

City of Santa Fe, New Mexico

**Cases #2024-8901 & 8902
2768 Agua Fria
Rezoning and Master Plan
Planning Commission
June 5th, 2025**

Exhibit A

Development Review Team

- 1. Compiled Conditions of Approval and Technical Corrections**
- 2. MPO DRT Memo**
- 3. City Engineer DRT Memo**
- 4. Fire DRT Memo**
- 5. Water Utility DRT Memo**
- 6. Wastewater DRT Memo**
- 7. Traffic DRT Memo**
- 8. Archaeological DRT Memo**
- 9. Landscaping DRT Memo**

Conditions of Approval and Technical Corrections

#	Condition of Approval	Dept. or Division	To be completed:
1	Demonstrate on plans locations of 12 bicycle parking spaces according to specification attached in the MPO DRT comments attachment.	MPO	Prior to Masterplan Recordation
2	All sidewalks, including along Agua Fria, should be 5' minimum per street design criteria.	MPO	Prior to Masterplan Recordation
3	Label each building/section of a building with its intended use. (E.G., Café, Residential, gym, etc.)	Land Use	Prior to Masterplan Recordation
4	Label the parking spots to be included in the Shared Parking Plan.	Land Use	Prior to Masterplan Recordation
5	Clarify in Site Data section which Open Space requirement you are proposing to meet. If using Active Water Harvesting, demonstrate on plans how that harvesting will be achieved.	Land Use	Prior to Masterplan Recordation
6	Add to utility master plan the following note: All sewer service lines shall be SCH 40 PVC”.	Wastewater	Prior to Masterplan Recordation
7	Indicate the sizes of the individual sewer service lines.	Wastewater	Prior to Masterplan Recordation
8	Add to utility master plan the following note; All 6 inch sewer service lines shall have a minimum 1% slope and 4 inch sewer lines shall have a minimum 2% slope	Wastewater	Prior to Masterplan Recordation
9	The north arrow is pointing in the wrong direction for the master utility plan, please correct.	WasteWater	Prior to Masterplan Recordation

10	503.1.1 Fire Department shall have 150 feet distance to any portion of the building on any new construction.	Fire Safety	Prior to Masterplan Recordation
11	Shall comply with IFC 2021 Section D105.2 for width of fire apparatus access road minimums 26'-0" for buildings 30+ feet in height. (not clear on heights of buildings)	Fire Safety	Prior to Masterplan Recordation
12	Shall provide 28'-0" minimum radius turns within developments.	Fire Safety	Prior to Masterplan Recordation
13	507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6 (new hydrants verified if needed)	Fire Safety	Prior to Masterplan Recordation
14	Provide a professional landscape design which fulfills Section 14-8.4 of the City of Santa Fe Code.	Landscaping	Prior to Development Plan Approval
15	The landscape plan must include the following information: Open space calculations are required by 14-7.5. Tree and shrub calculations for open space and retention areas as required by 14-8.4(H) & 14-8.4(F) respectively. Provide open space and retention pond square footage and lineal footage for street trees.	Landscaping	Prior to Development Plan Approval
16	Provide the open space Planting Requirements information on the landscape plan per city code 14-8.4(H) (Ord. No. 2014-31 § 32). (1) Required open space shall be planted with a minimum of one tree and two shrubs every five hundred (500) square feet, exclusive of areas developed with patios, game courts, swimming pools or similar hardscape recreational features. (2) In addition to required trees and shrubs, open space areas shall be landscaped with groundcover plants or decorative mulch or naturally occurring groundcover plants shall be	Landscaping	Prior to Development Plan Approval

	maintained. 3) Street trees and landscaping required for parking lots may be counted toward meeting the minimum planting requirements for open space. (4) At least twenty-five percent of required trees and shrubs shall be evergreen. Existing trees and shrubs shall be accepted for required landscaping if they otherwise meet the requirements of this Section 14-8.4.		
17	Provide a Plant Schedule List of the plant material to be used in the landscape. Provide the botanical and common name of the plants, quantity, size, and water use as shown in the City of Santa Fe approved plant list.	Landscaping	Prior to Development Plan Approval
18	Provide a significant tree survey, list species, size, and quantities. Any trees to be removed shall be mark on the plan with a red X.	Landscaping	Prior to Development Plan Approval
19	Provide perimeter screening for parking lots per city code 14-8.4(I)(2)	Landscaping	Prior to Development Plan Approval
20	Provide a landscape irrigation plan by a qualified irrigation designer per COSF code Chapter 14-8.4(E) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards (LIDS).	Landscaping	Prior to Development Plan Approval
21	Provide a water budget: Irrigation system operation information including recommended monthly and seasonal irrigation schedules and water budgets based on gallons used for landscape plantings for year one and year three shall be included on the irrigation plan. Per 3.18. Design Regulations of Landscape Irrigation Design Standards City of Santa Fe, New Mexico	Landscaping	Prior to Development Plan Approval
22	Provide a complete set of installation details, notes, and specifications for the irrigation system. Show in the detailed drawings the installation of all assemblies without any questions about size or type of materials to use for said irrigation system.	Landscaping	Prior to Development Plan Approval
23	Separate meters shall be required for irrigation for commercial customers unless the total landscaped area on the lot is less than	Landscaping	Prior to Development Plan Approval

