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b>		
<b>13. Construction Date:</b> Date: Before 1914 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: hydrographic survey map (Fig. 3).		
<b>14. Setting:</b> <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

**16. Additional Perspective:** (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines are not accurate*



**17. Surveyor:**  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
 w/ Giulia Caporuscio

For: Lanalee Lewis Revocable Trust

**18. Owner (if known) and other knowledgeable people:**

Current owner: Lanalee Lewis Revocable Trust  
 N/A

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

**22. National or State Register:**

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

**23. National or State Historic District: City of Santa Fe**

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing: house  Non-contributing  No Status: Stone structure and retaining walls  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

**24. Supplemental Forms:**

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D																																
<b>1. Name of property:</b>  Juan Pedro Williams/ Acencio and Dolores Vigil/ Juan José and Lettie Vigil House		<b>2. Location:</b>  1182 Cerro Gordo Road Downtown and Eastside Historic District -Santa Fe		<b>3. Local Reference Number:</b> Santa Fe ID: H-1334  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> September 14, 2024																																
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																				
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				<b>7. Number of Stories:</b> <u>  </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <u>  </u> 2 1/2 <input type="checkbox"/> Other: _____  <b>8. Foundation:</b> <u>  </u> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <u>  </u> Stone Other: Notes  <b>9. Roof:</b> <u>  </u> N/A  Shape: <input checked="" type="checkbox"/> Flat <input checked="" type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed <input type="checkbox"/> Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input checked="" type="checkbox"/> Metal: ribbed panel, red <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Casement</td> <td>Clad Wood</td> <td>4</td> <td>1</td> </tr> <tr> <td>Casement</td> <td>Clad Wood</td> <td>6</td> <td>5</td> </tr> <tr> <td>Casement</td> <td>Clad Wood</td> <td>8</td> <td>7</td> </tr> <tr> <td>Casement</td> <td>Clad Wood</td> <td>10</td> <td>2</td> </tr> <tr> <td>Awning</td> <td>Clad Wood</td> <td>4</td> <td>2</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Casement	Clad Wood	4	1	Casement	Clad Wood	6	5	Casement	Clad Wood	8	7	Casement	Clad Wood	10	2	Awning	Clad Wood	4	2	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>6-Light</td> <td>Clad Wood</td> <td>1</td> </tr> </tbody> </table>			Type	Style	Material	Number	Single-Leaf	6-Light	Clad Wood	1
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Casement	Clad Wood	4	1																																	
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Type	Style	Material	Number																																	
Single-Leaf	6-Light	Clad Wood	1																																	
<b>12. Chimneys</b> <input checked="" type="checkbox"/> <u>  </u> N/A		<b>13. Porches</b> <input checked="" type="checkbox"/> <u>  </u> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input checked="" type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																		
<b>14. Other Significant Features</b> N/A																																				
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <u>  </u> No known modifications  <u>See Summary of Changes</u>																																				

16. Primary Architectural Style      Not Applicable

- |   |                            |                             |                              |                                    |
|---|----------------------------|-----------------------------|------------------------------|------------------------------------|
| <u>    </u> Art Deco/Streamline Moderne | <u>    </u> Gothic Revival | <u>    </u> Mission Revival | <u>    </u> Pueblo           | <u>    </u> Spanish-Pueblo Revival |
| <u>    </u> Bungalow/Craftsman          | <u>    </u> International  | <u>    </u> Neo-Classical   | <u>    </u> Queen Anne       | <u>    </u> Territorial            |
| <u>    </u> Colonial Revival            | <u>    </u> Italianate     | <u>    </u> Northern NM     | <u>    </u> Ranch            | <u>    </u> Territorial Revival    |
| <u>    </u> Folk Victorian              | <u>    </u> Mediterranean  | <u>    </u> Prairie         | <u>    </u> Spanish-Colonial | <u>    </u> Tudor Revival          |

Notes:      Other: Vernacular, farmhouse with Craftsman-style porch

17. Documents Available and Their Locations

Historic Preservation Division  
 Land Use Department  
 City of Santa Fe  
 200 Lincoln Avenue  
 Santa Fe, NM 87504  
 (505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

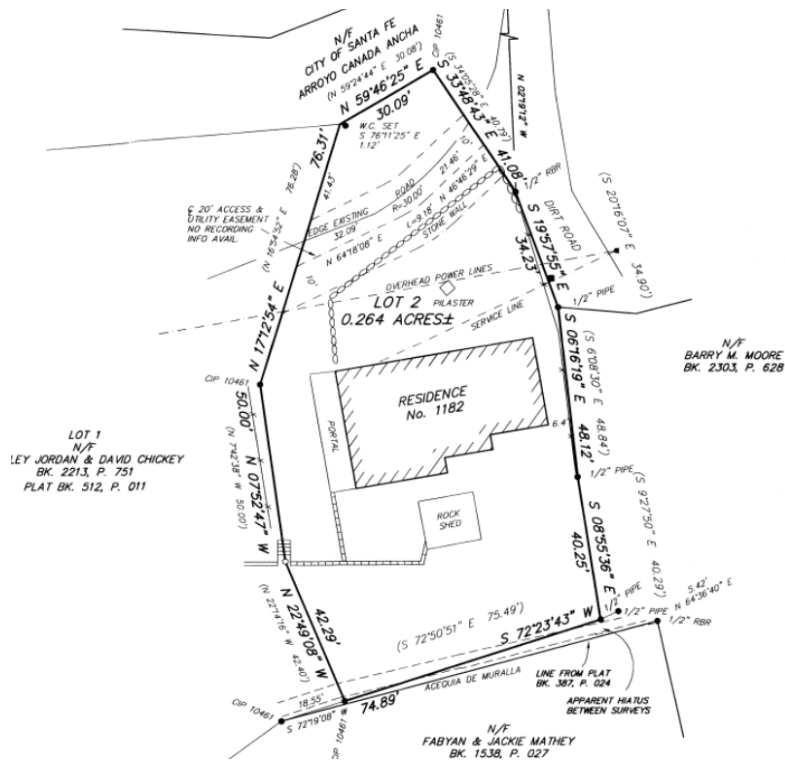
Archaeological Records Management Section  
 Laboratory of Anthropology  
 708 Camino Lejo  
 Santa Fe, NM 87501  
 (505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of 2005 boundary survey map. Courtesy Del Rio Surveys, Inc.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP _____	SRCP _____	Criteria A B C D	
<b>1. Name of property:</b>  Juan Pedro Williams/ Acencio and Dolores Vigil/ Juan José and Lettie Vigil House	<b>2. Location:</b>  1182 Cerro Gordo Road Downtown and Eastside Historic District -Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-1334			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> September 14, 2024			

## Architectural Description Continued

### Summary of Changes

Constructed before 1914, the original Juan Pedro Williams home had a C-shape plan, typical of a 19th-century Hispanic farmhouse (Fig. 3). The pitched roof building had hipped connections, where the wings met the core block at the north. These short wings created a courtyard that likely was enhanced in the winter with solar gain. This ground plan and roof form remained through the early 1960s (Fig. 6).

