

June 5, 2025

Planning Commission

Case 2024-8027: 635 Alto Street Development Plan

ATTACHMENT C

Applicant Submittals



(date stamp)

DEVELOPMENT PLAN APPLICATION

Parcel Information

Project Name: Habitat Homes at 635 Alto Street

Address: 635 Alto Street Property Size: 10910 sq. ft.; 0.25 acres

Current Use of Land: Vacant Proposed Use of Land: Residential

Does a Rezoning application accompany this application? YES NO Are any variances required? YES NO

Preapplication Conference Date: _____

Early Neighborhood Notice (ENN) meeting date: _____ Zoning: R-21

Property Owner Information

Name: Santa Fe Habitat for Humanity

Address: 2520 Camino Entrada, Ste. A

Street Address: Santa Fe Suite/Unit #: NM 87507

City: _____ State: _____ ZIP Code: _____

Phone: (505) 986-5880 E-mail Address: kurt@santafehabitat.org

Applicant/Agent Information (if different from owner)

Company Name: Santa Fe Habitat for Humanity

Name: Brian Lawler

Address: _____

Street Address: _____ Suite/Unit #: _____

City: _____ State: _____ ZIP Code: _____

Phone: (650) 392-9233 E-mail Address: brian@santafehabitat.org

Correspondence Directed to: Owner Applicant Both

Agent Authorization (if applicable)

I am/We are the owner(s) and record title holder(s) of the property located at: 635 Alto St.

I/We authorize BRIAN LAWLER to act as my/our agent to execute this application.

Signed: [Signature] Date: MAR 26, 2024

Signed: _____ Date: _____

Submittal Checklist (Requirements found in Section 14-3.8 SFCC 1987)

Six (6) 24"x36" plan sets and one (1) CD are required. Please include the following:

<input type="checkbox"/> Letter of Application (intent, location, acreage)	<input type="checkbox"/> Statement addressing approval criteria	<input type="checkbox"/> Legal Lot of Record, Legal Description	<input checked="" type="checkbox"/> Development Plan (as defined by Section 14-3.8 SFCC 1987)	<input type="checkbox"/> Landscape, Parking and Lighting Plan, Signage Specifications
<input type="checkbox"/> Terrain Management Plans (as required by Section 14-8.2 SFCC 1987)	<input type="checkbox"/> Traffic Impact Analysis (if required)	<input type="checkbox"/> Proof of Compliance with Conditions of Annexation Approval (if applicable)	<input type="checkbox"/> Sewer and Water Plan (including profiles and details)	<input type="checkbox"/> Phasing Plan (if applicable)
<input type="checkbox"/> Archaeological Clearance (if applicable)				

Development Plan Submittal Requirements, as defined by Section 14-3.8(C) SFCC 1987:

Applicants for developments that require development plans under this section shall submit plans and other documentation as required by the land use director that show compliance with the applicable provisions of the Santa Fe City Code as provided in Section 14-3.1(C) (Form of Application), including plans that show:

- (a) existing conditions on the site and within two hundred (200) feet of the site;
- (b) proposed modifications to the site, including the locations of existing and new structures, grading, landscaping, lighting, pedestrian and vehicular circulation, parking and loading facilities;
- (c) the types, extent and intensity of land uses that are proposed;
- (d) proposed modifications to the infrastructure serving the site, including public and private streets, driveways and traffic control measures and utilities;
- (e) documentation of compliance with development standards such as required yards, lot coverage, height of structures and open space;
- (f) the phases of development, if applicable;
- (g) for residential development, a proposal for provision of affordable housing as required by Section 14-8.11 (Santa Fe Homes Program);
- (h) a development water budget as required by Section 14-8.13;
- (i) for a development plan or final development plan, sufficient detail to clearly show how each applicable development standard is to be met and identify any variance or waiver required;
- (j) for a preliminary development plan, sufficient detail to demonstrate the feasibility of meeting all applicable development standards, including an analysis of the type and extent of variances or waivers required, specific requests for which may be included.

Signature

I hereby certify that the documents submitted for review and consideration by the City of Santa Fe have been prepared to meet the minimum standards outlined in the Land Development Code, Chapter 14 SFCC 1987. Failure to meet these standards may result in the rejection of my application. I also certify that I have met with the City's Current Planning staff in a preapplication meeting to verify that the attached proposal is in compliance with the City's zoning and development plan requirements.

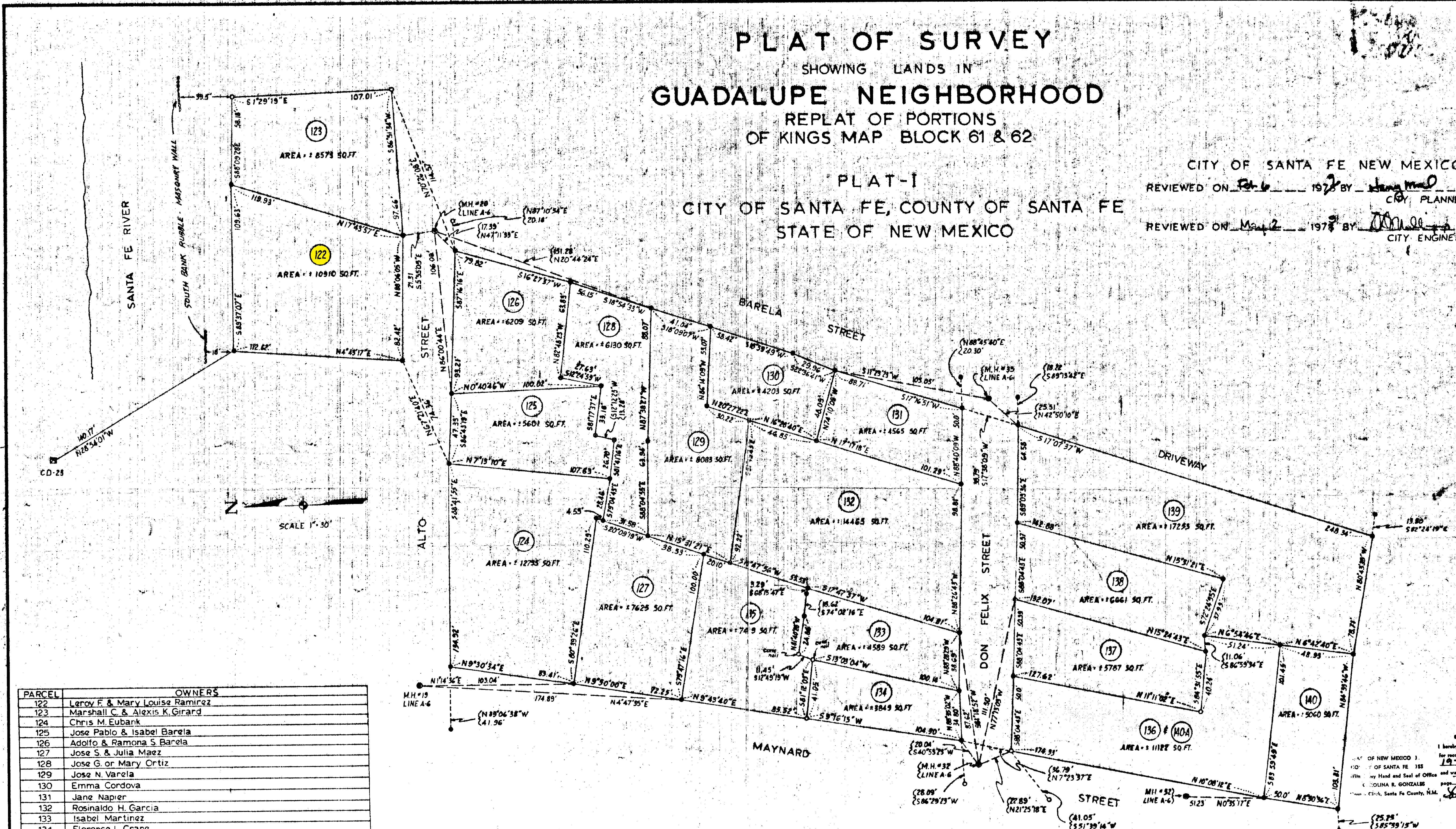
Signature:  Date: 3-26-2024

A case manager will be assigned to your project and will notify you within 10 business days if any additional information is needed. After your application has been reviewed by City staff, you will be contacted by us regarding public notice requirements. A packet of information and instructions will be provided regarding the required mailing and sign posting. Thank you, and feel free to contact the Land Use Department staff at (505) 955-6585 with any questions.

PLAT OF SURVEY
 SHOWING LANDS IN
GUADALUPE NEIGHBORHOOD
 REPLAT OF PORTIONS
 OF KINGS MAP BLOCK 61 & 62

PLAT-I
 CITY OF SANTA FE, COUNTY OF SANTA FE
 STATE OF NEW MEXICO

CITY OF SANTA FE NEW MEXICO
 REVIEWED ON Feb 6 1978 BY [Signature]
 CITY PLANNER
 REVIEWED ON May 2 1978 BY [Signature]
 CITY ENGINEER



PARCEL	OWNERS
122	Leroy E. & Mary Louise Ramirez
123	Marshall C. & Alexis K. Girard
124	Chris M. Eubank
125	Jose Pablo & Isabel Barela
126	Adolfo & Ramona S. Barela
127	Jose S. & Julia Maez
128	Jose G. or Mary Ortiz
129	Jose N. Varela
130	Emma Cordova
131	Jane Napier
132	Rosinaldo H. Garcia
133	Isabel Martinez
134	Florence L. Crane
135	Sabino & Eliza Olivas
136	Peter A. & Dolores R. Olivas
137	Carlos A. Jr. & Mary Ann Romero
138	Woodrow G. & Juliana Mayhon
139	Joe M. & Annie L. Tapia
140	Jim P. & Adelina Gabaldon sub. to Real Estate Conf. of Charlotte M. Kinck
140A	Peter A. & Dolores R. Olivas

HERE BY CERTIFY THAT THIS PLAT AND NOTES THEREON ARE A TRUE AND CORRECT DRAWING OF A SURVEY COMPLETED BY ME IN THE FIELD DURING JANUARY 1978.

Joseph L. Pacheco
 JOSEPH L. PACHECO PE & LS. 3905

- NOTES**
- ⊗ INDICATES IRON PIPE FOUND
 - INDICATES REBAR FOUND
 - INDICATES REBAR SET
 - ⊙ INDICATES MANHOLE
 - ⊠ INDICATES MONUMENT BRASS CAP SET

CITY OF SANTA FE
COMMUNITY DEVELOPMENT PROJECT
 * C-19 TITLE CLEARANCE ASSISTANCE AND SURVEY MONUMENTATION



438-267
 I hereby certify that this instrument was filed for record on May 2 1978 at 3:07 o'clock P.M. in my Hand and Seal of Office and was duly recorded in book 69 of the records of Santa Fe County, N.M. *[Signature]* Deputy



3/28/2023

To: City of Santa Fe Land Use Department

Proposed project: Affordable Townhomes by Santa Fe Habitat for Humanity

Santa Fe Habitat for Humanity will develop 5 new townhouse style homes at 635 Alto Street in a historic Santa Fe style. The proposed development will be build on the single lot of 635 Alto Street, parcel #12715202, assessed at 10910 sq. ft. or 0.25 acres.

The 5 units will be constructed in 2 separate buildings, 4 of the units in one building will front the north Alto Street and the other building, of 1 unit and additional storage spaces will front the southern Alto Street.

- All units will be 2-story
- Three of the homes will have 3 bedrooms and two full baths
- Two of the homes will have 2 bedrooms and 1 full bath and a powder room.
- All units will have 400 ft² or more of private open space

In keeping with the original proposal chosen by the Office of Affordable housing RFQ (635 Alto LPDU, issued 9-15-21) the buildings will be constructed from modular wall panels designed and constructed by B.Public Prefab and Insulated Concrete Form (ICF) exterior walls and foundation walls. In addition, we plan for the construction to be environmentally friendly:

- All units will be all-electric (no gas).
- All units will have high efficiency heat pumps for heating and cooling.
- Typical SFHfH homes have a HERS rating of 30 or less prior to solar panels.
- Energy use will be reduced with highly insulated and well-sealed construction.
- All units will be net-zero energy use or as close as possible by use of roof-mounted solar panels.
- Solar panels will be hidden from the street view by parapet walls.

If any additional information or clarification is required, please contact:

Brian Lawler, Licensed Architect No. 6652
Santa Fe Habitat for Humanity
brian@santafehabitat.org (650) 392-9233

2520 Camino Entrada, Ste A Santa Fe, New Mexico 87507-4885

Telephone: (505) 986-5880

FAX: (815) 366-8054

Website: www.santafehabitat.org

City of Santa Fe Code of Ordinances 14-3.8(d)(1):

Approval Criteria and Conditions

(1) Necessary Findings

To approve a [development](#) plan, the planning commission must make the following findings:

(a) that it is empowered to approve the plan under the section of Chapter 14 described in the [application](#);

Applicant Response: *This development plan is required by the Code of Ordinances section 14-7.2(F)(1): “Residential density up to twelve dwelling units per acre in an R-12 district; up to twenty-one dwelling units per acre in an R-21 district; and up to twenty-nine dwelling units per acre in an R-29 district may be approved provided that the proposed density is part of a development plan or special use permit requiring approval by a land use board or the governing body.” The development plan shows 5 units built on 0.25 acres which would be a density of 20 units per acre and an increase from 10 units per acre allowed by Table 14-7.2-1.*

This development plan has been designed to comply with the requirements of Chapter 14 “Land Development” code in addition to being approved by the Historic District Review Board for the Westside-Guadalupe Neighborhood.

(b) that approving the [development](#) plan will not adversely affect the public interest;

Applicant Response: *Approval of this development plan will not adversely affect the public interest. We at Santa Fe Habitat for Humanity believe that this development plan, which will bring 5 new affordable homes to downtown Santa Fe, will positively affect the public interest as there is a clear need for more affordable housing (as shown in the draft document publicly published by the City of Santa Fe Office of Affordable Housing entitled “City of Santa Fe Five Year Affordable Housing Strategic Plan” prepared by Root Policy Research, May 7th 2024).*

In addition, the project will be developing a vacant lot in a style and density similar to the existing homes of the neighborhood and Alto street. The compact design of the infill development aligns well with the city's statements made in the published Land Use and Urban Design Plan.

(c) that the use and any associated [buildings](#) are compatible with and adaptable to [buildings](#), [structures](#) and uses of the abutting [property](#) and other [properties](#) in the vicinity of the [premises](#) under consideration.”

Applicant Response: *The properties abutting and in the vicinity of the subject parcel are medium and high density structures with small yards and historic character. This development plan proposes a residential development of 5 affordable houses at a similar density and character to the surrounding neighborhood. The design has been approved by the Historic Districts Review Board for the Westside-Guadalupe neighborhood.*

Additionally, the design of the development plan is compatible and consistent with the stated purpose of the R-21 zoning designation, as laid out in 14-4.2 (H): “The purpose of the R-10, R-12, R-21 and R-29 districts is to make available a variety of dwelling unit types to serve a wide range of household needs at medium- and high- density levels”.

REAL ESTATE DONATION AGREEMENT

This REAL ESTATE DONATION AGREEMENT ("**Agreement**") dated this 18 day of October, 2022, by and between the City of Santa Fe, ("**City**" or "**Donor**") and Habitat for Humanity, a private, not -for-profit, New Mexico organization (or "**Donee**").