	1000 square feet. Provide a dedicated irrigation meter, 25-1.1(3) SFCC 1987.		
24	Provide an outdoor lighting plan with photometric data and footcandle plan per 14-8.9(C) COSF code. Average Maintained Horizontal Foot-candles at Grade for Commercial Areas: Sidewalks 1.0, Pedestrian Area 2.0, Parking Lots 1.0, Building Entrances 5.0, Building Grounds 1.0, Public Spaces 3.0. The maximum illumination at any point shall not exceed the allowed average by more than 1.5 Foot-candles.	Landscaping	Prior to Development Plan Approval

Development Review Team (DRT) Comment Form

Date: 9/6/2024

DRT Member: Leah Yngve

Dept/Div: PW/MPO

Case No.: **Case #2024-8901. 2768 Agua Fria Rezoning.**

Case Planner: Daniel Alvarado

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response:
1. Demonstrate an easement on plans a continuation of Cooks Road to the east property line where it can be continued to Isaiah Lane in the future.	Prior to Public Hearing	
2.		

Technical Corrections:	Must be completed by:	Applicant Response:
1. All sidewalks, including along Agua Fria, should be 5' minimum per street design criteria	Prior to Public Hearing	
2. Plans should demonstrate sidewalk connections to/from Agua Fria and Cooks Road	Prior to Public Hearing	
3. Demonstrate on plans locations of 12 bicycle parking spaces according to specification attached in this form	Prior to Public Hearing	
4. "provide for the continuation or appropriate projection of existing streets in surrounding areas" per Chap 14 backed up by Chapter 6 would be enough to quell any opposition to the connection.		

Explanation of Conditions or Corrections (if needed):

Continuation of Cooks Road to the east property line:

The General Plan and Code clearly indicate connections between developments should be made. Isaiah Lane is complete 150 feet to the east of this property and can be continued to Cooks Lane. This property should design around that opportunity as supported by the General Plan:

“A street network that promotes flexibility of routes and connections between and within neighborhoods is promoted.”

6-1-G-5 Ensure that new development is more "connected" to its surroundings with an increased number of access points and pedestrian and bicycle connections to a neighborhood network.

6-1-I-10 Provide for future connections to the undeveloped edge and where connection to existing urban development is poor.

And chapter 14 of the code:

14-9.2 - STREET IMPROVEMENT AND DESIGN STANDARDS

(A) Street Network

(1) The arrangement, character, extent, grade and location of all streets shall conform to the general plan and shall be considered in their relationship to existing and planned streets, to topographic conditions and to public convenience and safety.

(2) Major streets shall be constructed, extended and widened in accordance with the general plan and the metropolitan transportation plan.

(3) Local streets shall be constructed, extended and widened in accordance with the general plan and to accommodate the orderly development of the types and intensities of development shown on the future land use map.

(4) The arrangement of streets in a development shall:

(a) provide for the continuation or appropriate projection of existing streets in surrounding areas; or

Exhibit D Bicycle Rack Standards and Dimensions

(Subsection 14-8.6(E))

Racks:

- Inverted U type bicycle racks are the required bicycle parking rack.
- Each rack must be securely anchored and accommodate a bicycle frame where one wheel can be locked to the rack with a high security, U-shaped shackle lock if both wheels are left on the bicycle.
- A space of two (2) feet by six (6) feet (12 square feet) must be provided for each required bicycle parking space so that a bicycle six (6) feet long can be securely held with two points supported so that the bicycle cannot be pushed, or fall in a way that would damage the bicycle frame, wheel, or components.
- All racks must provide two points of contact with the frame at least 6" apart horizontally.
- If a bicycle corral is sought within a public street right-of-way, all design elements shall be developed in coordination with and approved by the city of Santa Fe public works department and parking division.