Between 1960 and 1966, a flat roof addition was constructed between the wings, lessening the size of the courtyard (Fig. 7). By 1973, the hipped connection at the west side of the building had been simplified to a gable end (Fig. 8). By 1978, the west wing had been widened and extended southward, joining with the flat roof addition and removing the entire historic courtyard (Fig. 9).

Between 1998 and 2005, a portal was installed across the west elevation, introducing a non-historic Craftsman element to the vernacular home (Fig. 11 & Field 19). In 2007, all of the house’s fenestration was changed.<sup>1</sup>

### House

The original house, built possibly in the 19th century, consisted of a C-shaped ground plan facing south. This plan, as summarized above, has been considerably altered. The home’s south direction points to a traditional idea of solar orientation. Adobe homes with this ground plan were positioned southward to catch the afternoon solar gain during the winter. The “arms” enclosed this warmth and created a courtyard. More intact examples of these climatically adapted C-plan farmhouses are found further up the canyon at 1320 and 1325 Cerro Gordo Road.

### North Elevation

The long north side of the building faces a gravel parking court with a flat façade penetrated by various windows (Photos 1 & 2). The windows, of different sizes and

<sup>1</sup> RPA & Associates, LLC., Historic Assessment No. 150824-HA, August 15, 2024.

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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operations, are all recent: c.2007 Marvin white-clad, single divided-light wood units. These same windows are found throughout the house. The older openings have heavy lug sills that have been stuccoed. One opening, the second from the west at the kitchen, appears to have been significantly reduced in size and is missing its sill (Fig. 10). The roof has a medium-pitch and is covered with red ribbed metal panels.

### **West Elevation**

A recent porch defines the west elevation (Photos 3 & 4). The 238-square-foot structure, spanning the entire façade, was constructed between 1998 and 2011 (Fig. 11). With its bulky square posts and shed roof, it gives the feeling of a Craftsman-style house. A glass door and paired casement windows penetrate the wall (Photo 5). Neither are original.

### **South and East Elevations**

The south elevation, perched at the top of the slope, has experienced more change. It begins at the west end with a projected gable (Photo 6). Somewhere between 1973 and 1978, the original west wing was widened and extended southward, creating this façade (Figs. 8 & 9). This alteration removed the last vestige of the historic patio. Moving eastward, one encounters a flat-roof addition constructed between 1960 and 1966 (Photos 7 & 8). It has a pronounced overhang and the same white-clad windows found elsewhere in the house.

The surviving east wing of the original C plan sits back four feet from the 1960s addition (Photo 9). Its gable end is simple, containing only one window. Rounding the corner is the east elevation with its single window (Photo 10). A *contra pared* traces the outline of the unaltered wing.

### **Stone Structure and Retaining Walls**

Several sections of stone retaining wall help hold back the slope. The most extensive of these is a roughly 6' high wall section located directly below the house. Part of this section (the upper retaining wall) is visible in a 1960 aerial photograph (Fig. 6). The origin of the other walls — given their lesser construction and tree cover in aerial photographs — is unclear. Attached to the upper retaining wall is a three-walled stone structure of indeterminate age, designed on plat maps as the “Rock Shed.”

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### Upper Retaining Wall

The wall extends 80 feet across the property from east to west. It is divided into two sections, with a stone structure or shed located roughly in the middle. The wall has an average height of 6 feet. The east section is built with local, undressed stone — mostly quartzite — laid in random courses (Photo 10). The exposed mortar is made of cement. The west section, which is situated lower on the slope, is constructed differently. It consists of more uniform, block-like stones arranged in regular courses at its east end (Photo 11). This section appears to be of heavier construction, with supporting end piers, and has been repointed with cement mortar. This portion does not appear on the 1978 aerial (Fig. 9). The end of the wall at the west is of different construction, consisting of dry-laid river cobble (Photo 12).

### Stone Structure (Rock Shed)

A stone structure is attached to the eastern part of the upper wall (Photos 13 & 14). The building, which is roughly 84 square feet, is made of quartzite and other local and imported stones laid in irregular and straight courses. The change in the types of stone and coursing indicates it was built in several phases.

The main pattern consists of medium-sized flat and oblong stones with smaller rocks filling the gaps between them (Photo 15). These rest on a base of smaller rocks and cobbles. The stones are laid in mud mortar with cement patching at the window and top of the wall (Photo 16). The southeast corner is made of much larger stones, arranged almost like quoins. This heavier construction may be of a different construction period (Photo 14). The rocks of the upper courses near the roofline are from a different source and are tabular, suggesting that the structure was raised in height (Photos 13-15).

It is entered on the east through double wood doors of an older vintage (Photo 13). The interior is one room with an earthen floor and a new wood joist ceiling created by a deck above it (Photo 17). The walls are partially mud-plastered, with sections that may be reconstructed or shored up with additional stones.

The stone structure does not appear on the 1948 aerial photograph (Fig. 5). A structure in this relative location is shown on the 1960 aerial but is smaller and narrower (Fig. 6). It achieved its current size and shape by 1966 (Fig. 7).

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### Acequia Remnant

A remnant alignment of Ditch No. 8, also known as *Acequia de la Muralla*, runs along the bottom of the lot (Photo 18). The ditch does not have a distinct channel profile and is mainly identified by the short retaining wall to the north and the vegetation that grows along its path.