WHEREAS, a city may donate land or money for the construction, renovation, or purchase of affordable housing pursuant to NM Const. Art. 9, Section 14 and NMSA 1978, Section 6-27-1, et seq.;

WHEREAS, Donor is the fee simple owner of 635 Alto Street, Santa Fe, NM ("**Site**") that is the subject of the Request for Qualifications ("**RFQ**"), identified as "RFQ: 635 Alto LPDU," was released on September 15, 2021, and four submissions were received; and

WHEREAS, it is the policy of the City to provide incentives and encourage proposals that support the production, acquisition and redevelopment of affordably priced homes in mixed income developments; and

WHEREAS, the development of the Site has been contemplated through several efforts, beginning in 2009, when the City hosted the "Greenworks Design Competition" which called for designs for a multi-income, multi-unit structure that met all land use and historic code requirements, achieved sustainability metrics as determined by "Green Communities" standards, and was financially feasible to develop; and

WHEREAS, the donation of the Site conforms to the City's Five-Year Strategic Housing Plan "Affordable Housing Element," which was adopted in conformance to the Affordable Housing Act by Ordinance No. 2007-23 pursuant to the express statutory authority conferred upon municipalities to enact a housing code in NMSA 1978, Section 3-1 7-6A(8); and

WHEREAS, the donation of the Site was preceded by City of Santa Fe Resolution 2021-38 that expressed the City's intent to donate the Site to a developer certified as a "Qualifying Grantee" under the New Mexico Affordable Housing Act for development of at least five low-priced dwelling units; and

WHEREAS, Donee submitted a RFQ cover letter dated October 13, 2021 and a 15-page RFQ submission document entitled "Santa Fe Habitat for Humanity Affordable Housing Project" (collectively "**RFQ Submission**"), and the Evaluation Committee subsequently selected the Donee as a development partner, and eventual owner of the Site, for approval by the Governing Body; and

WHEREAS, the City of Santa Fe acknowledges the Donee as a "Qualified Grantee" for purposes of local affordable housing ordinances and compliance with the New Mexico Affordable Housing Act; and

WHEREAS, this is an "arm's length" transaction and no identity of interest exists between

the Donor and the Donee, their staff, Board of Directors, or Elected Officials; and

WHEREAS, Donee acknowledges that the City has no obligations or responsibilities with regard to development of the Site other than the transfer of the Site for those purposes and as warranted in the deed.

Now therefore, it is agreed as follows:

1. SITE

Donor is the fee owner of 635 Alto Street, Santa Fe, New Mexico as depicted on the Boundary Survey Plat recorded in the office of the County Clerk of Santa Fe County, New Mexico, on January 4, 2011, identified as Instrument #1622082, Book 726, Page 006, which is attached hereto as **Exhibit "A"**

2. DONOR'S OWNERSHIP

Donor warrants and represents that it is the sole fee simple owner of the Site and has all necessary authority to sell or donate the Site. There are no other contracts for sale or options involving the Site and no other party has any right, title, or interest in the Site and there are no leases affecting or relating to the Site. Between the date Donor executes this Agreement and Settlement, Donor shall not subject the Site to or consent to any leases, liens, encumbrances, covenants, conditions, restrictions, easements, rights of way, or agreements, or take any other action affecting or modifying the status of title or otherwise affecting the Site without the written consent of the Donee.

3. EFFECTIVE DATE

The date upon which this Agreement shall be finally executed by the authorized representative of Donee and Donor shall be the effective date ("Effective Date") hereof.

4. CONDITIONS PRECEDENT TO CONVEYANCE

Donor hereby agrees to convey to Donee and Donee hereby agrees to accept the donation from Donor, upon the following conditions:

- a. Donee shall successfully obtain approval of its development plan;
- b. Donee shall secure all land use entitlement approvals required to develop the Site;
- c. Donee shall obtain all financing needed to accomplish the project;

5. ACTIONS OR SUITS

Unless set forth by Donor in an attachment to this Agreement, Donor warrants and represents that there are no actions or suits in law or equity or proceedings by any governmental agency now pending or, to the knowledge of the Donor, threatened against Donor in connection with the Site, and there is no outstanding order, writ, injunction, or decree of any court or governmental agency affecting the Site.

6. PROFFERS AND COMMITMENTS.

Donor represents there has not been made and will not be made, without Donee's prior written consent, any proffers or other commitments relating to the Site, which would impose any obligation on Donee or its successors and assigns, after Settlement as described in Paragraph 9 below, to make any contribution of money or dedications of land or to construct, install, or maintain any improvements of a public or private nature on or off the Site.

7. OTHER AGREEMENTS.

Donor warrants and represents that the execution and delivery of this Agreement, the completion of the transaction(s) contemplated hereby, and the fulfillment of the terms hereof will not result in a breach of any of the terms or provisions of, or constitute a default under, or conflict with, any agreement, indenture, or other instrument to which Donor is a party or by which it or the Site is bound, or any judgment, decree, order, or award of any court, governmental body, or arbitrator, or any law, rule, or regulation applicable to Donor.

8. SETTLEMENT.

- a. Settlement and delivery of possession shall be within forty-five (45) business days of the approval of all Conditions Precedent to Conveyance listed in Section 4 of this agreement, allowing a reasonable time for preparation of documents ("Settlement"). Settlement shall be held at the offices of Stewart Title Company, as the "Settlement Agent," or at such other place as the parties may agree. Donor shall deliver to Donee, at Settlement, a fully executed special warranty deed conveying the Site in fee simple to Donee, ("Deed"). Donee will pay for all costs associated with the closing.
- b. Donor shall deliver to Donee at Settlement an affidavit, on a form acceptable to Donee or Donee's title insurance company, signed by Donor, that no labor or materials have been furnished to the Site within the statutory period for the filing of mechanics' or materialmen's liens against the Site, or if labor or materials have been furnished during the statutory period, an affidavit that the costs thereof have been paid in full.
- c. Donor agrees to deliver to Donee or Settlement Agent the following at or prior to Settlement:
 - (i) The fully executed Special Warranty Deed, see example as **Exhibit B**;
 - (ii) The signed closing or settlement statement prepared or approved by Settlement Agent; and
 - (iii) Any other documents reasonably required by Settlement Agent or Donee.
- d. Donee agrees to record a Land Use Restriction on the property that will be for 45 years, see example as **Exhibit C**.
- e. Donee agree that upon the sale of each LPDU, or a similarly price-restricted residence, Donee shall execute and record a "Declaration of Restrictive Covenants, Right of First Refusal and Equity Share" document substantially in the form of the attached **Exhibit D**, which may be amended from time-to-time, thus assuring the Site will be used for price-restricted residences in perpetuity

9. TITLE.

The Site shall be conveyed free from all mortgages, deeds of trust, liens, security interests, and other financial encumbrances.

10. EXPENSES OF SETTLEMENT.

- a. Donee shall pay for its own attorney's fees as well as other charges customarily paid by a Donee of real estate in New Mexico.
- b. Donee shall pay for the preparation of any documents it is required to provide hereunder, and its own attorney's fees as well as other charges customarily paid by a Donor of real estate in New Mexico.
- c. All real estate taxes, assessments, utility charges, and rent, if any, shall be prorated as of the date conveyance is executed.

- a. RFQ: 635 Alto LPDU.
- b. Donee RFQ submission cover letter dated October 13, 2021 (1 page).
- c. Donee RFQ submission entitled "Santa Fe Habitat for Humanity Affordable Housing Project (15 pages).

15. MISCELLANEOUS.

Subject to the provisions hereof, this Agreement shall bind and inure to the benefit of the parties hereto, their heirs, personal representatives, successors, and permitted assigns. No assignment of this Agreement shall be permitted except with the written consent of the other party, which consent shall not be withheld unreasonably. The warranties, representations, and terms of this Agreement shall survive delivery of the Deed and shall not be merged therein.

16. EXECUTION OF CONVEYANCE.

The approval and execution of this Donation Agreement grants the authority to fully execute the conveyance of the property via special warranty by the Mayor.

[The remainder of this page is blank. Signatures are on the following pages.]

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals.

DONEE:

CITY OF SANTA FE



ALAN WEBBER, MAYOR

ATTEST:



KRISTINE BUSTOS MIHELICIC, CITY CLERK 
GB MTG 10/12/2022

APPROVED AS TO FORM FOR LEGAL SUFFICIENCY:



Andrea Salazar (May 20, 2022 14:05 MDT)

ASSISTANT CITY ATTORNEY

APPROVED AS TO FINANCE:



Emily K. Oster (Oct 15, 2022 21:57 MDT)

EMILY K. OSTER, FINANCE DIRECTOR

HABITAT FOR HUMANITY

Kurt Krahn

KURT KRAHN, EXECUTIVE DIRECTOR

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me this 25 day of April, 2022 by Kurt Krahn,
Executive Director of Habitat for Humanity.

Seal:

STATE OF NEW MEXICO
NOTARY PUBLIC
MARILYN E. PERRYMAN
COMMISSION # 1112117
EXPIRES MAY 20, 2023

Marilyn E. Perryman

Notary Public

My Commission Expires:

5/20/2023

EXHIBIT B
To the Donation Agreement

SPECIAL WARRANTY DEED

The City of Santa Fe, a Municipal Corporation, whose address is 200 Lincoln Avenue, Santa Fe, New Mexico, 87504-0909, for no consideration paid, grants to Habitat for Humanity, a private, not -for-profit organization, whose address is 2520 Camino Entrada Ste. A, Santa Fe, NM 87507, the following described real estate in Santa Fe County, New Mexico:

A parcel of land lying and being situate within the municipal limits of the City of Santa Fe, County of Santa a distance of 112.62 feet to a point; thence S. 89° 37' 07" E., a distance of 109.63 feet to a point; thence S. 17° 43' 57" W., a distance of 119.93 feet to the point and place of beginning.

Being and intended to be Parcel #122 as shown and delineated on plat of survey by Joseph L Pacheco, P.E. & L.S. No. 3905, entitled "PLAT OF SURVEY SHOWING LANDS IN GUADALUPE NEIGHBORHOOD REPLAT OF PORTIONS OF KINGS MAP BLOCK 61 & 62 Fe, State of New Mexico, being more particularly bounded and described as follows:

Beginning at a point for the southeast corner of the parcel which is a point that bears S. 5° 55' 5" E., a distance of 21.31 feet to the center of City of Santa Fe sanitary sewer manhole #20 Line A-6. Thence from said point of beginning, N. 88° 06' 05" W., a distance of 82.42 feet to a point; thence N. 4° 43' 17" E.,

PLAT-I." The plat is recorded in the Office of the County Clerk of Santa Fe County, New Mexico, as Document No. 438267 in Plat Book 69, page 7. Parcel contains 10910 square feet more or less.

with special warranty covenants, together with all and singular the rights and appurtenances thereto in anywise belonging including, without limitation, all rights, privileges, and easements, and conditions, and subject to covenants, restrictions, rights, rights-of-way and easements now of record, if any. Also subject to those restrictions and conditions as contained on "Real Estate Donation Agreement between the City of Santa Fe and Habitat for Humanity, dated _____, 2022, the Land Use Restriction Agreement, dated _____, and on "Declaration of Affordable Housing Restrictive Covenant" by Habitat for Humanity, dated _____, 2022.

This deed is an absolute conveyance, the Grantor having donated the above described property to the Grantee for a fair and adequate consideration. Grantor declares that this conveyance is freely and fairly made to Grantee, and by its acceptance hereof, does hereby assume and agree to pay all obligations and any ad valorem taxes, following the date of recording of this deed in the records of the Santa Fe County Clerk.

Witness my hand and seal this _____ day of _____, 20_____.

CITY OF SANTA FE

ALAN M. WEBBER, MAYOR

ATTEST:

KRISTINE BUSTOS MIHELICIC, CITY CLERK

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)SS.
COUNTY OF SANTA FE)

This instrument was acknowledged before me this ___ day of _____, 20___ by Alan M. Webber,
Mayor of the City of Santa Fe.

ACCEPTANCE by Habitat for Humanity, a private, not -for-profit organization of donation of real estate
and conditioning imposed thereon by Grantor.

HABITAT FOR HUMANITY

KURT KRAHN, EXECUTIVE DIRECTOR

ACKNOWLEDGMENT

STATE OF NEW MEXICO
NOTARY PUBLIC
MARILYN E. PERRYMAN
COMMISSION # 1112117
EXPIRES MAY 20, 2023

STATE OF NEW MEXICO)
)SS.
COUNTY OF SANTA FE)

This instrument was acknowledged before me this 25 day of April, 2022 by Kurt Krahn,
Executive Director of Habitat for Humanity.

Expire, 5/20/2023
Marilyn E. Perryman

EXHIBIT A
To the Declaration of Affordable
Housing Restrictive Covenant

A parcel of land lying and being situated within the municipal limits of the City of Santa Fe, County of Santa Fe, State of New Mexico, being more particularly bounded and described as follows:

Beginning at a point for the southeast corner of the parcel which is a point that bears S. 5° 55' 5" E., a distance of 21.31 feet to the center of City of Santa Fe sanitary sewer manhole #20 Line A-6. Thence from said point of beginning, N. 88° 06' 05" W., a distance of 82.42 feet to a point; thence N. 4° 43' 17" E., a distance of 112.62 feet to a point; thence S. 89° 37' 07" E., a distance of 109.63 feet to a point; thence S. 17° 43' 57" W., a distance of 119.93 feet to the point and place of beginning.

Being and intended to be Parcel #122 as shown and delineated on plat of survey by Joseph L Pacheco, P.E. & L.S. No. 3905, entitled "PLAT OF SURVEY SHOWING LANDS IN GUADALUPE NEIGHBORHOOD REPLAT OF PORTIONS OF KINGS MAP BLOCK 61 & 62 PLAT-I.". The plat is recorded in the Office of the County Clerk of Santa Fe County, New Mexico, as Document No. 438267 in Plat Book 69, page 7. Parcel contains 10910 square feet more or less.

REQUEST FOR QUALIFICATIONS

AFFORDABLE HOUSING SITE DEVELOPMENT

Location: 635 Alto Street, Santa Fe, New Mexico

Issued by:

**The City of Santa Fe's
Asset Development Office
AND
Office of Affordable Housing**



RFQ: 635 Alto LPDU

RELEASE DATE: September 15, 2021

SUBMISSION DUE DATE: October 13, 2021

I. INTRODUCTION

The City of Santa Fe (“City”) is seeking qualifications for real estate developers, affordable housing builders and providers and other qualified parties as provided for in Paragraph VI below (“Respondent(s)” or “Respondent Team(s),” collectively “Respondents”) with the capacity and qualifications to build affordable housing in the city of Santa Fe.

The disposition of this site, the subject of this Request for Qualifications (“RFQ”), is intended to be the first of a series of dispositions of under-used City-owned property for the purposes of stimulating the creation of housing units on infill lots. Recognizing that land acquisition and other forms of site control are significant hurdles in the development process, and that developing affordable units is financially challenging, this RFQ provides an opportunity for non- and for-profit developers and builders to attain a developable lot through a real estate donation/disposition agreement.

II. PURPOSE OF THIS REQUEST FOR QUALIFICATIONS

The City is issuing this RFQ to receive submissions (“Submission(s)”) from Respondents for consideration in developing five (5) housing units to be designated as Low Priced Dwelling Units (“LPDU”) subject to the provisions, and as defined by, Santa Fe City Code (“SFCC”) 26-2. The link to SFCC 26-2 is:

https://library.municode.com/nm/santa_fe/codes/code_of_ordinances?nodeId=CHXXVIHO_26-2LOPRDWUN

III. PROJECT SITE

The address of the site is 635 Alto Street in Santa Fe, New Mexico (“Site”). The Site is further described as Lot 9A; Parcel 122 of Document #438267; UPC#: 1053099447224; Deed: Book 430 & Page 688 and it is located in Santa Fe’s Westside Guadalupe Historic District. It is one-quarter (1/4) acre in size (10,910 square feet) and the dimensions are: 112.62 x 119.93 x 82.42 x 109.63. A Map of the site can be found [HERE \(1\)](#). Land use requirements that apply to this site can be found [HERE. \(2\)](#)

IV. NEW MEXICO AFFORDABLE HOUSING ACT

The donation of this Site must be in conformance with the New Mexico Affordable Housing Act (the “Act”) which provides an exemption to the State of New Mexico’s Anti-Donation Clause. The Act determines eligible uses for donations of public land, cash, buildings or infrastructure. All beneficiaries of the donated value must be income-qualified as earning no more than 120% of the area median income (“AMI”), determined through a Department of Housing and Urban

Development (HUD) approved income certification process. Income limits for 2021 can be found [HERE \(3\)](#).