Distance to other racks:

- Racks placed parallel to each other (side by side) must be at least thirty-six (36) inches apart, this includes rack units sold as multiple units attached together.
- Racks aligned end to end must be at least ninety-six (96) inches apart.

Distance from wall:

- Racks placed perpendicular to a wall must be at least forty-eight (48) inches from the wall to the nearest vertical component of the rack.
- Racks parallel to a wall must be at least thirty-six (36) inches from the wall.

Distance from curb:

- Racks placed perpendicular to a curb must be at least forty-eight (48) inches from the curb to the nearest vertical component of the rack.
- Racks placed parallel to a curb must be at least twenty-four (24) inches from the curb to the rack.

Distance from pedestrian aisle:

- Rack units perpendicular to a pedestrian aisle must be at least forty-eight (48) inches from the rack to the edge of the aisle, and the pedestrian aisle should be at least sixty (60) inches wide.

Parking and maneuvering areas:

- Each required bicycle parking space must be accessible without needing to move another bicycle.
- There must be an aisle of at least five (5) feet wide behind all required bicycle parking to allow for maneuvering of the bicycle. Where bicycle parking is next to a sidewalk, the maneuvering area may extend into the sidewalk.
- The area devoted to bicycle parking must be hard surfaced.

Development Review Team (DRT) Comment Form

Date: 9/10/2024

DRT Member: Dee Beingessner

Dept/Div: Land Use/Engineering

Case No.: **Case #2024-8901. 2768 Agua Fria Rezoning.**

Case Planner: Daniel Alvarado

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response:
1.		
2.		

Technical Corrections:	Must be completed by:	Applicant Response:
1. Drainage Report, Slope Analysis, Significant Tree count and Lighting plan will be required at time of development plan submittal.	At Development Plan Submittal	
2.		
3.		
4.		

Explanation of Conditions or Corrections (if needed):

Development Review Team (DRT) Comment Form for Planning Commission

Date: January 17, 2024

DRT Member: Fire Marshal Geronimo Griego

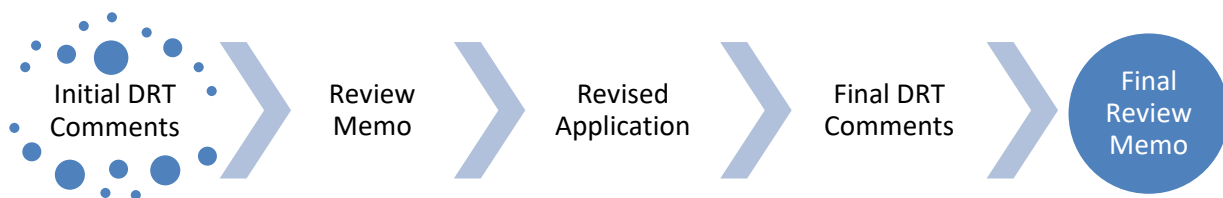
Dept/Div: Fire Prevention Division

Case No.: 2024-8901_8902_2768_agua_fria_RZ_MP

Case Planner: Daniel Alvarado

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

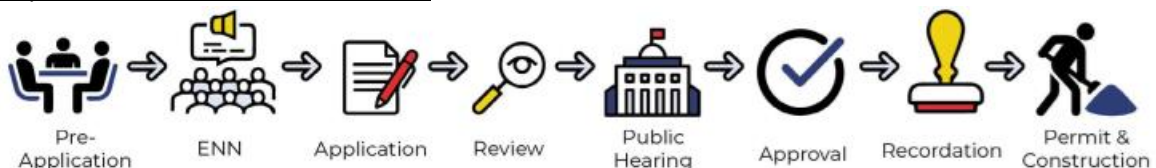


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
	Prior to public hearing	
1. 503.1.1 Fire Department shall have 150 feet distance to any portion of the building on any new construction.		
2. Shall comply with IFC 2021 Section D105.2 for width of fire apparatus access road minimums 26'-0" for buildings 30+ feet in height. (not clear on heights of buildings)		
3. Shall provide 28'-0" minimum radius turns within developments.		
4. 507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6 (new hydrants verified if needed)		

Technical Corrections:	Must be completed by:	Applicant Response**:

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. Shall locate the Fire Department Connection on the property for proper access and clearance for the fire department.
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: September 5, 2024