### Historical Overview

#### Cerro Gordo – Above the Santa Fe River

After the Pueblo Revolt and Reconquest in the late 17th century, Spanish settlers returned to *La Villa Real de la Santa Fe de San Francisco de Asís*, seeking to reestablish their holdings. Additional colonists arrived in the early 18th century, finding most of the better tracts around the Plaza had already been claimed. Many of the newer settlers fanned out along the Santa Fe River, looking for suitable land to establish a family farm. One of these was José Antonio Lucero.

*Cerro Gordo* (the fat hill) falls within the José Antonio Lucero Grant, a land grant awarded in 1732 by Colonel Don Gervasio Cruzat y Góngora, the governor and captain-general of New Mexico. Lucero petitioned for land outside of the official pueblo (city) grant to be “sufficiently large to permit the planting of two fanegas (an unspecified size of land) of corn.”<sup>2</sup>

Taking possession of it in October 1732, Lucero found the grant much smaller than requested. Despite its deficiency, he and his descendants worked the grant and were still in possession of it after the American conquest in 1846. Juan Lucero, who claimed to be a descendant, petitioned for confirmation of the grant in the 1880s. At its initial survey in 1885 the grant was at 700 acres and took in much of the Cerro Gordo area. But after a private court claims hearing, it was reduced to a mere nine acres.<sup>3</sup>

<sup>2</sup> Quoted in J. J. Bowden, “Antonio Lucero Grant,” (New Mexico History, New Mexico State Records and Archives Center), <https://newmexicohistory.org/2015/07/17/jose-antonio-lucero-grant>, accessed September 12, 2024.

<sup>3</sup> U.S. Court of Private Land Claims, Santa Fe District, “Jose Antonio Lucero Grant,” 1896-1898, <https://econtent.unm.edu/digital/collection/catron/id/2104>, accessed September 12, 2024.

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Starting in the 19th century, the former Lucero grant was divided into smaller tracts worked primarily as farmland (Fig. 2). By the late 19th century, most of the area south of Cerro Gordo Road near its junction with Lorenzo Road was owned by George Holmes, an Irish immigrant and stonemason. His land, as shown on the 1897-98 White’s map, stretched from the Santa Fe River northward to the south edge of Cerro Gordo Road (Fig. 2). The south portion of his land was irrigated by Ditch No. 8 (*Acequia de la Muralla*), a remnant of which exists on the property.

Holmes came to Santa Fe in 1849 as part of the American Calvary.<sup>4</sup> He served in the Union Army and married a Santa Fe native, Maria, which may explain why the land came into his possession. The 1880 census places George and Maria proximate to Juan Pedro Williams, suggesting they were neighbors.<sup>5</sup>

George Holmes died in his Cerro Gordo Road home in 1914. His heirs would subdivide the land into smaller plots. These were owned by interrelated family members bearing the Lucero, Williams, and Vigil surnames. Through this process, the subject parcel would be further reduced in size.

### Juan Pedro Williams

The first view of the property is provided in the 1914 hydrological survey (Fig. 3). The map shows a roughly C-shaped farmhouse on land owned by Juan Pedro Williams. This residence, though highly modified, is the subject house. A few other buildings surrounded the house but did not include today’s stone structure. The land to the south, irrigated by Ditch No. 8, was being used to grow beans.

This farmstead is associated with a household documented in the 1900 federal census. The census recorded Juan Pedro Williams residing in “Upper Canyon,” another name for the upper Santa Fe River valley. Williams, the head of the household, was 46, and his wife, Felciana Sena y Williams, 38. Juan was born in New Mexico, but his father was from Kentucky; Felciana was a native of New Mexico.<sup>6</sup> Their home included five

<sup>4</sup> “Local Items [Old Soldier Dies],” *Santa Fe New Mexican*, May 13, 1914, 4.

<sup>5</sup> U.S. Census Bureau, 1880; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 804; Page: 18c; Enumeration District: 040.

<sup>6</sup> U.S. Census Bureau, 1900; Census Place: Upper Santa Fe, Santa Fe, New Mexico; Roll: 1002; Page: 11; Enumeration District: 0119.

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children aged from an infant to 22 years old. The infant, Dolores Vigil, is directly connected to 1182 Cerro Gordo Road.

Juan Pedro Williams died in his adobe farmhouse in 1925 at 75.<sup>7</sup> An affidavit recorded in 1946 indicated he, as Williams’ descendant, had been an owner of the property for many years, which at the time included more acreage.<sup>8</sup> Four years later, his siblings deeded the subject parcel to Ascencion Vigil<sup>9</sup>, the man who married Juan Pedro’s youngest daughter.<sup>10</sup>

### The Vigil House

Born about 1897, Ascencio grew up in the Pecos area, where his father, José F. Vigil, farmed. In 1925 he married Dolores Williams. The young family lived near Glorietta, where Ascencio did odd jobs and Dolores taught school.<sup>11</sup> By the 1930s, as indicated in city directories, they had moved into her father’s old farmhouse overlooking the river. They lived adjacent to her brother, Manuel Williams, and old Cerro Gordo Road friends and acquaintances. For a time, both households were given the 1182 Cerro Gordo Road address.

A deed tells us that the Vigil house was very small, consisting of just four rooms.<sup>12</sup> Still, it sheltered a burgeoning family that included Vigil’s four children. Ascencio’s parents also lived in the home. Dolores passed away in 1937, leaving Ascencio a widower.

The revised family composition was captured in 1940. It included his aging father, five children, and a nephew.<sup>13</sup> The youngest child, Juan José, born a year before his mother’s

<sup>7</sup> “Juan P. Williams,” *Santa Fe New Mexican*, February 7, 1925, 6.

<sup>8</sup> Affidavit, Elvira W. [Williams] Lujan and Tranquilino Lujan to Petrolino Armijo et al. including Juan P. Williams, recorded January 1, 1946, Book 30/Page 421, Instrument # 83439, Santa Fe County, New Mexico.

<sup>9</sup> His name appears in legal documents with various spellings (Ascencion, Ascencio, Asencion, Asensio). The decision was to go with Ascencion and Ascencio.

<sup>10</sup> Spanish Deed, Elvira Williams y Lujan and Tranquilino Lujan to Ascencio Vigil, recorded March 1, 1950, Book 35/Page 479, Instrument # 97090, Santa Fe County, New Mexico.