V. BACKGROUND INFORMATION

This Site was the subject of the Greenworks Design Competition sponsored by the City in 2008-09. The competition called for designs that reflected quality and innovation, achieved green building standards, met all land use requirements, conformed to the City's inclusionary zoning program, provided a reasonable budget, and could serve as a replicable model for infill and green buildings. The competition also called for proposed projects that demonstrated responsiveness to neighborhood context, historic design overlay standards and public input. Materials related to the design competition can be viewed [HERE \(4\)](#).

One of the winning designs from 2009 proposed five (5) units constructed on the site, of varying affordability from deeply subsidized to market rate. Later, the City approved Resolution 2010-57 which called for completing predevelopment due diligence, making design changes as needed and drafting construction drawings. The winning architect was hired as the City's agent and the design was submitted to and approved by the Santa Fe Historic Districts Review Board in 2011. While this design approval is expired, it serves as a "proof of concept" and the City encourages respondents to this RFQ to replicate aspects of the design approach as functionally appropriate. The design can be reviewed [HERE \(5\)](#).

VI. ELIGIBILITY

Eligible Respondents to this solicitation include developers, contractors and sponsors of affordable housing, including, and not limited to, partnerships, corporations, limited liability companies, joint ventures, public/private partnerships and non-profit organizations that are organized under state, local, or tribal laws. Respondents must have proven financial capacity and organizational experience to carry out the desired project described in the Submission. Additionally, the MFA Affordable Housing Act Rules require the City of Santa Fe certifies that the respondent is a "Qualifying Grantee" prior to approving the disposition, as described in city code

https://library.municode.com/nm/santa_fe/codes/code_of_ordinances?nodeId=CHXXVIHO_26-3AFHOTRFU

VII. LETTER OF INTEREST

A non-binding letter of interest may be emailed to Alexandra Ladd, Director, Office of Affordable Housing at agladd@santafenm.gov. This will ensure that all prospective respondents receive notice of changes to this RFQ process. The letter of interest is a simple

note indicating that you intend to respond to the RFQ, your organizational affiliation, and your contact information.

VIII. EVALUATION FACTORS

Submissions are required to respond to the following evaluation factors to determine whether the City's objectives for the RFQ are met:

- A. Development Program.** Provide a narrative description of the proposed project, including total development square footage, number of units, unit types, number of bedrooms, household income targets, housing tenure, supportive services/amenities connected to the built project, sustainability and green building features, and highlight any innovation that makes this approach unique. This may also include any co-ownership, community land trust or other non-traditional funding sources or models of operations.

- B. Concept Design.** Provide 1) a site plan that illustrates set-backs, sustainable site aspects, landscape design and materials, outdoor amenities, parking, set-backs, automobile and pedestrian circulation, other environmental or design features; 2) building design that illustrates massing and solar orientation, construction type, materials, green building elements, design elements, strategies that may enable future adaptation and/or densification of the site, expected utility use, and other environmental or design features; 3) a design narrative that describes how proposed project will satisfy design requirements of the Santa Fe Residential Green Building code, historic design requirements, and architectural design requirements.

- C. Experience/Financial Ability.** Provide 1) organizational chart and resumes of the development team, including name and role, identifies project manager and who is empowered to make decisions for the team; 2) project details for similar projects to illustrate experience and expertise, including project name and address, project team (architects, contractors, lenders and investors), project description/development program (total development cost, square footage per residential, retail, office, unit mix, tenure, household income targets, development timeframe) and plans, elevations and images of past projects; 3) business and financial references (at least three references from similar projects completed or in the pipeline within the last 5 years); 4) evidence of financial stability and access to equity (illustrating capacity to leverage funding from a variety of sources – public, private and philanthropic).

D. Project Feasibility. Provide 1) sources and uses budget that includes projected hard (construction) and soft (professional, financing, other) costs, sources of gap financing from private debt, other public financing, and impact investing funds; 2) project operating budget (income and expenses) and identification of subsidy sources over a ten year period for rental projects and/or until 100% absorption of sales for homeownership; 3) letters of interest from financial lenders or investors; 4) schedule that shows benchmarks for completion of proposed project. Project feasibility may also be supported through non-traditional sources such as community land trusts or co-ownership models.

IX. EVALUATION FACTOR SCORING

The following is a summary of Evaluation Factors with point values assigned to each. The weighted factors will be used in the evaluation of each Submission.

A: Development Program	30
Unit Mixture & Affordability Achievements	
Other Amenities & Support Provided (if applicable)	
B: Concept & Design	25
Site Plan & Building Design	
Required Design & Zoning Conformance	
Satisfaction of Desired Design Elements	
C: Experience & Financial Ability	25
Project Team & Resumes	
Demonstrated Past Projects	
Business References	
Financial Stability	
D: Demonstrated Project Feasibility	20
Financial Feasibility	
Project Schedule	
Total	100 POINTS

X. SUBMISSION FORMAT

- 1. Cover Letter.** In addition to the response specifications described below, all Respondents should include a cover letter signed by the person who is empowered by the organization’s governing body to conduct real estate negotiations stating that the information provided is true and correct to the best of the Respondent’s information,

knowledge, and behalf. The letter must provide the contact name and information for the person responsible for the response.

2. All Submissions must be submitted in an electronic format, organized in the order described in Section IX of this RFQ. Each Evaluation Criteria shall be numbered and clearly titled.
3. All Submissions shall be limited to fifteen (15) pages, with the exception of professional licenses, certifications and references, which shall be added as appendices.
4. The Submission should be standard 8 ½" x 11" with a font no smaller than 12 pt. pitch with standard 1" margins.

XI. Award

Award is defined as a signed Real Estate Donation Agreement ("Contract"). The Contract shall be awarded to the Respondent whose submittal is most advantageous to the City, taking into consideration the evaluation factors set forth in this RFQ. In the event that mutually agreeable terms cannot be reached with the selected Respondent, the City reserves the right to enter into negotiations for an Award with the next ranked Respondent(s) without undertaking a new RFQ process.

This RFQ shall be governed by the laws of the State of New Mexico.

XII. RESOURCES AND RESPONSE TIMELINE

1. RFQ Contact:

Alexandra Ladd
Office of Affordable Housing
agladd@santafenm.gov

2. **Information Session.** All interested applicants may attend an optional pre-deadline orientation session via Zoom meeting. This meeting is to ensure understanding of the RFQ process and requirements for submittal. The virtual meeting will take place on **September 21, 2021** from **11am to noon pm**. Spanish interpretation provided upon request. Email agladd@santafenm.gov for Zoom meeting information. An archived recording of this information session will be made available on the City's YouTube channel for those not able to attend the live meeting: <https://www.youtube.com/user/cityofsantafe/videos>.

3. **Procurement Library.** Links will be made available on the City's website ([https://www.santafenm.gov/affordable housing](https://www.santafenm.gov/affordable_housing)) to all useful resources referenced in this RFQ, including:

- Map of the Site
 - Summary of Land Use Requirements for project site
 - Area Median Income (AMI) Schedule for 2021
 - Design Competition Info (GreenWorks Book)
 - HDRB –approved Design (2011)
 - Q & A (as described below)
4. **Q & A.** Questions regarding the RFQ may be emailed on an ongoing basis to Alexandra Ladd, Director, Office of Affordable Housing at agladd@santafenm.gov. All answers will be posted and made available to other respondents as part of the Procurement Library. The deadline to submit questions is one week prior to the Submission deadline.
5. **Due Date.** Complete Submissions are due to the Office of Affordable Housing no later than **5PM MDST/MST on October 13, 2021**. Applications will be electronically submitted via email or dropbox to: agladd@santafenm.gov; Attn: Alexandra Ladd, Director, Office of Affordable Housing; RFQ Name: **635 Alto LPDU**. **Late or incomplete Submissions will not be accepted.** Amended Submissions, replacing a previous Submission, will only be accepted if received prior to the Submission deadline.

6. **SEQUENCE OF EVENTS SUMMARY**

- | | |
|--|--------------------------|
| a. RFQ Release date | September 15, 2021 |
| b. Letter of Interest | Immediate/ongoing |
| Submit to: agladd@santafenm.gov | |
| c. Information Session | September 21, 2021, 11am |
| Request Zoom Link agladd@santafenm.gov ; recording available at :
https://www.youtube.com/user/cityofsantafe/videos | |
| d. Deadline to Submit Written Questions | October 6, 2021 |
| e. Deadline to Respond to Written Questions | October 8, 2021 |
| f. Due Date for Submittals | October 13, 2021 |
| No later than 5:00PM Mountain Daylight time | |
| g. Announcement of Selected Project | October 27, 2021 |

SPECIAL WARRANTY DEED

The City of Santa Fe, a Municipal Corporation, whose address is 200 Lincoln Avenue, Santa Fe, New Mexico, 87504-0909, for consideration paid, grants to Habitat for Humanity, a private not-for-profit New Mexico organization, whose address is 2520 Camino Entrada, Ste. A, Santa Fe, New Mexico 87507-4885, the following described real estate in Santa Fe County, New Mexico:

LEGAL DESCRIPTION

A certain parcel of land located at 635 Alto Street, situated within Projected Section 23, Township 17 North, Range 9 East, N.M.P.M., within the Santa Fe Grant, City and County of Santa Fe, New Mexico, being more particularly described as follows, to-wit:

Beginning at a point for the southeast corner of the parcel which is a point that bears S. 5° 55' 05" E., a distance of 21.31 feet to the center of City of Santa Fe sanitary sewer manhole #20 Line A-6; thence from said point of beginning N. 88° 06' 05" W., a distance of 82.42 feet to a point; thence N. 04° 43' 17" E., a distance of 112.62 feet to a point; thence, S. 89° 37' 07" E., a distance of 109.63 feet to a point; thence S. 17° 43' 57" W., a distance of 119.93 feet to the point and place of beginning. Being and intended to be Parcel #122 as shown and delineated on plat of survey by Joseph I. Pacheco, P.E. & L.E. No. 3905, entitled "PLAT OF SURVEY SHOWING LANDS IN GUADALUPE NEIGHBORHOOD...PLAT - I," said plat is recorded in the Office of the County Clerk of Santa Fe County, New Mexico, as Document No. 438,267 in Plat Book 69, page 7.

with warranty covenants, together with all and singular the rights and appurtenances thereto in anywise belonging including, without limitation, all rights, privileges, and easements, and conditions, and subject to covenants, restrictions, rights, rights of way and easements now of record, if any. Grantee, by its acceptance hereof, does hereby assume and agree to pay ad valorem taxes for calendar year 2022, if any, following the date of recording of this Deed in the records of the Santa Fe County Clerk. This deed is an absolute conveyance, the Grantor having donated the above-described property to the Grantee for a fair and adequate consideration. Grantor declares that this conveyance is freely and fairly made.

Witness my hand and seal this _____ day of _____ 2022.

Alan Webber, Mayor of the City of Santa Fe

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me this _____ day of _____,
2022 by Alan Webber, Mayor for the City of Santa Fe.

Seal:

Notary Public

My Commission Expires:



City of Santa Fe, New Mexico

Memorandum



DATE: September 19, 2022

TO: Mayor Alan Webber
City Councilors

VIA: Rich Brown, Director, Community Development Department _____

FROM: Alexandra Ladd, Director, Office of Affordable Housing AL
Terry Lease, Asset Development Manager, Office of Economic Development TL

ITEM AND ISSUE:

Request for the Approval of Real Estate Donation Agreement to Convey the Property Located at 635 Alto Street from the City ("Donor") to Habitat for Humanity ("Donee") for the Purposes of Developing Five (5) Affordable Homes for Sale to Income-Qualified Homebuyers; (Alexandra Ladd, agladd@santafenm.gov, 505-303-9868; Terry Lease, tjlease@santafenm.gov, 505-629-2206).

BACKGROUND AND SUMMARY:

The disposition of this City-owned site, located at 635 Alto Street, is intended to be the first of a series of dispositions of under-used City-owned property for the purposes of stimulating the creation of housing units on infill lots. Recognizing that land acquisition and other forms of site control are significant hurdles in the development process, and that developing affordable units is financially challenging, the City seeks to provide a developable lot through a real estate donation/disposition agreement.

The donation of the Site was preceded by City of Santa Fe Resolution 2021-38 that expressed the City's intent to donate the Site to a developer certified as a "Qualifying Grantee" under the New Mexico Affordable Housing Act for development of at least five low-priced dwelling units (LPDU), as defined by Santa Fe City Code, 26-2.

PROCUREMENT METHOD:

In September of 2021, the City released a request for qualifications ("RFQ 635 Alto LPDU") seeking a qualifications for real estate developer(s), affordable housing builders and other qualified parties with the capacity to build affordable housing in the city of Santa Fe. Four respondents proposed development concepts that were evaluated based on four factors: 1) development program (# of units, household income targets, sustainability and green building features, etc.); 2) concept design (site plan that showed how land use code would be applied including historic design requirements); 3) experience & financial ability (project team expertise, business references, examples of past projects and evidence of financial stability); 4) project feasibility (sources/uses budget and operating budget, absorption of sales, schedule for completion).

The project team that scored the highest was headed by Santa Fe Habitat for Humanity which proposed building five homes, arranged in a traditional Santa Fe compound. The building materials are contemporary modular components provided through a partnership with a local

design firm, B. Public. The objective is to reduce construction time and construction waste and maximize energy efficiency of the finished homes without sacrificing quality, affordability or design aesthetics. A land use restriction will ensure that the homes are not only sold at affordable home sales prices to income-certified homebuyers, but that affordability is controlled with perpetual liens.

CONTRACT NUMBER:

The FY23 Munis contract number is 3203402

FUNDING SOURCE:

N/A

ACTION REQUESTED:

The Offices of Affordable Housing and Economic Development respectfully request your review and approval of the attached Real Estate Donation Agreement.

ATTACHMENTS:

Real Estate Donation Agreement

RFQ 635 Alto LPDU

Deed

Summary of Contracts

Procurement Checklist



City of Santa Fe

Real Estate Summary of Contracts, Agreements, Amendments & Leases

Section to be completed by department

1. Munis Contract # _____

Contractor: Habitat for Humanity, Inc.

Description: Donation Agreement

Contract Agreement Lease / Rent Amendment

Term Start Date: Upon Execution Term End Date: N/A

Approved by Council Date: _____

Contract / Lease: Contract

Amendment # _____ to the Original Contract / Lease # _____

Increase/(Decrease) Amount \$ _____

Extend Termination Date to: _____

Approved by Council Date: _____

Amendment is for:

2. **HISTORY of Contract, Amendments & Lease / Rent - Please Elaborate** (option: attach spreadsheet if multiple amendments)
Donee (Contractor) submitted a RFQ submission document entitled "Santa Fe Habitat for Humanity Affordable Housing Project" and the Evaluation Committee subsequently selected the Donee as a development partner, and eventual owner of the Site, for approval by the Governing Body.

3. **Procurement History:** Note: This does not Fall Under Procurement, this is Real Property.

Raymond 'Scott' Gunter
Raymond 'Scott' Gunter (Sep 26, 2022 10:58 MDT)

Sep 26, 2022

Purchasing Officer Review: _____

Date: _____

Comment & Exceptions: _____

4. **Funding Source:** _____

Org / Object: _____

Andy Hopkins
Andy Hopkins (Sep 22, 2022 18:38 MDT)

Sep 22, 2022

Budget Officer Approval: _____

Date: _____

Comment & Exceptions: _____

Staff Contact who completed this form: Alexandra Ladd Phone # 505-955-6346

Email: agladd@santafenm.gov

To be recorded by City Clerk:

Clerk # _____

Date of Execution: _____



CITY OF SANTA FE PROCUREMENT CHECKLIST

Contractor Name: Habitat for Humanity, Inc.

Procurement Title: Donation Agreement, Affordable Housing Site Development, 635 Alto Street, Santa Fe, HM

Procurement Method: State Price Agreement Cooperative Sole Source Other RFQ

Exempt Request For Proposal (RFP) Invitation To Bid (ITB) Contract under 60K Contract over 60K

Department Requesting Office of Affordable Housing Staff Name Alexandra Ladd

Procurement Requirements:

A procurement file shall be maintained for all contracts, regardless of the method of procurement. The procurement file shall contain the basis on which the award is made, all submitted bids, all evaluation materials, score sheets, quotations and all other documentation related to or prepared in conjunction with evaluation, negotiation, and the award process. The procurement shall contain a written determination from the Requesting Department, signed by the purchasing officer, setting forth the reasoning for the contract award decision before submitting to the Committees. .