DRT Member: Taylor Jurgens

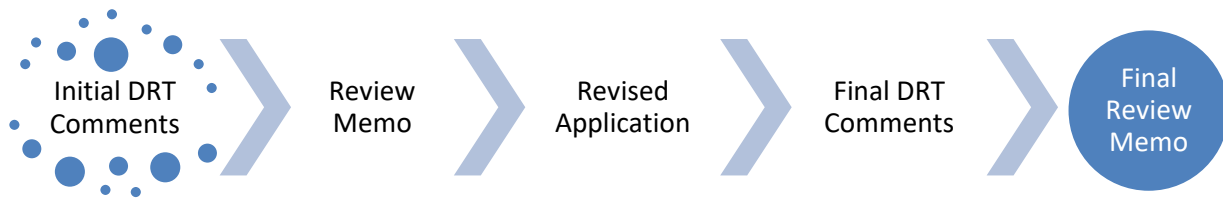
Dept/Div: Public Utilities/Water Division

Case No.: Case 2024-8901: 2768 Agua Fria Rezoning and Master Plan

Case Planner: Daniel Alvarado

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

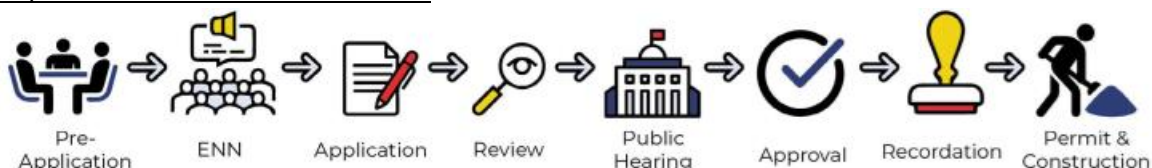


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response:
1. An approved Water Plan will be required for all new public water infrastructure and fire services. Water Plan to be submitted to the City Water Division for review as part of the Development Plan application and review.	Prior to approval of Development Plan	
2. An approved Agreement to Construct and Dedicate (ACD) will be required for new public water infrastructure and fire services.	Prior to building permit approval	
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response:
1.		
2.		
3.		
4.		

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: September 11, 2024

DRT Member: Stan Holland, Engineer

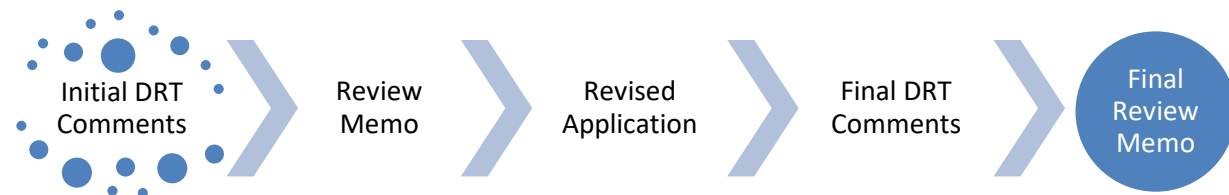
Dept/Div: Public Utilities\Wastewater

Case No.: 2024-8901-8902-2768 Agua Fria

Case Planner: Daniel Alvarado

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

Form Updated: September 2023

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Add to utility master plan the following note; All sewer service lines shall be SCH 40 PVC	Prior to Planning Commission	
2. Indicate the sizes of the individual sewer service lines		
3. Add to utility master plan the following note; All 6 inch sewer service lines shall have a minimum 1% slope and 4 inch sewer lines shall have a minimum 2% slope		
4. The north arrow is pointing in the wrong direction for the master utility plan		

Technical Corrections:	Must be completed by:	Applicant Response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Date: September 10, 2024

DRT Member: Leroy N. Pacheco, PE and Philip Gallegos, PE (Wilson & Company)

Dept/Div: Public Works/Traffic

Case No.: 2024-8901/8902: 2768 Agua Fria Street Rezone and Master Plan

Case Planner: Daniel Alvarado, AICP, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. See attached email from Wilson & Company dated 9.9/2024	Prior to Planning Commission	
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. The TIA acknowledges that an eastbound deceleration lane is required for the site. The traffic engineer should consult the City's "Agua Fria Corridor Study" dated 11/15/2023, which describes over 308 accidents in a 10-year period on Agua Fria between Osage and Siler Roads, and with 71% of those accidents being rear-end collisions. **A right-turn deceleration lane into the site will be required to be analyzed per the City's new TIA guidelines.**
2. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is **mandatory** for the owner to obtain approval from the public works department for any driveway curb cut or sidewalk crossing. This approval must be issued **before** a building permit for such new construction is approved.