<sup>11</sup> U.S Census Bureau, 1930; Census Place: Glorietta, Santa Fe, New Mexico; Page: 4B; Enumeration District: 0026; FHL microfilm: 2341134.

<sup>12</sup> Warranty Deed, Ascencion Vigil to Juan Jose Johnny and Lettie Mae Vigil, recorded February 6, 1962, Book 187/Book 34, Instrument # 254505, Santa Fe County, New Mexico.

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death, would inherit the property. Ascencio’s mother, Marlillita, had died in the home in 1937; his father followed her a month after the census was taken. As was the tradition at the time, his body lay in state at the home until the funeral mass took place.<sup>14</sup> This tradition was also honored with Ascencio’s mother and wife.

Ascencio, 42, was the owner of the house, which was valued at \$200. He worked year-round as a builder, earning \$450 per annum. His brother-in-law and many interrelated families with the Martinez surname lived nearby.

Most of the men were also employed in the building industry. Because of the New Deal and its various work-relief programs, farming was no longer a central occupation for Upper Canyon residents. Farming would further decline in the war years as most young Santa Fe men (and many women) joined the armed services or moved to the West Coast to work in the war industry.

By the following decade, Ascencio had remarried. His much-younger wife, Vivianita, worked as a hotel dishwasher. Ascencio also worked as a hotel busboy.<sup>15</sup> It can be assumed the hotel was La Fonda. By this time, it was all cash work, with most of the Upper Canyon farming fields going fallow. The two children remaining at home, Antonio and Juan José, attended school. Antonio would later serve in the Marine Corps during the Korean Conflict.

### **Johnny and Lettie**

In 1962, Ascencio deeded the property and its four-room house to Juan José (now known as Johnny) and his wife, Lettie Mae Reed.<sup>16</sup> The couple had married in 1957. They divorced at some point in the 1980s and Lettie Mae returned to Albuquerque where she had grown up.

<sup>13</sup> U.S. Census Bureau, 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 15B; Enumeration District: 25-20B.

<sup>14</sup> “Obituary Notices [Jose F. Vigil],” *Santa Fe New Mexican*, May 21, 1940, 5.

<sup>15</sup> U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 2; Enumeration District: 26-19.

<sup>16</sup> Warranty Deed, Ascencion Vigil to Juan Jose Johnny and Lettie Mae Vigil, 1962.

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Johnny worked as a corrections officer at the state prison until his retirement. Later, as with many in his profession, he took a part-time job as a security officer. Driving home late from his security job at Las Campanas on the night of October 25, 2000, he was struck by an automobile driven by an ex-convict fleeing the police.<sup>17</sup> Johnny Vigil died on the scene. He was 65.

A year later, the house was cleared of its contents during a multi-day estate sale and then put on the market. It sold in 2002. With the sale, the house and land lost their century-old association with the history Upper Canyon farming and mixed Hispanic-Anglo families.

## Evaluation of Historical Status

### House

The house shown on the 1914 hydrographic map has been considerably modified along its west and south elevations. These changes began in the 1960s and continued through the 2000s.

The alterations included additional living area and mass, which changed the building’s character-defining C-shaped ground plan. In addition, a c.2000s porch on the west elevation introduced a new design that makes it appear the house is from the Craftsman period. The cumulative alterations have affected the historic integrity aspects of design, material, and workmanship, and association and feeling.

If the Board determines that the house still qualifies as a Contributing property, it is recommended to designate the north elevation as the primary façade, as it has undergone the least amount of change (aside from the plain east elevation).

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<sup>17</sup> Veronica Gonzalez, “Chase Leads to Homicide Charge,” *Santa Fe New Mexican*, October 26, 2000, 1.

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### Stone Structure and Retaining Walls

The stone walls and stone structure (or shed) reveal multiple construction periods, with the shed taking its current form only in the 1960s. The shed shows vernacular construction in some areas, primarily the south wall. Other areas show reconstruction or different stonework. The removal of the roof has further compromised its integrity. Overall, it does not seem to be a Contributing structure.

By their very nature, the retaining walls do not come under the jurisdiction of the Board, as they do not meet the definition of a Structure; something that stands “on the ground.”

### Acequia Remnant

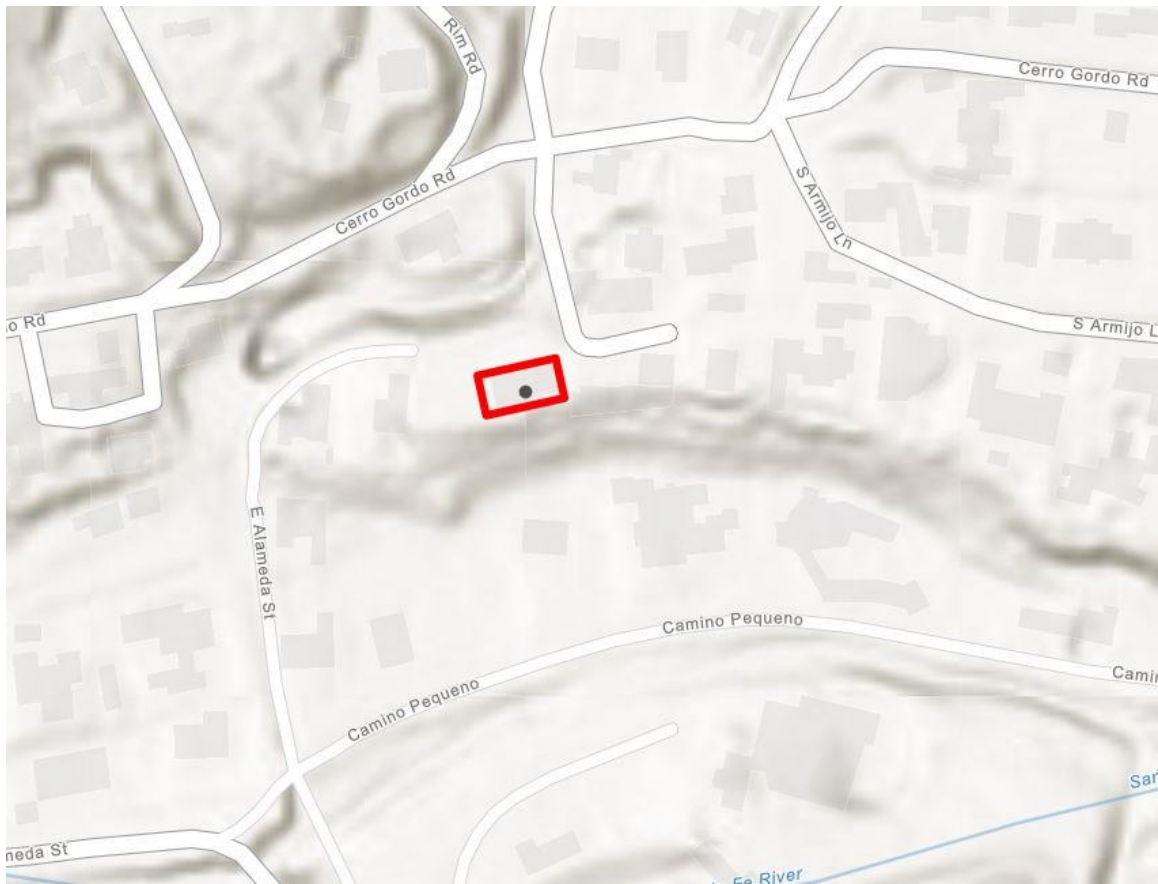
At this point, the remnant of *Acequia de Muralla* is best treated as an archaeological feature.