REQUIRED DOCUMENTS FOR APPROVAL BY PURCHASING*

YES	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Approved Procurement Checklist (by Purchasing)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Memo addressed to City Manager (under 60K) Committees/City Council (over 60K)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	State Price Agreement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	RFP
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Evaluation Committee Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ITB
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Bib Tab
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Quotes (3 valid current quotes)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cooperative Agreement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sole Source Request and Determination Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contractors Exempt Letter
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Purchasing Officers approval for exempt procurement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	BAR
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FIR
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Executed Contract, Agreement or Amendment
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Current Business Registration and CRS numbers on contract or agreement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Summary of Contracts and Agreements form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Certificate of Insurance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All documentation presented to Committees
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other: <u>RFQ</u> * This does not fall under Procurement, this is Real Property

<u>Alexandra Ladd</u>	<u>Office of Affordable Housing Director</u>	<u>8/9/22</u>
Department Rep Printed Name (attesting that all information included)	Title	Date
	<u>Procurement Manager</u>	<u>Sep 26, 2022</u>
<u>Raymond 'Scott' Gunter (Sep 26, 2022 10:58 MDT)</u>		
Purchasing Officer (attesting that all information is reviewed)	Title	Date

Include all other substantive documents and records of communication that pertain to the procurement and any resulting contract.

*

GB COMMUNITY DEVELOP 635 ALTO STREET

Interim Agreement Report








2022-09-22

Created:	2022-09-20
By:	Jimmy Tapia (jptapia@ci.santa-fe.nm.us)
Status:	Out for Signature
Transaction ID:	CBJCHBCAABAAoyBxuRAZfZF1z5uebMZzHD5FFBZRLLRL

Agreement History

Agreement history is the list of the events that have impacted the status of the agreement prior to the final signature. A final audit report will be generated when the agreement is complete.

"GB COMMUNITY DEVELOP 635 ALTO STREET" History

-  Document created by Jimmy Tapia (jptapia@ci.santa-fe.nm.us)
2022-09-20 - 8:49:26 PM GMT- IP address: 63.232.20.2
-  Document emailed to Andy Hopkins (ajhopkins@santafenm.gov) for signature
2022-09-20 - 8:54:36 PM GMT
-  Email viewed by Andy Hopkins (ajhopkins@santafenm.gov)
2022-09-20 - 8:54:43 PM GMT- IP address: 40.94.28.254
-  Email viewed by Andy Hopkins (ajhopkins@santafenm.gov)
2022-09-22 - 9:00:29 PM GMT- IP address: 40.94.29.254
-  Document e-signed by Andy Hopkins (ajhopkins@santafenm.gov)
Signature Date: 2022-09-22 - 10:38:50 PM GMT - Time Source: server- IP address: 63.232.20.2
-  Document emailed to jlovato@santafenm.gov for signature
2022-09-22 - 10:38:54 PM GMT
-  Email viewed by jlovato@santafenm.gov
2022-09-22 - 10:38:59 PM GMT- IP address: 40.94.28.254



AMENDED REAL ESTATE DONATION AGREEMENT

This AMENDED REAL ESTATE DONATION AGREEMENT ("**Agreement**") dated this 14th day of 24March, 2024March, is made by and between the CITY OF SANTA FE, a MUNICIPAL CORPORATION, ("**City**" or "**Donor**") and SANTA FE HABITAT FOR HUMANITY, a New Mexico nonprofit corporation, ("**Donee**"), collectively the "**Parties**".

WHEREAS, a City may donate land or money for the construction, renovation, or purchase of affordable housing pursuant to NM Const. Art. 9, Section 14 and NMSA 1978, Section 6-27-1, et seq.; and

WHEREAS, Donor is the fee simple owner of 635 Alto Street, Santa Fe, NM ("**Site**") that is the subject of the Request for Qualifications ("**RFQ**"), identified as "RFQ: 635 Alto LPDU", which was released on September 15, 2021, and four submissions were received; and

WHEREAS, it is the policy of the City to provide incentives and encourage proposals that support the production, acquisition and redevelopment of affordably priced homes in mixed income developments; and

WHEREAS, the development of the Site has been contemplated through several efforts, beginning in 2009, when the City hosted the "Greenworks Design Competition" which called for designs for a multi-income, multi-unit structure that met all land use and historic code requirements, achieved sustainability metrics as determined by "Green Communities" standards, and was financially feasible to develop; and

WHEREAS, the donation of the Site conforms to the City's Five-Year Strategic Housing Plan "Affordable Housing Element," which was adopted in conformance to the Affordable Housing Act by Ordinance No. 2007-23 pursuant to the express statutory authority conferred upon municipalities to enact a housing code in NMSA 1978, Section 3-17-6A(8); and

WHEREAS, the donation of the Site was preceded by City of Santa Fe Resolution 2021-38 which expressed the City's intent to donate the Site to a developer certified as a "Qualifying Grantee" under the New Mexico Affordable Housing Act for development of at least five low-priced dwelling units; and

WHEREAS, Donee submitted a RFQ submission cover letter dated October 13, 2021 and a 15-page RFQ submission document entitled "Santa Fe Habitat for Humanity Affordable Housing Project" (collectively "**RFQ Submission**"), and the Evaluation Committee subsequently selected the Donee as a development partner, and eventual owner of the Site, for approval by the Governing Body; and

WHEREAS, the City of Santa Fe acknowledges the Donee as a "Qualified Grantee" for purposes of local affordable housing ordinances and compliance with the New Mexico Affordable Housing Act; and

WHEREAS, this is an "arm's length" transaction and no identity of interest exists between the Donor and the Donee, their staff, Board of Directors, or Elected Officials; and

WHEREAS, Donee acknowledges that the City has no obligations or responsibilities with regard to development of the Site other than the transfer of the Site for those purposes and as warranted in the deed; and

WHEREAS, on October 18, 2022, the Parties entered into an agreement titled "Real Estate Donation Agreement" ("**2022 Agreement**"), also known as Item #22-0495, that provided for the City's donation of the Site to Donee solely for the purpose of developing low-priced dwelling units or similarly price-restricted residences as proved for in the RFQ; and

WHEREAS, Paragraph 4 (Conditions Precedent to Conveyance) of the 2022 Agreement required Donee to obtain approval of its development plan, to secure all entitlement approvals to develop the Site, and to obtain all financing to accomplish the project; and

WHEREAS, the Conditions Precedent to Conveyance in Paragraph 4 of the 2022 Agreement cannot be achieved without first having title to the Site; and

WHEREAS, the Parties desire to enter into this Agreement in order to correct, amend, restate, and replace the 2022 Agreement.

Now therefore, it is agreed as follows:

1. SITE

Donor is the fee owner of 635 Alto Street, Santa Fe, New Mexico as depicted on the Boundary Survey Plat recorded in the office of the County Clerk of Santa Fe County, New Mexico, on January 4, 2011, identified as Instrument #1622082, Book 726, Page 006, which is attached hereto as **Exhibit A**.

2. DONOR'S OWNERSHIP

Donor represents that it is the sole fee simple owner of the Site and has all necessary authority to sell or donate the Site. There are no other contracts for sale or options involving the Site and no other party has any right, title, or interest in the Site and there are no leases affecting or relating to the Site. Between the date Donor executes this Agreement and Settlement, Donor shall not subject the Site to or consent to any leases, liens, encumbrances, covenants, conditions, restrictions, easements, rights of way, or agreements, or take any other action affecting or modifying the status of title or otherwise affecting the Site without the written consent of the Donee.

3. EFFECTIVE DATE

The date upon which this Agreement shall be finally executed by the authorized representative of Donee and Donor shall be the effective date ("Effective Date") hereof.

4. REQUIREMENTS OF DONEE, ESCROW DEED

- A. Donor hereby agrees to convey to Donee and Donee hereby agrees to accept the donation from Donor, and agrees to complete the following conditions within five (5) years of the execution of this Agreement:
- i Donee shall successfully obtain approval of its development plan;
 - ii Donee shall secure all land use entitlement approvals required to develop the Site;
 - iii Donee shall submit proof of having obtained all financing needed to accomplish the project, or that Donee has the monetary resources to cover all costs;

- B. Immediately following the Donee's receipt of the Special Warranty Deed to the Site, Donee will execute a Special Warranty Deed from Donee to Donor in substantially the form of **Exhibit C** attached hereto, conveying back to Donor all interest in the donated real estate and any improvements thereon if Donee does not complete the requirements in Section 4A of this Agreement within five (5) years of the execution of this Agreement. Said deed shall be escrowed by the Donor in case of default of any of said requirements, which will trigger formal notice of default, which shall be delivered to Donee by Donor, at which time said Special Warranty Deed shall be filed into the real estate record of the Santa Fe County Clerk, effectively terminating this Agreement and vesting title to Site back to Donor.

5. ACTIONS OR SUITS

Donor warrants and represents that there are no actions or suits in law or equity or proceedings by any governmental agency now pending or, to the knowledge of the Donor, threatened against Donor in connection with the Site, and there is no outstanding order, writ, injunction, or decree of any court or governmental agency affecting the Site.

6. PROFFERS AND COMMITMENTS.

Donor represents there has not been made and will not be made, without Donee's prior written consent, any proffers or other commitments relating to the Site, which would impose any obligation on Donee or its successors and assigns, after Settlement as described in Paragraph 8 below, to make any contribution of money or dedications of land or to construct, install, or maintain any improvements of a public or private nature on or off the Site.

7. OTHER AGREEMENTS.

Donor warrants and represents that the execution and delivery of this Agreement, the completion of the transaction(s) contemplated hereby, and the fulfillment of the terms hereof will not result in a breach of any of the terms or provisions of, or constitute a default under, or conflict with, any agreement, indenture, or other instrument to which Donor is a party or by which it or the Site is bound, or any judgment, decree, order, or award of any court, governmental body, or arbitrator, or any law, rule, or regulation applicable to Donor.

8. SETTLEMENT.

- a. Settlement and delivery of possession shall be within forty-five (45) business days of execution of this Agreement, allowing a reasonable time for preparation of documents ("Settlement"). Settlement shall be held at the offices of Steward Title Company, as the "Settlement Agent", or at such other place as the parties may agree. Donor shall deliver to Donee, at Settlement, a fully executed Special Warranty Deed, conveying the Site in fee simple to Donee ("Deed"). Donee will pay for all costs associated with the closing.
- b. Donor shall deliver to Donee at Settlement an affidavit, on a form acceptable to Donee or Donee's title insurance company, signed by Donor, that no labor or materials have been furnished to the Site within the statutory period for the filing of mechanics' or materialmen's liens against the Site, or if labor or materials have been furnished during the statutory period, an affidavit that the costs thereof have been paid in full.
- c. Donor agrees to deliver to Donee or Settlement Agent the following at or prior to Settlement:
 - (i) The fully executed Special Warranty Deed in substantially the form **Exhibit B** attached hereto;
 - (ii) The signed closing or settlement statement prepared or approved by Settlement Agent;and

- (iii) Any other documents reasonably required by Settlement Agent or Donee.
- d. Donee agrees to record a Land Use Restriction on the property that will be for forty-five (45) years in substantially the form of **Exhibit D** attached hereto.
- e. Donee agrees that upon the sale of each LPDU (as defined below), or a similarly price-restricted residence, Donee shall execute and record a “Declaration of Restrictive Covenants, Right of First Refusal and Equity Share” document substantially in the form of the attached **Exhibit E**, which may be amended from time-to-time, thus assuring the Site will be used for price-restricted residences for forty-five (45) years.

9. TITLE.

The Site shall be conveyed free from all mortgages, deeds of trust, liens, security interests, and other financial encumbrances.

10. EXPENSES OF SETTLEMENT.

- a. Donee shall pay for its own attorney's fees as well as other charges customarily paid by a Donee of real estate in New Mexico. Donee may obtain a title insurance policy from the Settlement Agent at Donee's sole cost and expense.
- b. Donee shall pay for the preparation of any documents it is required to provide hereunder, and its own attorney's fees as well as other charges customarily paid by a Donee of real estate in New Mexico.
- c. All real estate taxes, assessments, utility charges, and rent, if any, shall be prorated as of the date conveyance is executed.

11. USE OF SITE.

Donee shall use the Site solely for the purpose of developing low priced dwelling units (“LPDU”), or similarly price-restricted residences, as provided for in the RFQ and RFQ Submission.

12. DEFAULT.

In the event of any default, the non-defaulting party shall be entitled to pursue any remedies at law or inequity in connection with the default of the other party. The election to terminate this Agreement under the terms hereof shall not constitute a default.

13. PRIOR AGREEMENTS MERGER.

This Agreement supersedes any and all prior understandings and agreements between the parties and constitutes the entire agreement between them. No representations, warranties, conditions, or statements, oral or written, not contained herein shall be considered a part hereof. This Agreement may not be amended, altered, or modified except by an instrument in writing signed by the party sought to be charged therewith. This Agreement supersedes the original agreement bearing the date of October 18, 2022.

14. NOTICES.

Any notices required or permitted to be given hereunder shall be deemed to have been properly given if sent by United States certified or registered mail, return receipt requested, postage prepaid, or if delivered in hand, as follows:

If delivered or mailed to
Donor:

City of Santa Fe
Attn. City Attorney's Office
PO Box 909

Santa Fe, NM 87504-0909

With a copy to:

City of Santa Fe
Attn. Asset Development Manager
737 Agua Fria Street
Santa Fe, NM 87505

Donee:

Santa Fe Habitat for Humanity
Attn. Mr. Kurt Krahn, Executive Director
2520 Camino Entrada, Ste. A
Santa Fe, NM 87507-4885

15. GOVERNING LAW.

Notwithstanding the place where this Agreement may be executed by any of the parties hereto, the parties expressly agree that all terms and provisions hereof shall be construed and enforced in accordance with the laws of the STATE OF NEW MEXICO.

16. DOCUMENTS INCORPORATED.

The following documents incorporated herein by reference to the extent they are consistent with the terms and conditions of this Agreement:

- a. RFQ: 635 Alto LPDU.
- b. Donee RFQ submission cover letter dated October 13, 2021 (1 page).
- c. Donee RFQ submission entitled "Santa Fe Habitat for Humanity Affordable Housing Project (15 pages).

17. MISCELLANEOUS.

Subject to the provisions hereof, this Agreement shall bind and inure to the benefit of the parties hereto, their heirs, personal representatives, successors, and permitted assigns. No assignment of this Agreement shall be permitted except with the written consent of the other party, which consent shall not be withheld unreasonably. The warranties, representations, and terms of this Agreement shall survive delivery of the Deed and shall not be merged therein.

18. EXECUTION OF CONVEYANCE.

The approval and execution of this Agreement grants the authority to fully execute the conveyance of the property via Special Warranty Deed by the Mayor.

[The remainder of this page is blank. Signatures are on the following pages.]

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals.

"Donor"

CITY OF SANTA FE


Alan Webber (Mar 14, 2024 16:38 MDT)
ALAN WEBBER, MAYOR

Mar 14, 2024
DATE

ATTEST:


GERALYN F. CARDENAS (Mar 14, 2024 23:46 MDT)
GERALYN F. CARDENAS, INTERIM CITY CLERK
GB MTG 03/13/24 *XIV*


Mar 14, 2024
DATE

APPROVED AS TO FORM FOR LEGAL SUFFICIENCY:


Erin McSherry (Feb 16, 2024 17:17 MST)
ERIN K. MCSHERRY, CITY ATTORNEY

Feb 16, 2024
DATE

APPROVED AS TO FINANCE:


EMILY K. OSTER, FINANCE DIRECTOR
NO FUNDS ACCOUNT - DONATION

Feb 27, 2024
DATE

"Donee"

SANTA FE HABITAT FOR HUMANITY


KURT KRAHN, EXECUTIVE DIRECTOR

02/09/2024
DATE

EXHIBIT B
To Amended Real Estate Donation Agreement

FORM OF SPECIAL WARRANTY DEED

The City of Santa Fe, a Municipal Corporation, whose address is 200 Lincoln Avenue, Santa Fe, New Mexico, 87504-0909, for consideration pursuant to New Mexico Const. Art. 9, Section 14 and NMSA 1978, Section 6-27-1, et seq., grants to Santa Fe Habitat for Humanity, a New Mexico nonprofit corporation, whose address is 2520 Camino Entrada Ste. A, Santa Fe, New Mexico 87507, the following described real estate in Santa Fe County, New Mexico:

All of Lot 122 as shown on that certain "Boundary Survey Plat prepared for the City of Santa Fe of Lot 122 of the Guadalupe Neighborhood, Plat I" recorded January 4, 2011 in Book 726, Page 006, as Instrument #1622082 of the records of Santa Fe County.

with special warranty covenants.