Explanation of Conditions or Corrections (if needed):
(see following pages for notes required)

Agua Fria Lot 38 TIA Review

From Gallegos, Phil <Philip.Gallegos@wilsonco.com>
To engineer@leroypacheco.com<Engineer@leroypacheco.com>
CC Luna, Robert<Robert.Luna@wilsonco.com>
Date Monday, September 9th, 2024 at 2:23 PM

Leroy, I have reviewed the TIA submitted by BHI for Agua Fria Lot 38 and have the following comments:

The TIA recommends that an eastbound right turn lane is required per the SAMM for the proposed access point on Agua Fria. The report states that it appears that there is insufficient right of way to construct this. This should be researched further since as per our phone conversation Agua Fria has a high rate of rear end collisions. The developer should investigate as how this lane could be put in either by acquiring right of way or constructing it within the existing right of way and the developer's property. As discussed the developer should work with the city and also since the City's new TIA guidelines are in place the developer should analyze both the SAMM requirements and the City's new TIA Guidelines to be able to accommodate this right turn lane requirement. The City's requirements as per the City's TIA Guidelines might be more accommodating for this right turn lane to be constructed.

The TIA also states that "A dedicated right turn lane is required at several existing access points along Agua Fria" and those should be further evaluated as well as stated in the recommendations. The TIA also states that the "Installation of the proposed access point at Agua Fria should include the two-way left turn lane at the intersection. This two-way left turn lane should remain in place to serve the westbound left users into the site" and I concur with this finding.

On page 30 there is a grammatical correction in paragraph 3 2nd sentence should be "does meet" instead of "due meet"

Please let me know if you have any questions or need more information. As discussed a meeting with BHI who prepared the TIA should be scheduled to discuss the above. Thanks, Phil

Phil Gallegos, PE

Civil Engineer

Wilson & Company, Inc., Engineers & Architects

4401 Masthead Street NE, Suite 150 | Albuquerque, NM 87109

505-348-4126 (direct)

wilsonco.com

We bring people together to practice their craft, to create value, and to accomplish great things.

Confidential/Proprietary Note: The information in this email is confidential and may be legally privileged. Access to this email by anyone other than the intended addressee is unauthorized. If you are not the intended recipient of this message, any review, disclosure, copying, distribution, retention, or any action taken or omitted to be taken in reliance on it is prohibited and may be unlawful. If you are not the intended recipient, please reply to or forward a copy of this message to the sender and delete the message, any attachments, and any copies thereof from your system. Thank you.

From: DURAN, PAUL A.
Sent: Tuesday, May 27, 2025 9:33 AM
To: CRUZ-HABER, JOEL A.
Subject: 2768 Agua Fria

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning, Joel,

Below are the code citations for the archaeological clearance prior to a final development plan:

14-3.13(2) River and Trails Archaeological Review District:

In this district, an archaeological clearance *permit* shall be required prior to approval of the final *development* plan or *plat* for the following projects:

- (a) All annexations, rezonings, subdivisions, planned unit *developments*, or other *development* requiring approval by the Planning Commission, having over two acres, or having any part lying within the area identified as the Santa Fe Trail.

Please let me know if you may need any additional information.

Thank you and have a good day,

Paul

Paul A. Duran
Senior Planner, Historic Preservation Division
Planning & Land Use Department
Office: (505) 955-6629
Cell: (505) 920-1777

Please submit all Historic inquiries and questions directly to: Historicpreservation@santafenm.gov.

Please submit all Historic pre-application, administrative approval, and case documents directly to: HPDsubmittal@santafenm.gov.

For Historic Preservation information and applications please see: <https://santafenm.gov/land-use/historic-preservation>