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### Illustrations



**Figure 1: Terrain map showing the building's siting in relation to the escarpment.**

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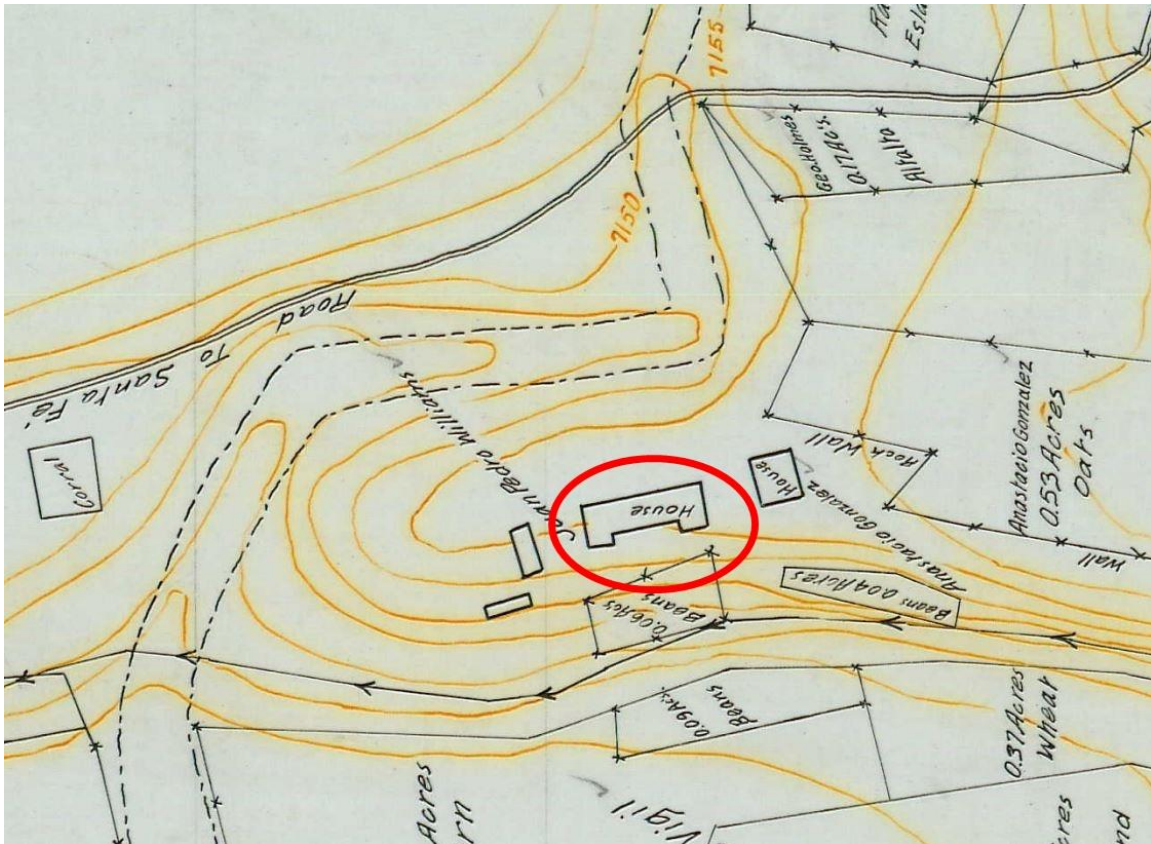


Figure 2: 1897-98 map showing the larger parcel under the ownership of George Holmes. Source: William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits," 1897-98.

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**Figure 3: Juan Pedro Williams farmhouse, c.1914. Note stone structure is not shown. Source: State Engineer’s Office, “Santa Fe Hydrological Survey,” [series of maps] (Santa Fe: State Engineer’s Office, 1914 (published 1919)).**

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**Figure 4: Subject house, 1935. Note stone structure is not shown. Source: United States Soil Conservation Service, Sheet # 1009.**

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**Figure 5: October 25, 1948, aerial photograph. Note stone structure is not shown.**

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**Figure 6: September 25, 1960, aerial photograph. Note hipped gable connection (arrow) and presence of a structure near the current day stone building (circle). Upper retaining wall and acequia are visible.**