Subject to easements, covenants, and restrictions of record.

Witness my hand and seal this _____ day of _____, 20_____.

CITY OF SANTA FE

ALAN M. WEBBER, MAYOR

ATTEST:

GERALYN F. CARDENAS, INTERIM CITY CLERK

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
) SS.
COUNTY OF SANTA FE)

This instrument was acknowledged before me this ___ day of _____, 20_____ by Alan M. Webber, Mayor of the City of Santa Fe.

EXHIBIT C
to
Amended Real Estate Donation Agreement

FORM OF SPECIAL WARRANTY DEED

SANTA FE HABITAT FOR HUMANITY, a New Mexico nonprofit corporation, whose address is 2520 Camino Entrada Ste. A, Santa Fe, New Mexico, for no consideration paid, grants to **The CITY OF SANTA FE, a Municipal Corporation**, whose address is 200 Lincoln Avenue, Santa Fe, New Mexico, 87504-0909, the following described real estate in Santa Fe County, New Mexico:

A parcel of land lying and being situate within the municipal limits of the City of Santa Fe, County of Santa Fe, State of New Mexico, being more particularly bounded and described as follows:

All of Lot 122 as shown on that certain "Boundary Survey Plat prepared for the City of Santa Fe of Lot 122 of the Guadalupe Neighborhood, Plat I" recorded January 4, 2011 in Book 726, Page 006, as Instrument #1622082 of the records of Santa Fe County.

With special warranty covenants.

Subject to easements, covenants, and restrictions of record.

Witness my hand and seal this 9th day of Feb., 2024

SANTA FE HABITAT FOR HUMANITY



KURT KRAHN, EXECUTIVE DIRECTOR

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)SS
COUNTY OF SANTA FE)

This instrument was acknowledged before me this 9 day of Feb., 2024 by Kurt Krahn, Executive Director of Santa Fe Habitat for Humanity.


MARILYN E. PERRYMAN
Notary Public - State of New Mexico
Commission # 1112117
My Comm. Expires May 20, 2027

EXHIBIT D
to
Amended Real Estate Donation Agreement

**FORM OF DECLARATION OF
AFFORDABLE HOUSING
RESTRICTIVE CONVENANT**

Santa Fe Habitat for Humanity, a New Mexico nonprofit corporation, (the "Declarant") hereby declares, until December 31, 2069, that the property described in attached **Exhibit A** (the "Property") shall be used for residential housing for persons or households of low or moderate income within the meaning of New Mexico Statutes Annotated Chapter 6, Article 27 and consistent with Santa Fe City Code Chapter 26. This covenant is for the benefit of, and is enforceable by, the City of Santa Fe (the "City"). This covenant shall run with the land until December 31, 2069, at which point this covenant shall expire and be of no further force and effect without any further action being necessary from the City, the Declarant, or the then owner of the property.

SANTA FE HABITAT FOR HUMANITY



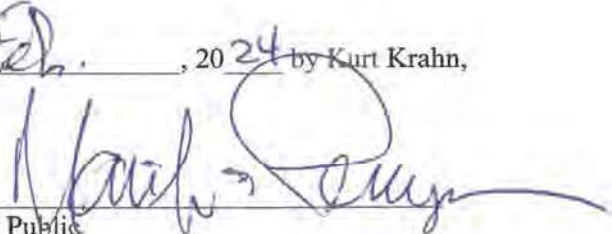
KURT KRAHN, EXECUTIVE DIRECTOR

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me this 9 day of Feb., 2024 by Kurt Krahn, Executive Director of Santa Fe Habitat for Humanity.

Seal:



Notary Public

My Commission Expires:
5/20/2027

MARILYN E. PERRYMAN
Notary Public - State of New Mexico
Commission # 1112117
My Comm. Expires May 20, 2027

EXHIBIT E
to
Amended Real Estate Donation Agreement

Santa Fe Habitat for Humanity

SAMPLE
DECLARATION OF RESTRICTIVE COVENANTS
RIGHT OF FIRST REFUSAL AND EQUITY SHARE

THIS DECLARATION OF RESTRICTIVE COVENANTS, RIGHT OF FIRST REFUSAL AND EQUITY SHARE BY SANTA FE HABITAT FOR HUMANITY, INC., a New Mexico non-profit corporation ("Habitat") and **XXX and XXX, a married couple** ("Owner") is made effective as of the date of recordation in the records of the Clerk of Santa Fe County, New Mexico.

RECITALS

A. Habitat is the owner of the real property which is more fully described in Exhibit A attached hereto and incorporated herein by reference (the "Property").

B. Habitat sells property to persons who qualify for Habitat ownership based on income and other factors. The ownership is for those making up to 80% AMI, at the point of proposed purchase. Owners have qualified for Habitat ownership.

C. Owners understand that ownership of a Habitat home has certain restrictions and Owners agree to accept ownership with the restrictions that are set forth in this Declaration.

D. Habitat desires to declare that ownership of a Habitat home including the Property described in the attached Exhibit A is subject to the covenants, restrictions, right of first refusal, and other agreements as set forth in this Declaration.

E. This Declaration shall restrict the Property, run with the land, and be binding upon all future owners of the Property until expiration or release of this Declaration as set forth herein.

I. RESTRICTION UPON RESALE OF PROPERTY.

1.01 Restriction Period. Sale of the Property, or any portion thereof, is restricted from the date of the sale of the Property to owners for 45 years, **thereafter (the "Restriction Period")**. For purposes of this Declaration the date of the sale is: **Month XXth, 20XX**. The Restriction Period is 45 years following the date of sale .

1.02 Sale, Transfer or Conveyance Before Expiration of Restriction Period.

Sale of the Property by the owner prior to expiration of the Restriction Period is restricted. In the event of a sale, transfer, or conveyance (other than by death of owner by devise, descent, or operation of the laws of intestacy) before expiration of the Restriction Period, the sale is subject to the Right of First Refusal set forth below.

1.03 Restrictions of Other Lenders/ Junior Encumbrances. In connection with the acquisition of the Property, owner may have entered into one or more junior mortgages and land use restriction agreements imposed by lenders other than Habitat, including but not limited to the New Mexico Mortgage Finance Authority, Federal Home Loan Bank, City of Santa Fe, and/or other governmental or non-governmental agencies that provided down-payment and other assistance to owners in acquisition of the Property (the "Junior Encumbrance(s)"). The sale, transfer or conveyance of the Property is further restricted by these Junior Encumbrances. Prior to a sale, transfer, or conveyance of the Property, it shall be the obligation of owner to determine whether and to what extent one or more of these Junior Encumbrances would prohibit the sale, conveyance or transfer, or what amounts would be required to be paid to the other lender to cause a Junior Encumbrance to be released.

1.04 No Third-Party Rights. This Covenant is made and entered into for the protection and benefit of the lenders and owner. Except as otherwise specifically provided for herein, no other person, persons, entity, or entities, including without limitation prospective buyers of a Unit, shall have any right of action with respect to this Covenant or right to claim any right or benefit from the terms provided in this Covenant or be deemed a third-party beneficiary of this Covenant.

II. RIGHT OF FIRST REFUSAL.

In the event owner desires to sell, transfer, or convey (other than at death of owners by devise, descent, or operation of laws of intestacy) all or any part of the Property or any interest therein at any time prior to the expiration of the Restriction Period, owner must first offer to sell the Property to Habitat as hereinafter provided.

2.01 Third Party Offer. If owner desires to sell and has received a bona fide offer from a third party to purchase the Property upon terms and conditions that are acceptable to owners (the "Third Party Offer"), owner shall offer to Habitat (the " Offer to Habitat") to sell the Property to Habitat upon the same terms and conditions as that contained in the Third Party Offer, with the exception of the price to be paid, which is described below. The Offer to Habitat shall be made in writing not less than ten (10) days after receipt by owner of the Third Party Offer. Habitat shall have sixty (60) days from the receipt of the Offer to Habitat to accept or reject the Offer to Habitat. If at any time the material terms and conditions of the Third Party Offer are changed or modified, owner shall reoffer the property to Habitat upon those changed terms and conditions and Habitat shall again have sixty (60) days from receipt of the changed Offer to Habitat to accept or reject the Offer, provided, however, that owner shall be under no duty to reoffer the Property after a binding purchase agreement with a third party has been executed in compliance with this Agreement.

2.02 Inheritance. The person inheriting the Unit, or the person receiving the Unit as beneficiary of a trust shall provide written notice to Habitat of the death within sixty (60) days of the date of death, and the following shall apply:

(a) The person inheriting the Unit shall provide Habitat with documentation that he or she is an Eligible Purchaser. If the Inheriting Owner fails to provide required documentation, he or she shall be deemed not to qualify as an Eligible Purchaser. If the Inheriting Owner qualifies as an Eligible Purchaser, he or she shall succeed to Owner's interest and obligations under Agreement. If the Inheriting Owner fails to qualify as an Eligible Purchaser, he or she shall be required to sell the Unit. Inheriting Owner may own and occupy the Unit for up to one (1) year prior to providing a notice of intent to transfer and provided further that the Inheriting Owner remains in compliance with all other requirements of this Agreement. Failure of an Inheriting Owner to follow procedures and file the notices described in this Section which shall constitute a Default.

2.03 Purchase Price. The purchase price for the Property when offered to Habitat under the above right of first refusal shall be the lesser of: (a) the purchase price contained in the Third Party Offer or (b) at Habitat's option and expense, the fair market value of the Property as determined by an appraiser who is experienced in appraising residential real estate in Santa Fe County, New Mexico, to be selected by Habitat. This lesser amount shall be called the "Right of First Refusal Price."

2.04 Deductions from Right of First Refusal Purchase Price. If Habitat accepts the Offer to Habitat and a closing of the sale is scheduled, at closing, there shall be deducted from the First Refusal Purchase Price, the following amounts:

- Any amounts owing by owner to Habitat under the First Note and First Mortgage, and including the Equity Share identified in Article III of this Declaration.
- Any other amounts owing by owners for any one or more Junior Encumbrance.
- Owner's share of the pro-rata items, liens and other encumbrances described below.

2.05 Closing Date/Pro-Ration/Liens and Encumbrances.

(a) In the event that Habitat accepts the Offer to Habitat, the transaction shall be closed at the office of Habitat in Santa Fe, New Mexico, or at such other place as may be designated by Habitat, on or before sixty (60) days from the date of acceptance of the Offer to Habitat.

(b) As of date of closing, owner agrees to pay or have paid all taxes and assessments due, as well as all road, well sharing and other charges against the Property, if any. Taxes shall be pro-rated at the date of closing on the basis of the taxes levied for the preceding year. Any and all other liabilities and expenses (including, but not limited to, payments due

pursuant to road and well share agreements, if any, special assessments, and all other liabilities and expenses accrued and unpaid, otherwise attributable to the ownership and operation of the Property, which are accrued and unpaid up to and including the closing date), shall remain the responsibility of the owner up to the date of closing and thereafter shall become the sole responsibility of Habitat. If owner fails to pay said sums, then Habitat may pay said sums and deduct said sums from the Right of First Refusal Price. Purchasers shall provide to Habitat at least five (5) days prior to closing a copy of the property tax bill.

(c) In the event there are other liens or encumbrances against the Property such liens or encumbrances shall be deducted from the Right of First Refusal Price, with Purchasers to receive the then remaining balance.

2.06 Notices. All notices required under this Right of First Refusal provision shall be sent via registered or certified mail, return receipt requested, postage prepaid and addressed to the party to be notified as follows:

Owner:

**XXX and XXX
X XXX Road
Santa Fe, NM 875XX**

Habitat:

Santa Fe Habitat for Humanity, Inc.
2520 Camino Entrada, Unit A
Santa Fe, New Mexico 87507
Attn: Executive Director

2.07 Rejection of Offer by Habitat. In the event Habitat rejects an Offer to Habitat that complies with the requirements of this Article II, Habitat will execute an affidavit attesting to owner's compliance with the terms of the Right of First Refusal, Habitat's rejection of the Offer to Habitat, and that a conveyance from owner to the Third Party identified in the Third-Party Offer is not contrary to this Agreement. At closing of the sale of the Third Party Offer, there shall be deducted from the proceeds payable to owners the amount owing for all the obligations owing as set forth in 2.03, above.

III. EQUITY SHARE.

The Property sold by Habitat to owner has been acquired and constructed using donations from the public of labor, material, and land, and the sales price to owners is substantially below the fair market value of the Property. The difference between the appraised value of the Property and the amount of the First Note and First Mortgage executed by owners at closing is _____ (\$ _____). This amount is the "Equity Share." In order to assure that there is

no windfall to owner and that the resources used by Habitat are available for construction of future homes, owners agree that the Equity Share will be due and owing to Habitat upon any one of the following events:

- Owner sells the Property before expiration of the Restriction Period.
- The occurrence of an event that is described herein as an “Extraordinary Event.”

The Equity Share shall not accrue interest. At the expiration of the Restriction Period, the Equity Share shall be forgiven.

IV. EXTRAORDINARY EVENTS.

4.1 Extraordinary Events: If any Extraordinary Event described below happens during the Restriction Period, the owners will immediately owe the outstanding balance on the First Note, First Mortgage, the Equity Share in the amount set forth above in Article III, and all amounts owing under any other Junior Encumbrances.

The term "Extraordinary Events" means any of the following:

(a) Owner sells the Property to a third-party contrary to the provisions of this Declaration.

(b) Owner transfers the Property or any interest in the Property by gift or otherwise to someone other than the spouse of the owner(s), or to the partner of the owner(s) who is named on the Warranty Deed. The Property may be transferred into one spouse's name if the parties' enter into a legal separation or obtain a decree of divorce, or, as between partners who are both named in the warranty deed, enter into an agreement whereby one partner transfers his or her interest to the other partner.

(c) Owner rents the Property to a person not named on the warranty deed for any period of time.

(d) Owner fails to occupy the Property as Purchaser's main residence for a period of more than thirty (30) consecutive days, or more than sixty (60) days in any calendar period without written consent of Habitat. Habitat agrees to grant consent for the owner to fail to occupy the Property in the event of hospitalization, vacation, medical emergency of any family member, work requirements, and any other reasonable grounds for absence.

(e) A third party forecloses on the Property; or

(f) Owner defaults in any of his/her obligations under the First Note, the First Mortgage or this Declaration (collectively the “Loan Documents”) and fails to cure such default in accordance with the terms of said Loan Documents.

V. TRANSFER OF TAX CREDIT RESTRICTIONS

5.1 Santa Fe Habitat for Humanity is the Builder of the Property and has built the home following the guidelines and rules to meet the NM Sustainable Building Tax Credit and

other green building programs as applicable or may become available from the State of New Mexico, Federal Government, utility providers or others.

5.2 Habitat will retain all federal, state, and local green or sustainable building tax credits and/or rebates associated with the Property. Owner further agrees to cooperate with Habitat should any additional documentation, testing, verifications, or signatures be required by the agency issuing a tax credit or rebate for a period of one year from the recorded closing date of this home purchase.

By signing this Declaration all parties agree and accept the above statements on the green building credits or rebates.