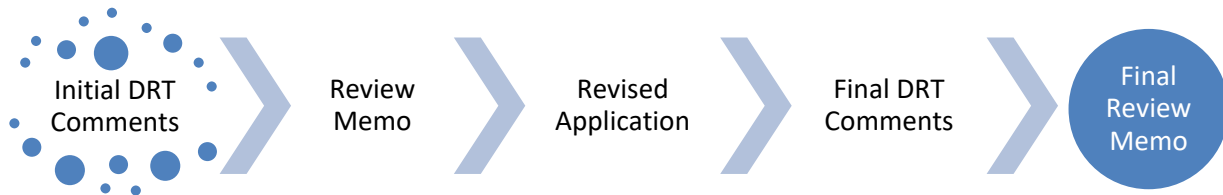
CITY OF SANTA FE

HISTORIC PRESERVATION

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

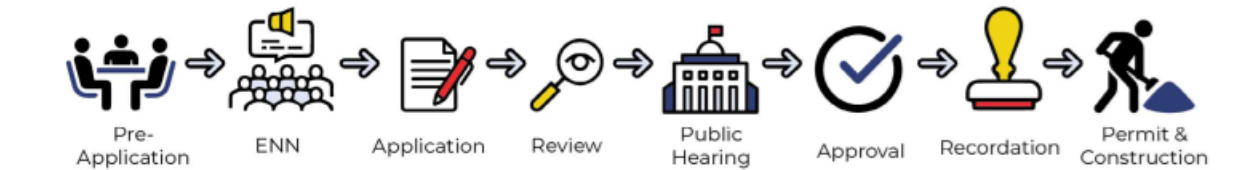


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: May 28, 2025

DRT Member: Lawrence Rivera

Dept/Div: Landscape, Irrigation, and Outdoor Lighting

Case No.: 2024-8901/8902 2768 Agua Fria Master Plan

Case Planner: CRUZ-HABER, JOEL A., Senior Planner, jacruzhaber@santafenm.gov

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Provide a professional landscape design which fulfills Section 14-8.4 of the City of Santa Fe Code.	Prior to Development Plan Approval	
2. Landscape plan must include the following information: Open space calculations are required by 14-7.5. Tree and shrub calculations for open space and retention areas as required by 14-8.4(H) & 14-8.4(F) respectively. Provide open space and retention pond square footage and lineal footage for street trees.	Prior to to Development Plan Approval	
3. Provide the open space Planting Requirements information on the landscape plan per city code 14-8.4(H) (Ord. No. 2014-31 § 32). (1) Required <i>open space</i> shall be planted with a minimum of one tree and two shrubs every five hundred (500) square feet, exclusive of areas developed with patios, game courts, swimming pools or similar hardscape recreational features. (2) In addition to required trees and shrubs, <i>open space</i> areas shall be <i>landscaped</i> with groundcover plants or decorative <i>mulch</i> or naturally occurring groundcover plants shall be maintained. 3) <i>Street trees</i> and landscaping required for parking lots may be counted toward meeting the minimum planting requirements for <i>open space</i> . (4) At least twenty-five percent of required trees and shrubs	Prior to to Development Plan Approval	

shall be evergreen. Existing trees and shrubs shall be accepted for required <i>landscaping</i> if they otherwise meet the requirements of this Section 14-8.4.		
4. Provide a Plant Schedule List of the plant material to be used in the landscape. Provide the botanical and common name of the plants, quantity, size, and water use as shown in the City of Santa Fe approved plant list.	Prior to to Development Plan Approval	
5. Provide a significant tree survey, list species, size, and quantities. Any trees to be removed shall be mark on the plan with a red X.	Prior to to Development Plan Approval	
6. Provide perimeter screening for parking lots per city code 14-8.4(l)(2)	Prior to to Development Plan Approval	
7. Provide a landscape irrigation plan by a qualified irrigation designer per COSF code Chapter 14-8.4(E) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards (LIDS).	Prior to to Development Plan Approval	
8. Provide a water budget: Irrigation system operation information including recommended monthly and seasonal irrigation schedules and water budgets based on gallons used for landscape plantings for year one and year three shall be included on the irrigation plan. Per 3.18. Design Regulations of Landscape Irrigation Design Standards City of Santa Fe, New Mexico.	Prior to to Development Plan Approval	
9. Provide a complete set of installation details, notes, and specifications for the irrigation system. Show in the detailed drawings the installation of all assemblies without any questions about size or type of materials to use for said irrigation system.	Prior to to Development Plan Approval	
10. Separate meters shall be required for irrigation for commercial customers unless the total landscaped area on the lot is less than 1000 square feet. Provide a dedicated irrigation meter, 25-1.1(3) SFCC 1987.	Prior to to Development Plan Approval	
11. Provide an outdoor lighting plan with photometric data and footcandle plan per 14-8.9(C) COSF code. Average Maintained Horizontal Foot-candles at Grade for Commercial Areas: Sidewalks 1.0, Pedestrian Area 2.0, Parking Lots 1.0, Building Entrances 5.0, Building Grounds 1.0, Public Spaces 3.0. The maximum illumination at any point shall not exceed the allowed average by more than 1.5 Foot-candles.	Prior to to Development Plan Approval	
STAFF RESERVES THE RIGHT TO REQUIRE ADDITIONAL SUBMITTALS UPON RECEIVING REVISIONS.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)