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**Figure 7: May 2, 1966, aerial photograph. Note the flat roof addition (upper arrow) and the current stone structure (lower arrow). Noted that this structure is wider than the structure shown in Figure 6.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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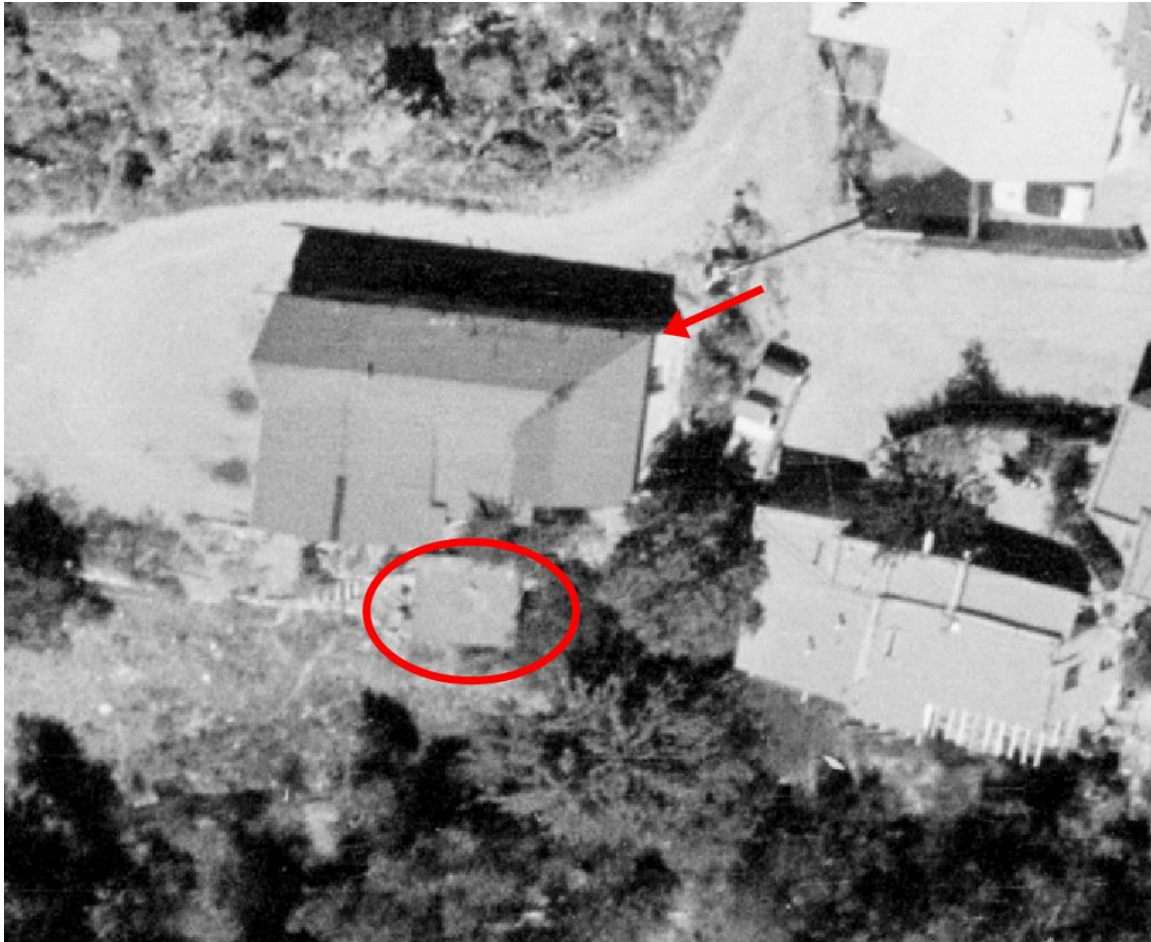


**Figure 8: May 11, 1973, aerial photograph. Note the west connection has been simplified to a gable end (circle).**

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**Figure 9: September 11, 1978, aerial photograph. Note closeness of stone structure to house (circle) and retention of hipped connection at east side of the house. Note also absence of west elevation porch and the west of the upper retaining wall.**

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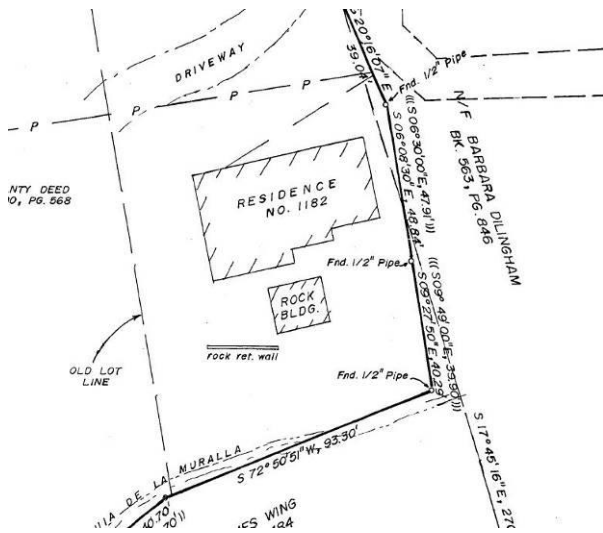


**Figure 10: Copy of July 7, 1983, HBI survey photo taken by Michael Belshaw. Note presence of steel windows and lug sill at kitchen window (circle). Courtesy of NMCRIS.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**1182 CERRO GORDO ROAD** **\$825,000**  
 Charming, historic Northern New Mexico-style adobe house nestled off quiet Cerro Gordo Lane. Totally remodeled in a simple, contemporary style. Floor plan offers office space as well as a bonus room. Nice flow to the outside.  
**Susan Shields 954-0725 #201104997**

**Figure 11: Left, 1998 survey plat, without a porch across the west elevation; right, 2011 real estate advertisement, showing recent west elevation porch addition.**

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## Survey Photographs

(All images taken by Giulia Caporuscio on September 14, 2024, unless otherwise noted).

### House



**Photo 2: North elevation. Camera facing south. M. Kay, August 14, 2024.**

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**Photo 3: West elevation. Camera facing southeast. Craftsman-style porch (highlighted) postdates 1978. M. Kay, August 14, 2024.**

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**Photo 4: West elevation. Camera facing northeast. Craftsman-style porch (highlighted) postdates 1978.**

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**Photo 5: West elevation. Entry and fenestration. Camera facing southeast.**

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**Photo 6: South elevation. Circa 1973-78 extension of west arm of historic C-shape plan. Camera facing north.**

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**Photo 7: South elevation. Circa 1960-66 addition built across courtyard at center. Camera facing north.**

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**Photo 8: South elevation. The highlighted area represents 1960s and '70s additions filling in the historic patio area. Camera facing northwest.**

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**Photo 9: East elevation oblique. This façade likely represents original, unaltered construction. Camera facing southwest.**

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**Photo 10: Stone structure (left) and upper retaining wall (right). Camera facing northwest.**

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**Photo 11: Upper retaining wall (left) and stone structure (right). Camera facing northeast. M. Kay, August 14, 2024.**

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**Photo 12: Upper retaining wall at west end. Camera facing north. M. Kay, August 14, 2024.**

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**Photo 13: Stone structure. East elevation. Camera facing west.**

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**Photo 14: Stone structure. South elevation. Camera facing northwest.**

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**Photo 15: Stone structure. South elevation. Camera facing northwest. M. Kay, August 14, 2024.**

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**Photo 16: Stone Structure. Mortar at window opening. Camera facing north.**

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**Photo 17: Stone structure. Interior. Camera facing west.**

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**Photo 18: Remnant of *Acequia de la Muralla* or Ditch No 8. Camera facing southwest.**



This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. The Red propanel material served as the stone shed's roof prior.