VI. REMEDIES FOR BREACH OF DECLARATION.

If Habitat becomes aware of a breach or violation of any of the covenants and restrictions contained in this Declaration, including but limited to the occurrence of an Extraordinary Event, it may give written notice thereof to owner, directing owner to remedy the breach or violation within a reasonable specified period of time (not to exceed 30 days after the date of the notice). After the period specified in the notice, if the breach or violation has not been fully remedied by the owner to the satisfaction of Habitat, Habitat may (i) institute and prosecute any proceeding at law or in equity to abate, prevent or enjoin any such breach or violation; (ii) compel specific performance hereunder; (iii) recover monetary damages, together with the cost and expenses of any proceedings for the collection thereof caused by such breach or violation, including reasonable attorneys' fees; (iv) take any other action available to remedy the breach or violation; or (v) pursue any combination of these remedies including but not limited to a foreclosure proceeding. No delay in enforcing the provisions hereof as to any breach or violation shall impair, damage, or waive the right of any party entitled to enforce the same or to obtain relief against or recover for the continuation or repetition of such breach or violation or any similar breach or violation at any later time or times. Owner agrees to pay the reasonable attorney fees and costs of Habitat, or its assigns incurred in enforcing the terms of this Declaration, whether or not a lawsuit is filed.

VII. MISCELLANEOUS.

This Agreement: (i) is entered into in New Mexico, shall be construed under the laws of the State of New Mexico, and the courts of the State of New Mexico shall have exclusive jurisdiction of all matters arising in relation hereto; (ii) merges in it all prior representations and negotiations and is the final, exclusive statement of the terms and conditions of agreement; (iii) may not be amended or contradicted except by a later writing signed by the party to be charged; (iv) is not assignable without written consent of all parties; (v) benefits and binds each party's successor, of whatever legal description; and (vi) may be executed in counterparts, which constitute one and the same agreement. Headings of paragraphs are for organizational purposes only and shall not be used in any way in interpreting this contract. If any dispute arises between the parties in relation to this Declaration or a party breaches this Declaration and a party successfully seeks relief from a court, the prevailing party shall be entitled to payment of its/her

NOTARY PUBLIC

My Commission Expires:

Exhibit A to SAMPLE
DECLARATION OF RESTRICTIVE COVENANTS
RIGHT OF FIRST REFUSAL AND EQUITY SHARE

All of Lot 122 as shown on that certain "Boundary Survey Plat prepared for the City of Santa Fe of Lot 122 of the Guadalupe Neighborhood, Plat I" recorded January 4, 2011 in Book 726, Page 006, as Instrument #1622082 of the records of Santa Fe County.

Property Address:

635 Alto Street
Santa Fe, NM 87501



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909
www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1
Renee Villarreal, District 1
Michael J. Garcia, District 2
Carol Romero-Wirth, District 2
Roman "Tiger" Abeyta, District 3
Chris Rivera, District 3
Jamie Cassutt-Sanchez, District 4
JoAnne Vigil Coppler, District 4

January 31, 2024,

Ron Winters
109 Calle Paula,
Santa Fe, New Mexico 87505

NOTICE OF ARC ACTION

Project Location: 635 Alto Street
ARC Case Number: 2024-007754-ARC

Dear Mr. Winters,

At their hearing on January 25, 2024, the City of Santa Fe Archaeological Review Committee (ARC) voted unanimously to approve the archaeological reconnaissance report for 635 Alto Street, with the condition revisions be submitted to staff.

Sincerely,

Paul A. Duran

Paul A. Duran
Historic Preservation Division Senior Planner
Planning and Land Use Department, City of Santa Fe



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2024-007826-HDRB. 635 Alto St. Westside-Guadalupe Historic District. Brian Lawler, agent
DESC: for Habitat for Humanity, proposes four 24' tall two-story townhomes adjacent to Lower Alto St., and one two-story single-family dwelling unit (12'5" height at Alto Street, 22' height to internal courtyard) adjacent to Alto St. The maximum permitted height is 19' for Lower Alto and 14'8" for Alto St.

CASE NUMBER: 2024-007826--HDRB

PROJECT TYPE: New Construction

LOCATION: 635 ALTO ST
Santa Fe, NM 87501

CONTACTS: Property Owner	SANTA FE HABITAT FOR HUMANITY	2520 CAMINO ENTRADA SANTA FE, NM 87507	A
Applicant	BRIAN LAWLER	2520 Camino Entrada Ste. A	SANTA FE, NM 87507

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Feb 27, 2024. The decision of the Board was to to approve the project.

For further information please call 505-955-6605.

Sincerely,

Heather Lamboy

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

635 Alto Street Annual Water Budget Calculation:

USGBC/LEED v4 Indoor Water Baseline Consumption, Per Person Per Day

Fixture	Baseline Flush or Flow Rate	Estimated Fixture Usage	Est. Water Usage	
Shower	2.5 gpm	10 minutes	25.0 gallons	0.00008 acre-feet
Lavatory, kitchen faucet	2.2 gpm	10 minutes	22.0 gallons	0.00007 acre-feet
Toilet	1.6 gpf	5.05 flushes .37 cycles at	8.0 gallons	0.00002 acre-feet
Clothes Washer	9.5 IWF	3.5 ft ³	15.1 gallons	0.00005 acre-feet
Dishwasher	6.5 gpc	0.1 cycles	0.7 gallons	0.00000 acre-feet
<u>Total usage per person per day for all appliances:</u>			<u>70.8 gallons</u>	0.00022 acre-feet
add contingency/safety factor (10%):			<u>7.1 gallons</u>	0.00002 acre-feet
3 bedroom unit			233.6 gallons	0.00072 acre-feet
2 bedroom unit			155.8 gallons	0.00048 acre-feet
<u>Total project Indoor Water Use:</u>			<u>1,012.4 gallons per day</u>	0.00311 acre-feet
			<u>369,540.6 gallons per year</u>	1.13408 acre-feet

Irrigation Water Usage

FROM SHEET L102

	qty.	emitter	frequency	58.5 h/year
Trees	5	6x 2 gph	45m, 3x per week, 6 months	
Shrubs	22	2x 2 gph	45m, 3x per week, 6 months	
Grasses/Flowering Plants	26	2x 2 gph	45m, 3x per week, 6 months	
Total irrigation Water Usage				
	Trees		292.5 gallons/year	0.000897648 acre-feet/y
	Shrubs		1287 gallons/year	0.003949653 acre-feet/y
	Grasses/Flowering Plants		1521 gallons/year	0.004667771 acre-feet/y
	TOTAL		3100.5 gallons/year	0.009515073 acre-feet/y
	TOTAL INDOOR + OUTDOOR		372,641.1 gallons/year	1.14359 acre-feet/y

Sheet1

Irrigation Watering Schedule

Watering 6 months of the year (April – September).

Watering all plantings 45m each time.

Watering frequency to decrease after first year to regular watering schedule.

<u>Planting Type</u>	<u>Qty.</u>	<u>Emitters per plant (2 ga./h)</u>	<u>Watering hours per year (base, every 14 days)</u>	<u>Gallons per year (base)</u>
Trees	5	6	9.78	293.50
Shrubs	22	2	9.78	430.47
Grasses/Flowers	26	2	9.78	508.74

Year Totals (Gallons)				
	Year 1	Year 2	Year 3	Average
	<u>5x frequency</u>	<u>3x frequency</u>	<u>1x frequency</u>	
	1467.52	880.51	293.50	880.51
	2152.37	1291.42	430.47	1291.42
	2543.71	1526.22	508.74	1526.22
<u>Total:</u>	6163.59	3698.16	1232.72	3698.16

Year Totals (Acre-feet)				1 acre-foot = 325851.385 gallons
	Year 1	Year 2	Year 3	Average
	<u>3x frequency</u>	<u>2x frequency</u>	<u>1x frequency</u>	
	0.0045036553	0.0027021932	0.000900731	0.002702193
	0.0066053611	0.0039632167	0.001321072	0.003963217
	0.0078063359	0.0046838015	0.001561267	0.004683802
<u>Total:</u>	0.0189153523	0.0113492114	0.00378307	0.011349211



4/3/2023

To: City of Santa Fe Land Use Department

Proposed project: Affordable Townhomes by Santa Fe Habitat for Humanity

Development Irrigation System:

The irrigation system for the housing at 635 Alto Street shall use low water-use drip irrigation in addition to passive swales to minimize the amount of water used for landscape irrigation. Each home shall have its own irrigation controller. Because there will be no plantings in the minimal common areas, a separate common area irrigation controller is not needed.

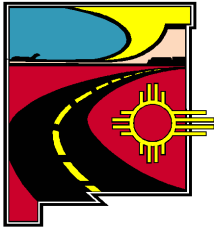
The stormwater system is separated from the irrigation system.

2520 Camino Entrada, Ste A Santa Fe, New Mexico 87507-4885

Telephone: (505) 986-5880

FAX: (815) 366-8054

Website: www.santafehabitat.org



Site Threshold Assessment (STH)

A Site Threshold Assessment (STH) is required of all developing or redeveloping properties that directly or indirectly access a state highway.

District No. _____

Project No. _____

Permit Applicant

Date: 3/12/24

Applicant Name: Brian Lawler

Business Name: Santa Fe Habitat for Humanity

Business Address: 2520 Camino Entrada, Ste A

City: Santa Fe State: NM Zip Code: 87507 -

Site Description

Development Type		Site Information (fill in all that apply)			
Residential	<u>X</u>	Building Size (SF)	<u>6448</u>	Dwelling Units	<u>5</u>
Retail	___	Parcel Size (ac)	<u>0.25</u>	Rooms	<u>13</u>
Office	___	Roadway Frontage (ft)	<u>192</u>	Beds	<u>13</u>
Industrial	___	Parking Spaces	<u>10</u>	Students	___
Institutional	___	Employees	___	Seats	___
Lodging	___	Other	___	Fuel Pumps	___
Restaurant	___			Courts	___
Convenience/Gas	___			Storage Units	___
Other	___				

The STH examines existing roadway volumes and anticipated site trip generation for the purpose of determining if additional analyses are required. If the site characteristics and the trip generation estimate for a proposed development do not satisfy the requirements for a STA or a TIA as determined by the District Traffic Engineer, the STH should be approved and the traffic study requirement for the proposed development will be complete. If additional analysis is required based on the results of the STH, the District Traffic Engineer should indicate to the applicant the level of analysis that is required.

Existing Roadway Data

Highway No.: n/a Site Mile Post: n/a

Highway ADT: 2565 (not adjacent to site) Count Year: 2023

Number of Lanes (two-way): 2 Func. Class.: n/a

Trip Generation

ITE Trip Generation Land Use Category: 223 - Affordable Housing

AM Peak Hour Trips Enter: 2 Exit: 4

PM Peak Hour Trips Enter: 2 Exit: 2

Exceeds Threshold: **Y or N** → If Yes, is a **STA** or **TIA** Required?

Thresholds

STA: 25 to 99 peak-hour total trips and more than 1,000 vehicles per lane per day on adjacent highway.

TIA: 100 or more peak-hour total trips.

Other Requirement Basis / DTE Comments: _____

Land use 220 was considered but the trip generation rate was similar and lower depending on the sub category. Land use 223 is more apt to the Habitat for Humanity program. The closest NMDOT count station is ID 12048 located on Agua Fria street close to Closson St. The ADT on Alto St is likely much lower.

Land Use: 223

Affordable Housing

Description

Affordable housing includes all multifamily housing that is rented at below market rate to households that include at least one employed member. Eligibility to live in affordable housing can be a function of limited household income and resident age. Multifamily housing (low-rise) (Land Use 220), multifamily housing (mid-rise) (Land Use 221), and multifamily housing (high-rise) (Land Use 222) are related land uses.

Land Use Subcategory

Data are presented for three subcategories for this land use: (1) sites with income limitations for its tenants (denoted as income limits in the data plots), (2) sites with both minimum age thresholds and income limitations for its tenants (denoted as senior in the data plots), and (3) sites designed for and occupied by residents with special needs, such as persons with physical and mental impairments, single mothers, recovering addicts and others living in a group setting.

Additional Data

For most study sites contained in this land use, all dwelling units in the development are classified as affordable units. For residential study sites that provide a mix of market value and affordable units, the study sites with at least 75 percent of the dwelling units designated as affordable are also included in this land use database.

It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).

The sites were surveyed in the 1980s and 2010s in California, Ontario (CAN), and New Jersey.

Source Numbers

237, 918, 1003, 1004, 1046, 1057

Affordable Housing - Income Limits (223)

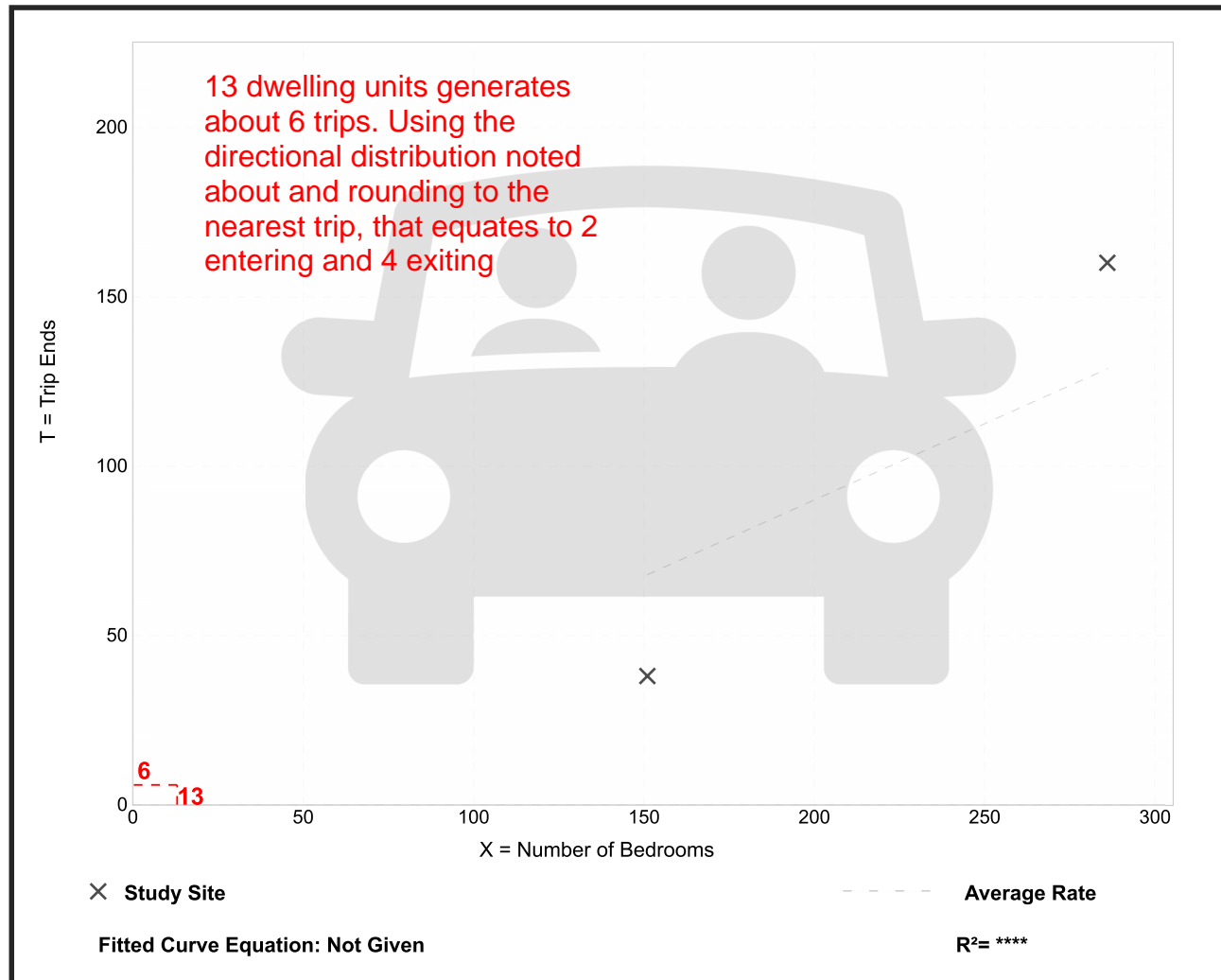
Vehicle Trip Ends vs: Bedrooms
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 2
 Avg. Num. of Bedrooms: 219
 Directional Distribution: 37% entering, 63% exiting

Vehicle Trip Generation per Bedroom

Average Rate	Range of Rates	Standard Deviation
0.45	0.25 - 0.56	*

Data Plot and Equation

Caution – Small Sample Size



Affordable Housing - Income Limits (223)

Vehicle Trip Ends vs: Bedrooms
On a: Weekday,
PM Peak Hour of Generator

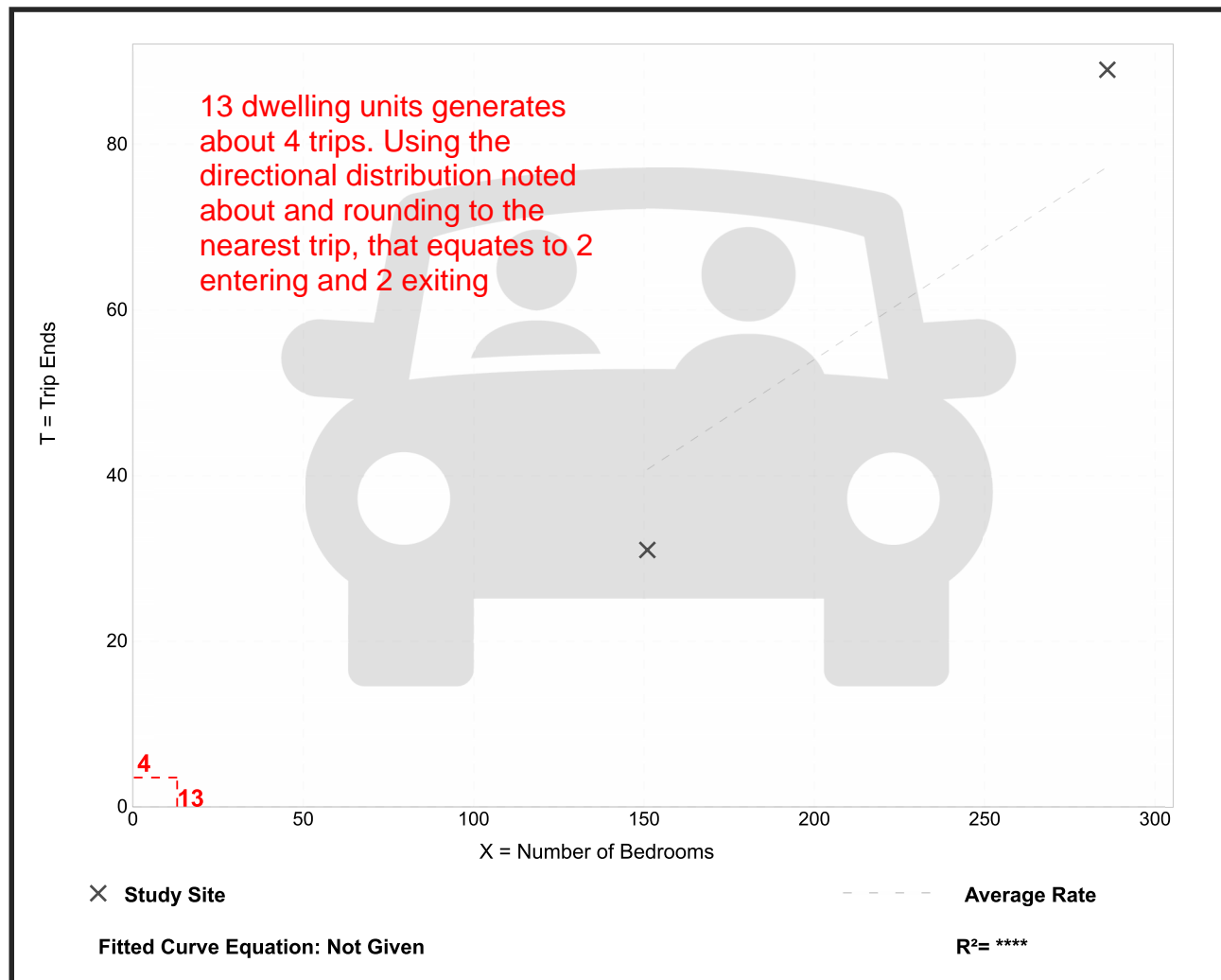
Setting/Location: General Urban/Suburban
 Number of Studies: 2
 Avg. Num. of Bedrooms: 219
 Directional Distribution: 59% entering, 41% exiting

Vehicle Trip Generation per Bedroom

Average Rate	Range of Rates	Standard Deviation
0.27	0.21 - 0.31	*

Data Plot and Equation

Caution – Small Sample Size



GENERAL NOTES

GENERAL REQUIREMENTS
 WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS:
 1. UNIFORM BUILDING CODE, APPLICABLE EDITION.
 2. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
 ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB-CONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE. ARCHITECT TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS.

STRUCTURAL ENGINEERING
 REFER TO STRUCTURAL INFORMATION FOR ANY QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS, AND SHEAR REQUIREMENTS.

SOILS ENGINEERING
 REFER TO SOILS REPORT FOR ANY QUESTIONS REGARDING SOIL REQUIREMENTS. CONCRETE & FOUNDATION MATERIALS

1. CONCRETE TO BE MACHINE MIXED WITH A MAXIMUM OF 7-1/2 GALLONS OF WATER PER SACK OF CEMENT. CONCRETE TO REACH A STRENGTH OF 3000 PSI MINIMUM IN 28 DAYS.
 2. USE TYPE V CEMENT FOR SOIL-CONTAINMENT A SULFATE CONCENTRATION OF 2 PERCENT OR MORE.

CONSTRUCTION
 1. CONCRETE SLABS MINIMUM 6" ABOVE FINISH GRADE.
 2. REINFORCING BARS SHALL CONFORM TO ASTM A-615-40 APPLICABLE U.B.C. STANDARDS.
 3. SILL FASTENING: EXTERIOR AND INTERIOR BEARING WALLS: APPROVED SHOT PINS WITH CADMIUM WASHERS, 3"-Ø" O/C MAXIMUM, 6" FROM CORNERS AND SPLICES UNLESS OTHERWISE NOTED ON PLANS OR ENGINEERING CALCULATIONS.
 4. INTERIOR NON-BEARING WALLS: APPROVED SHOT PINS WITH CADMIUM WASHERS, 4"-Ø" O/C MAXIMUM, 6" FROM CORNERS AND SPLICES UNLESS OTHERWISE NOTED ON PLANS OR ENGINEERING CALCULATIONS.

METALS
 STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO ASTM A-36. DRYER VENT TO OUTSIDE AIR PER MANUFACTURER'S APPROVED SPECIFICATIONS.

GENERAL NOTES FOR TILT FRAMING
 MINIMUM BEARING LENGTH
 1 3/4: MINIMUM BEARING REQUIRED AT JOIST ENDS;
 3 1/2" BEARING REQUIRED AT INTERMEDIATE SUPPORTS.
 RIM JOISTS OR BLOCKING - SEE MFG. SPECIFICATIONS
 NAILING REQUIREMENTS - SEE MFG. SPECIFICATIONS

CRESTING
 SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER AND SHALL BE USED IN SPECIFIC LOCATIONS, AS FOLLOWS:
 1. IN EXTERIOR OR INTERIOR STUD WALLS, AT CEILING AND FLOOR LEVELS.
 2. IN ALL STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, SO PLACED THAT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE IS NOT OVER 10 FEET.
 3. BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS IN LINE WITH RUN OF STAIR ADJOINING STUD WALLS AND PARTITIONS.
 4. AROUND TOP, BOTTOM, SIDES AND ENDS OF SLIDING DOOR POCKETS.
 5. IN SPACES BETWEEN CHIMNEYS AND WOOD FRAMING, LOOSE NONCOMBUSTIBLE MATERIALS SHALL BE PLACED IN NONCOMBUSTIBLE SUPPORTS OR A METAL COLLAR TIGHTLY FITTED TO THE CHIMNEY AND NAILED TO THE WOOD FRAMING MAY BE USED.
 6. ANY OTHER LOCATION NOT SPECIFICALLY MENTIONED ABOVE, SUCH AS HOLES FOR PIPES, SHAFTING, BEHIND FURRING STRIPS AND SIMILAR PLACES WHICH COULD AFFORD A PASSAGE FOR FLAMES.

FIRESTOPS WHEN OF WOOD SHALL BE 2-INCH NOMINAL THICKNESS. IF THE WIDTH OF THE OPENING IS SUCH THAT MORE THAN ONE PIECE OF LUMBER IS NECESSARY, THERE SHALL BE TWO THICKNESSES OF 1-INCH NOMINAL MATERIAL WITH JOINTS BROKEN OR ONE THICKNESS OF 3/4" PLYWOOD.
 FIRESTOPS MAY ALSO BE GYPSUM BOARD, CEMENT ASBESTOS BOARD, MINERAL WOOL OR OTHER APPROVED NONCOMBUSTIBLE MATERIALS, SECURELY FASTENED IN PLACE. (MINERAL WOOL ONLY IS TO BE USED IN DOUBLE FRAMED COMMON WALLS.)

ATTIC VENTILATION
 ENCLOSED ATTIC SPACES AND ENCLOSED ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS; WHERE EAVE OR CORNICE VENTS ARE USED TO PROVIDE VENTILATION OF COMBUSTIBLE ATTIC SPACE, VENT OPENINGS SHALL NOT BE LOCATED WITHIN 3'-0" MEASURED Laterally EACH SIDE AND ABOVE WINDOW OR DOOR OPENINGS IN THE WALL OF THE STORY ABOVE.

NAILING SCHEDULE
 CONNECTION
 1. JOIST TO SILL OR GIRDER, TOENAIL (3-80).
 2. BRIDGING TO JOIST, TOE NAIL EACH END (2-80).
 3. 1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL (2-80).
 4. WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST, FACE NAIL (3-80).
 5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL (2-160).
 6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL (16Ø @ 16" O.C.).
 7. TOP PLATE TO STUD, END NAIL (2-160).
 8. STUD TO SOLE PLATE, END NAIL (2-160).
 9. DOUBLED STUDS, FACE NAIL (16Ø AT 24" O.C.). DOUBLED TOP PLATES, FACE NAIL (16Ø @ 16" O.C.).
 10. TOP PLATE, LAPS AND INTERSECTIONS, FACE NAIL (2-160).
 11. CONTINUOUS HEADER, TWO PIECES (16Ø AT 16" O.C.) ALONG EACH EDGE.
 12. CEILING JOISTS TO PLATE, TOE NAIL (3-80).
 13. CONTINUOUS HEADER TO STUD, TOE NAIL(4-80). CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL (3-160).
 14. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL (3-160).
 15. RAFTER TO PLATE, TOE NAIL 3-80).
 16. 1" BRACED TO EACH STUD AND PLATE, FACE NAIL (2-80).
 17. 1" X 6" SHEATHING OR LESS TO EACH BEARING FACE NAIL (2-80).
 18. WIDER THAN 1" X 6" SHEATHING TO EACH BEARING, FACE NAIL (3-80).
 19. BUILT-UP CORNER STUDS (16Ø AT 24" O.C.).
 20. BUILT UP GIRDER AND BEAMS (20Ø AT 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20Ø AT ENDS AND AT EACH SPLICE).
 21. 2" PLANKS (2-16Ø AT EACH BEARING).

PLYWOOD
 SUBFLOOR, ROOF, AND WALL SHEATHING (TO FRAMING): 1/2" AND LESS (6Ø) 5/8" - 3/4" (8Ø OR 6Ø)
 1. COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.
 2. NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS (10" AT INTERMEDIATE SUPPORTS FOR FLOORS) EXCEPT 6 INCHES AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF PLYWOOD DIAPHRAGMS AND SHEAR WALLS REFER TO PLANS. NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
 3. CORROSION RESISTANT SIDING AND CASING NAILS.

WALL FRAMING
 1. (SIZE) STUDS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS OF BUILDING NOT MORE THAN TWO STOREYS IN HEIGHT SHALL BE NOT LESS THAN 2 INCHES BY 4 INCHES IN SIZE. FOR THREE-STORY BUILDINGS SUCH STUDS SHALL BE NOT LESS THAN 3 INCHES BY 4 INCHES OR 2 INCHES BY 6 INCHES TO THE BOTTOM OF THE SECOND FLOOR JOISTS, AND 2 INCHES BY 4 INCHES FOR THE TWO UPPER STOREYS. INTERIOR NONBEARING PARTITIONS MAY BE FRAMED WITH 2-INCH BY 4-INCH STUDS.
 2. (HEIGHT) UNLESS SUPPORTED Laterally BY ADEQUATE FRAMING, THE MAXIMUM ALLOWABLE HEIGHT FOR STUDS SHALL BE 14 FEET FOR 2-INCH BY 4-INCH STUDS; AND 20 FEET FOR 2-INCH BY 6-INCH.
 3. (SPACING) STUDS SUPPORTING FLOORS AND CEILING OR RAFTERS SHALL BE SPACED NOT MORE THAN 24 INCHES O.C.
 4. (CRIPPLE WALLS) CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT LESS THAN THE STUDDING ABOVE WITH A MINIMUM LENGTH OF 24 INCHES OR SHALL BE FRAMED OF BLOCKING, WHEN EXCEEDING 4 FEET IN HEIGHT. SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY.
 5. (HEADERS) HEADERS FOR ALL OPENINGS 4 FEET WIDE OR LESS IN BEARING WALLS SHALL BE PROVIDED WITH HEADERS CONSISTING OF EITHER TWO PIECES OF 2-INCH FRAMING LUMBER PLACED ON EDGE AND SECURELY FASTENED TOGETHER OR 4" LUMBER OF EQUIVALENT CROSS SECTION. ALL OPENINGS MORE THAN 4 FEET WIDE SHALL BE PROVIDED WITH HEADERS OR LINTELS. SUCH HEADERS OR LINTELS SHALL HAVE NOT LESS THAN 2-INCH SOLID BEARING AT

EACH END TO THE FLOOR OR BOTTOM PLATE, UNLESS OTHER APPROVED FRAMING METHODS OR JOINT DEVICES ARE USED. SEE PLAN FOR SIZE.
 6. (PIPES IN WALL) STUD PARTITIONS CONTAINING PLUMBING, HEATING, OR OTHER PIPES SHALL BE FRAMED AND THE JOISTS UNDERNEATH SO SPACED AS TO GIVE PROPER CLEARANCE FOR THE PIPING, WHERE A PARTITION CONTAINING SUCH PIPING RUNS PARALLEL TO THE FLOOR JOISTS, THE JOISTS UNDERNEATH SUCH PARTITIONS SHALL BE DOUBLED AND SPACED TO PERMIT THE PASSAGE OF SUCH PIPES AND SHALL BE BRIDGED, WHERE PLUMBING, HEATING, OR OTHER PIPES ARE PLACED IN OR PARTLY IN A PARTITION, NECESSITATING THE CUTTING OF THE SOLES OR PLATES, A METAL TIE NOT LESS THAN 1/8" INCH THICK AND 1 1/2 INCHES WIDE SHALL BE FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN FOUR 16Ø NAILS.
 7. (BRIDGING) ALL STUD PARTITIONS AND WALLS WITH STUDS HAVING A HEIGHT TO LEAST THICKNESS RATIO EXCEEDING 50 SHALL HAVE BRIDGING NOT LESS THAN 2 INCHES IN THICKNESS AND IN THE SAME WIDTH AS THE STUDS FITTED SNUGLY AND NAILED THERETO TO PROVIDE ADEQUATE LATERAL SUPPORT, UNLESS COVERED BY INTERIOR OR EXTERIOR WALL COVERING OR SHEATHING MEETING THE MINIMUM REQUIREMENT OF THE UNIFORM BUILDING CODE APPLICABLE EDITION.
 8. (CUTTING AND NOTCHING) IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD MAY BE CUT AND NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH, CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40 PERCENT OF THE WIDTH OF THE STUD IS PERMITTED IN NONBEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.
 9. (BORED HOLES) A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD MAY BE BORED IN ANY WOOD. BORED HOLES NOT GREATER THAN 60 PERCENT OF THE WIDTH OF THE STUD ARE PERMITTED IN NONBEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF THE STUD AS A CUT OR NOTCH.
 10. ROUGH WINDOW SILLS OVER 6 FEET IN LENGTH SHALL BE DOUBLED.
 11. BLOCKING TO BE PROVIDED AT ALL HANDRAILS.