This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. Old, illegal coyote fence lines the backyard area. Its illegal because this fence is only 30 feet tall and poses a risk of injury or death. Also in this picture is another view of the propanel material used as a roof for the stone shed below.



**Previously  
intsalled Red,  
ProPannel Roof  
above stone  
shed below**

This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. In this picture is another view of the ProPanel material used as a roof for the stone shed below.



Figure 18: This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. In this picture is another view of the ProPanel material used as a roof for the stone shed below. Also the red arrows point out where the fencing used to be. Both picket and coyote fence were used. Both sections of fence were 30" tall



Another picture of the deck floating above the shed



Shed



Inside shed



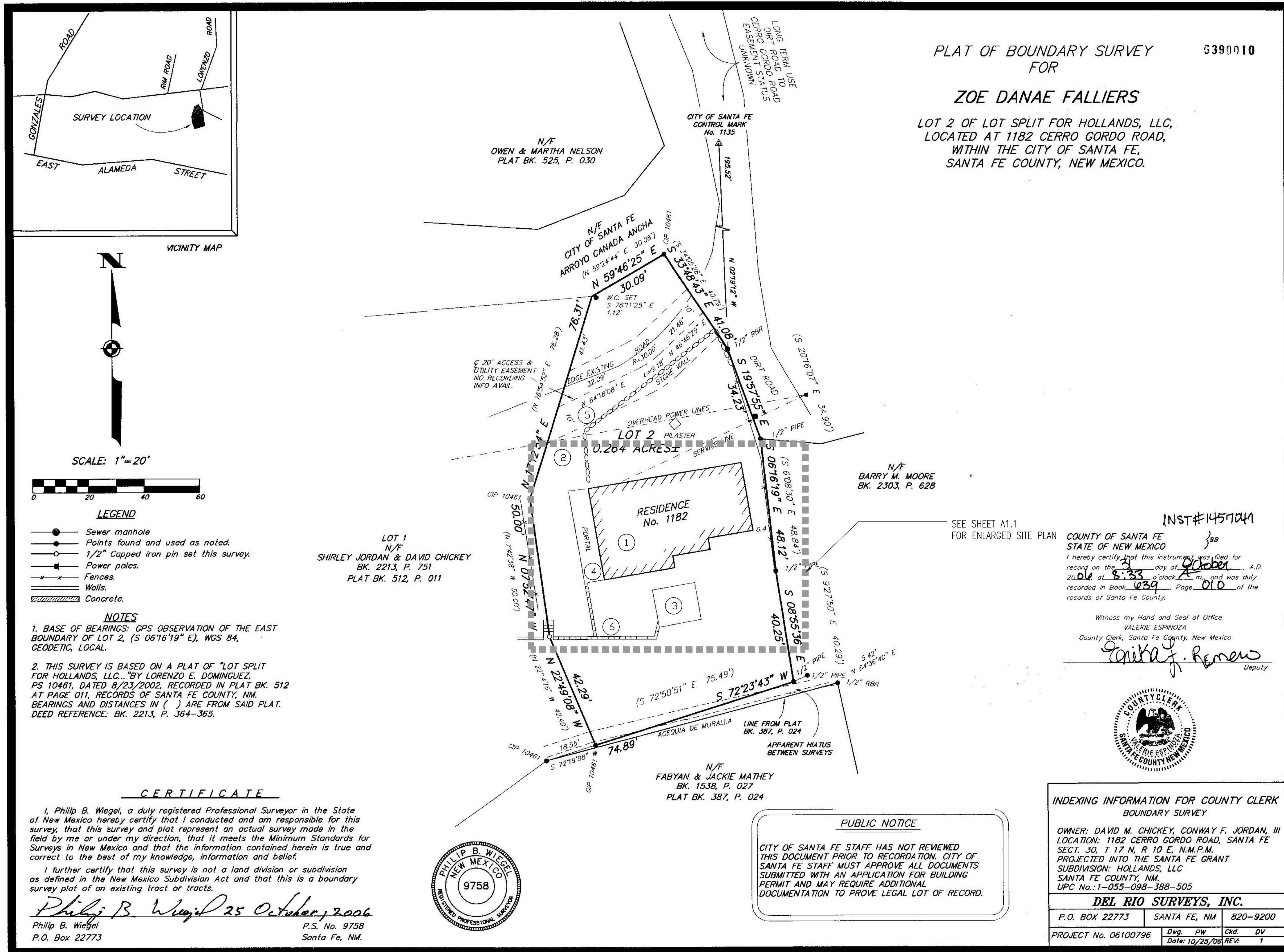
Inside shed



Outside shed

NOTES

- ① EXISTING HOUSE
- ② EXISTING DRIVE
- ③ EXISTING SHED WITH DECK
- ④ EXISTING PORTAL
- ⑤ EXISTING COYOTE FENCE
- ⑥ EXISTING YARD WALL



DECK & RAILING REHAB  
1182 CERRO GORDO  
SANTA FE NM  
87501

Issues	No.	Date	Description
	1	07/08/24	

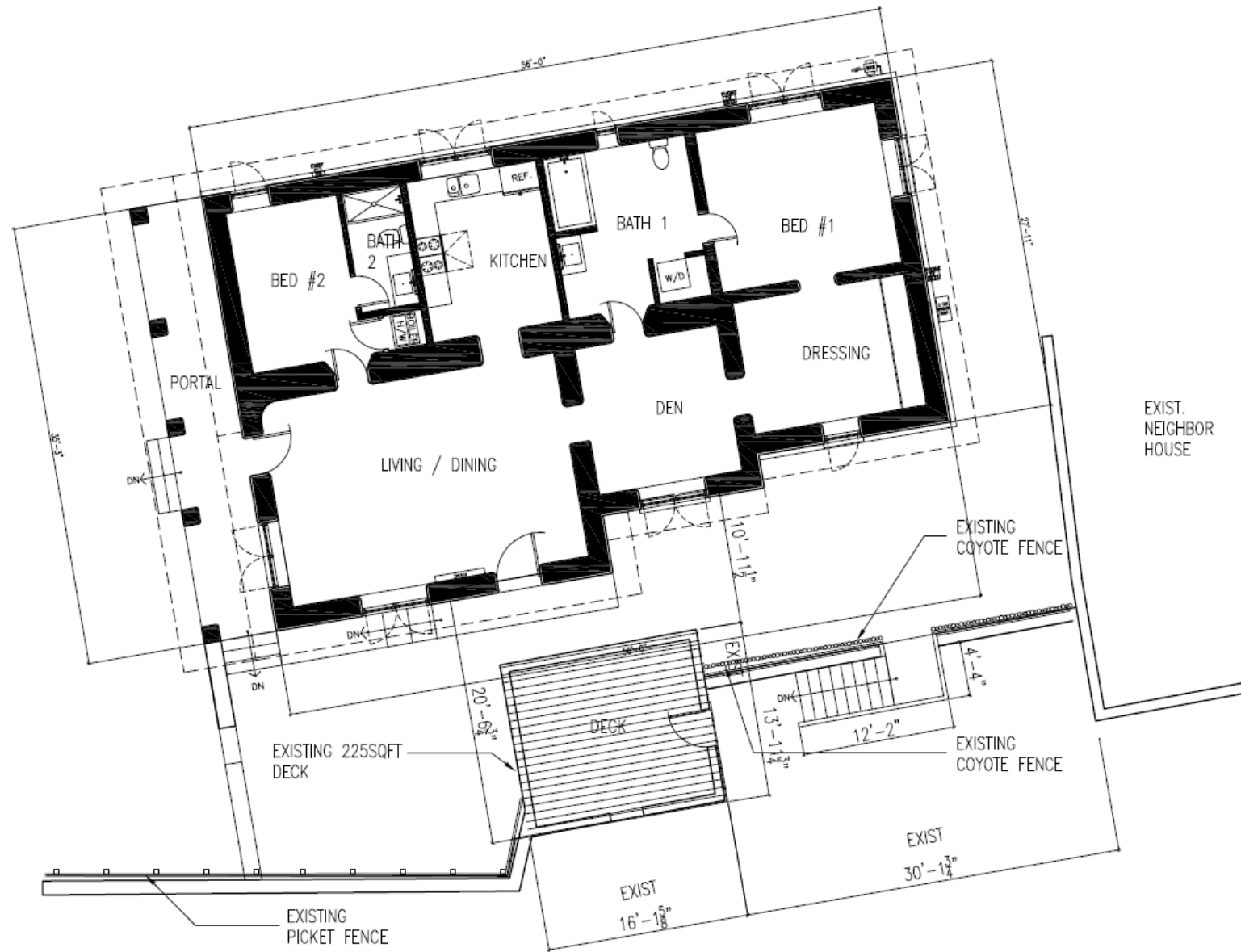
Revisions	No.	Date	Description

Title  
EXISTING SITE PLAN

Scale	Sheet
AS NOTED	A1.0
Job	07-24







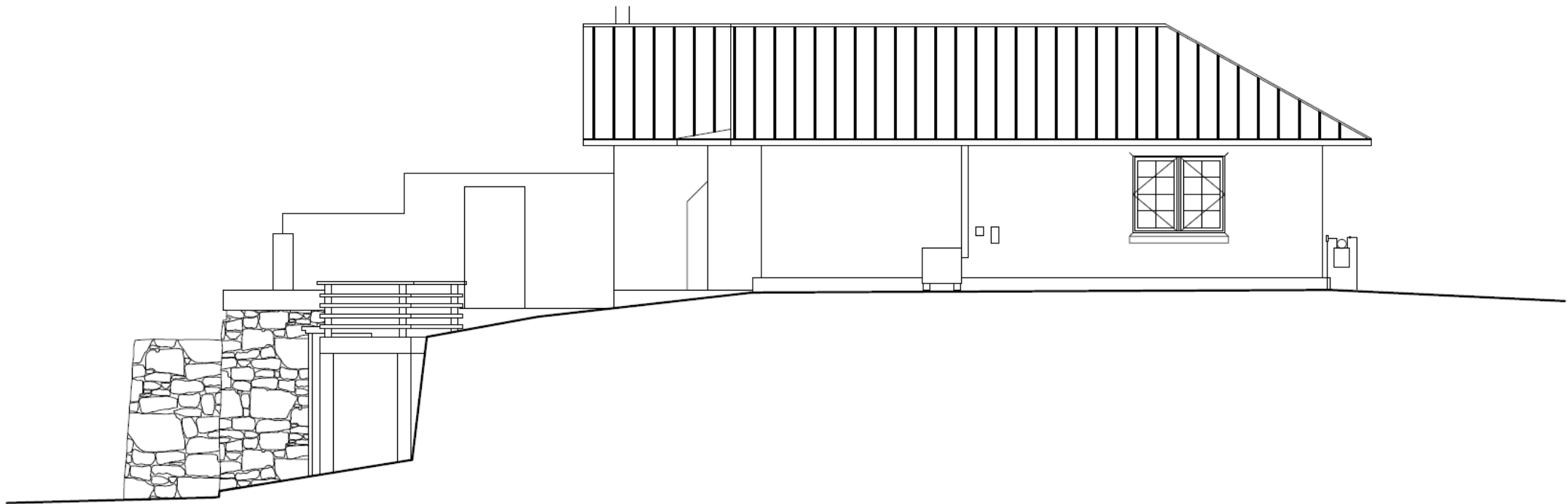
EXISTING FLOOR PLAN

1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION

1/4"=1'-0"



EXISTING EAST ELEVATION

1/4"=1'-0"