BEAMS AND GIRDERS
 1. THE ENDS OF BEAMS OR GIRDERS SUPPORTED ON MASONRY OR CONCRETE SHALL HAVE NOT LESS THAN 4 INCHES OF BEARING.
 2. ALL BEAMS OR GIRDERS SUPPORTED ON WOOD SHALL HAVE FULL BEARING AND BEARING SHALL COMPRISED OF (1) ONE SOLID SUPPORT OR A BUILT-UP SUPPORT CONSTRUCTED IN AN APPROVED MANNER UNLESS OTHERWISE SPECIFIED ON PLANS.
FLOOR JOISTS
 1. (BEARING) EXCEPT WHERE JOISTS ARE SUPPORTED ON A 1-INCH X 4-INCH RIBBON STRIP AND NAILED TO THE ADJOINING STUD, THE ENDS OF EACH JOIST SHALL HAVE NOT LESS THAN 1 1/2 INCHES OF BEARING ON WOOD OR METAL, NOT LESS THAN 3 INCHES ON MASONRY.
 2. (BLOCKING) JOISTS SHALL BE SUPPORTED Laterally AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS OF THE JOISTS ARE NAILED TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD OR BY OTHER APPROVED MEANS. SOLID BLOCKING SHALL NOT BE LESS THAN 2 INCHES IN THICKNESS AND THE FULL DEPTH OF JOISTS.
 3. (NOTCHES AND HOLES) NOTCHES ON THE ENDS OF JOISTS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF JOIST SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
 4. (LAPS) JOISTS FRAMING FROM OPPOSITE SIDES OF A BEAM, GIRDER, OR PARTITION SHALL BE LAPPED AT LEAST 4 INCHES OR THE OPPOSING JOISTS SHALL BE TIED TOGETHER IN AN APPROVED MANNER.
 5. (FRAMING ANCHORS) JOISTS FRAMING INTO THE SIDES OF A WOOD GIRDER SHALL BE SUPPORTED BY FRAMING ANCHORS OR BY LEDGER STRIPS NOT LESS THAN 2 INCHES BY 2 INCHES.
 6. (FRAMING AROUND OPENINGS) TRIMMER AND HEADER JOISTS WHEN FRAMED AROUND OPENINGS SHALL BE DOUBLED, OR OF LUMBER OF EQUIVALENT CROSS SECTION, WHEN THE SPAN OF THE HEADER EXCEEDS 4 FEET. THE ENDS OF HEADER JOISTS MORE THAN 6 FEET LONG SHALL BE SUPPORTED BY FRAMING ANCHORS OR JOIST HANGERS UNLESS BEARING ON A BEAM, PARTITION OR WALL. TAIL JOISTS OVER 12 FEET LONG SHALL BE SUPPORTED AT HEADER BY FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN 2 INCHES BY 2 INCHES.

ROOF AND CEILING FRAMING
 1. (FRAMING) RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER AT THE RIDGE. THERE SHALL BE A RIDGE BOARD AT LEAST 2-INCH NOMINAL THICKNESS AT ALL RIDGES IN DEPTH THAN THE CUT END OF THE RAFTER.
 2. AT ALL VALLEYS AND HIPS THERE SHALL BE A SINGLE VALLEY OR HIP RAFTER NOT LESS THAN 2 INCHES NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
 3. (RAFTER TIES) RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS. WHERE NOT PARALLEL, RAFTERS SHALL BE TIED TO 1-INCH BY 4-INCH (NOMINAL) MINIMUM SIZED CROSS TIES. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4 FEET ON CENTER.
 4. (PURLINS) PURLINS TO SUPPORT ROOF LOADS MAY BE INSTALLED TO REDUCE THE SPAN OF RAFTERS WITHIN ALLOWABLE LIMITS AND SHALL BE SUPPORTED BY STRUTS TO BEARING WALLS. THE MAXIMUM SPAN OF 2-INCH BY 4-INCH PURLINS SHALL BE 4 FEET. THE MAXIMUM SPAN OF 2-INCH BY 6-INCH PURLIN SHALL BE 6 FEET BUT IN NO CASE SHALL THE PURLIN BE SMALLER THAN THE SUPPORTED RAFTER. STRUTS SHALL BE NOT SMALLER THAN 2-INCH BY 4-INCH MEMBERS. THE UNBRACED LENGTH OF STRUTS SHALL NOT EXCEED 8 FEET AND THE MINIMUM SLOPE OF THE STRUTS SHALL BE NOT LESS THAN 45 DEGREES FROM THE HORIZONTAL.
 4. (BLOCKING) RAFTERS MORE THAN 8 INCHES IN DEPTH SHALL BE SUPPORTED Laterally AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING NOT LESS THAN 2 INCHES IN THICKNESS AND THE FULL DEPTH OF THE RAFTER UNLESS NAILED TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD.

CARPENTRY
LUMBER GRADES:
 1. ALL LUMBER SHALL BE GRADE MARKED AND CONFORM WITH THE STANDARD GRADING AND DRESSING RULES P.S. 20-70 OF THE WEST COAST LUMBER INSPECTION BUREAU.
 2. STUDS, JOISTS, RAFTERS, FOUNDATION PLATES, OR SILLS, PLANKING 2 INCHES OR MORE IN DEPTH, BEAMS, STRINGERS, POSTS, STRUCTURAL SHEATHING AND SIMILAR LOAD-BEARING MEMBERS SHALL BE OF AT LEAST THE MINIMUM GRADES SET FORTH IN THE UNIFORM BUILDING CODE APPLICABLE EDITION, AND ENGINEERING CALCULATIONS AND PLANS.

PROTECTION AGAINST DECAY AND TERMITES
 1. WOOD EMBEDDED IN THE GROUND OR IN DIRECT CONTACT WITH THE EARTH AND USED FOR THE SUPPORT OF PERMANENT STRUCTURES, SHALL BE TREATED WOOD.
 2. WOOD JOISTS OR THE BOTTOM OF WOOD FLOORS CLOSER THAN 18 INCHES, OR WOOD GIRDERS CLOSER THAN 12 INCHES TO THE GROUND UNDER FLOOR AREAS AND THEIR SUPPORTS, SHALL BE OF TREATED WOOD OR ALL HEARTWOOD OF APPROVED NATURALLY DURABLE SPECIES AS LISTED IN THE UNIFORM BUILDING CODE APPLICABLE EDITION.
PLATES, SILLS AND SLEEPERS
 1. ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH THE EARTH AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AND APPROVED AGENCY.

ROOF SHEATHING
 1. 1 X 4 OR 1 X 6 SPACED: WITH 1 X 6 SHIPLAP STARTER BOARD AT ALL EXPOSED EAVES (RESAWN FACE DOWN): SHALL BE STANDARD, 3 COMMON, NO. 2 OR CONSTRUCTION GRADES AND SHALL BE SPACED NO MORE THAN 6" CLEAR.
 2. O.S.B. SHEATHING IS TO BE CONTINUOUS OVER TWO OR MORE SPANS AND IS TO BE MINIMUM 5/8" THICK AND SHALL HAVE PANEL IDENTIFICATION INDEX AS REQUIRED FOR RAFTER SPACING. (SEE PLANS): ALL SHALL BE STRUCTURAL I AND II, STANDARD SHEATHING, AND C-C-C- GRADES ONLY: WITH EDGES BLOCKED OR UNBLOCKED AS REQUIRED FOR SPAN.
FRAMING PRACTICES WORKMANSHIP
 1. ALL MEMBERS SHALL BE FRAMED, ANCHORED TIED, AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THEY ARE USED.
COLUMNS AND POSTS
 1. ALL WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS. SUPPORTS SHALL BE DESIGNED TO HOLD THE COLUMN OR POST SECURELY IN POSITION AND TO PROTECT ITS BASE FROM DETERIORATION.
 2. IN AREAS EXPOSED TO WATER SPLASH AND IN EXTERIOR LOCATIONS, WOOD COLUMNS AND POSTS SHALL BE SUPPORTED BY PIERS PROJECTING AT LEAST 2 INCHES ABOVE THE FINISHED FLOOR AND SHALL BEAR ON A METAL BASE PLATE OR A FOUNDATION PLATE OR SILL AS SPECIFIED IN SUBSECTION (C).
 3. POSTS OR COLUMNS OF TREATED WOOD OR OF FOUNDATION GRADE REDWOOD OR CEDAR MAY BE PLACED DIRECTLY ON CONCRETE, SOLID MASONRY OR CROUTED MASONRY.

WOOD AND EARTH SEPARATION
 1. NO UNTREATED WOOD EXCEPT FOUNDATION REDWOOD SHALL BE NEARER THAN 6 INCHES TO ANY EARTH UNLESS SEPARATED BY CONCRETE AT LEAST 3 INCHES IN THICKNESS WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN THE EARTH AND CONCRETE.
GALVANIZED METAL & BUILT-UP MEMBRANE
 1. SEE ALL MFG. SPECIFICATIONS

MOISTURE PROTECTION FLASHING
 1. ALL FLASHING, COUNTERFLASHING, AND COPING WHEN OF METAL SHALL BE NOT LESS THAN NO. 26 U. S. GAUGE CORROSION- RESISTANT METAL.
 2. FLASH AND COUNTERFLASH AT ALL ROOF TO WALL ROOFING CONDITIONS. G.I. FLASH AND CAULK WOOD BEAMS AND OUTLOOKERS PROJECTING THROUGH EXTERIOR WALLS OR SURFACES.
 3. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOFING, WHICH CONFORMS TO STANDARDS OF LOCAL AND STATE CODES.
 4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED. INSULATION 1. ALL EXTERIOR WALLS, WALLS BETWEEN LIVING SPACE AND UNHEATED GARAGE OR STORAGE ROOM, BETWEEN JAMBS AND FRAMING, CEILING WITH COLD AREAS ABOVE, ATTIC ACCESS PANEL, KNEE WALLS ADJACENT TO HEATED SPACE, BETWEEN COMBINATION RAFTER AND CEILING JOIST (LEAVE OPEN SPACE ABOVE FOR VENTILATION) TO HAVE BLOWN-IN CELLULOSE INSULATION: WALLS R-13 MIN. AND CEILING R-50 MIN.
 5. BUILDING AND INSULATION INSTALLER ARE TO PROVIDE A CERTIFICATE OF INSTALLATION AND POST IN THE BUILDING IN A CONSPICUOUS LOCATION.

EXTERIOR FINISHES MOISTURE BARRIER
 1. SEE STRAMBLE SECTION
DOORS, WINDOWS & GLASS
 1. GLASS & GLAZING IN LOCATIONS WHICH MAY BE SUBJECT TO HUMAN IMPACT SUCH AS FRAMELESS GLASS DOORS, GLASS ENTRANCE AND EXIT DOORS, FIXED GLASS PANELS, SLIDING GLASS DOORS, SHOWER DOORS, TUB ENCLOSURES, AND STORM DOORS SHALL MEET THE REQUIREMENTS SET FORTH IN THE UNIFORM BUILDING CODES APPLICABLE EDITION, STATE AND LOCAL CODES.
WEATHER STRIPPING
 1. ALL SLIDING, SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR OR TO UNCONDITIONED AREAS SHALL BE FULLY WEATHERSTRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION.
 2. ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE INFILTRATION STANDARDS OF THE 1972 AMERICAN NATIONAL STANDARDS INSTITUTE ASTM E283-73 WITH A PRESSURE DIFFERENTIAL OF 1.57 POUNDS PER SQUARE FOOT AND SHALL BE CERTIFIED AND LABELED.

FINISHES
GYPSUM WALLBOARD INSTALLATION
 1. ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE U.B.C. APPLICABLE EDITION, STATE, AND LOCAL CODES.
 2. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.
 3. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS WHICH ARE PERPENDICULAR TO THE FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL BE IN MODERATE CONTACT EXCEPT WHERE FIRE RESISTIVE CONSTRUCTION OR DIAPHRAGM ACTION IS NOT REQUIRED.
 4. THE SIZE AND SPACING OF FASTENERS SHALL COMPLY WITH CURRENT ADOPTED I.R.C., STATE, AND LOCAL CODES. FASTENERS SHALL BE SPACED NOT LESS THAN 3/8 INCH FROM EDGES AND ENDS OF GYPSUM WALL BOARD. FASTENERS AT THE TOP AND BOTTOM PLATES OF VERTICAL ASSEMBLIES, OR THE EDGES AND ENDS OF HORIZONTAL ASSEMBLIES, PERPENDICULAR TO SUPPORTS, AND AT THE WALL LINE MAY BE OMITTED EXCEPT ON SHEAR-RESISTING ELEMENTS, OR FIRE-RESISTIVE ASSEMBLIES. FASTENERS SHALL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PAPER WITH THE FASTENER HEAD. ALL ROUGH-SAWN AND RESAWN SURFACES TO RECEIVE STAIN. DO NOT PRIME OR PAINT UNLESS OTHERWISE NOTED ON PLANS.

PLUMBING MATERIALS
 1. ABOVE GROUND FOR WATER PIPING SHALL HAVE A WEIGHT OF NOT LESS THAN THAT OF COPPER WATER TUBE TYPE L, EXCEPTION: TYPE M COPPER TUBING MAY BE USED FOR WATER PIPING WHEN PIPING IS ABOVE GROUND, AND THE NORMAL MAXIMUM PRESSURE DOES NOT EXCEED 100 POUNDS, AND THE WORKING TEMPERATURE DOES NOT EXCEED 210 F.
 2. SHOWERHEADS AND FAUCETS, INDICATED ON PLANS AND CERTIFIED BY CEC.
 3. FLEX TUBING MAY BE USED FOR WATER PIPING AND RADANT FLOOR HEATING.

WATER HEATER
 1. WITH NON-RIGID WATER CONNECTIONS SHALL BE STRAPPED FOR LATERAL SUPPORT.
 2. HOT WATER SYSTEM IS NATURAL GAS, HEAT PUMP, OR SOLAR WITH ANY TYPE OF BACK-UP AND CERTIFIED BY CEC.
 3. TANK INSULATION HAS EXTERNAL BLANKET, R-12 OR GREATER APPROVED EQUAL.
 4. HOT WATER INLET AND OUTLET PIPE INSULATED, EXTERNALLY WRAPPED WITH R-3 OR GREATER FOR ENTIRE LENGTH UNDER AND ABOVE SLAB.
 5. STEAM AND STEAM CONDENSATE RETURN AND REDUCULATING HOT WATER PIPE INSULATION.

GAS PIPING MATERIALS
 1. ALL PIPE USED FOR THE INSTALLATION OF ANY GAS PIPING SHALL BE STANDARD WEIGHT WROUGHT IRON OR STEEL (GALVANIZED OR BLACK), YELLOW BRASS (CONTAINING NOT MORE THAN SEVENTY-FIVE (75) PERCENT COPPER), OR INTERNALLY TINNED OR EQUIVALENTLY TREATED COPPER OF IRON PIPE SIZE.
 2. ALL FITTINGS USED IN CONNECTION WITH THE ABOVE PIPING SHALL BE OF MALLEABLE IRON OR YELLOW BRASS (CONTAINING NOT MORE THAN SEVENTY-FIVE (75) PERCENT COPPER).

WASTE PIPING MATERIALS
 1. ALL WASTE PIPING WHICH PENETRATES WALLS WITH 1 HOUR FIRE RESISTIVE MATERIALS APPLIED SHALL BE CAST IRON OR OTHER NONCOMBUSTIBLE PIPING MATERIAL APPROVED BY THE UNIFORM BUILDING CODE APPLICABLE EDITION, STATE, AND LOCAL AREAS.
 2. RAPID FIT WASTE AND OVERFLOW FITTINGS SHALL BE USED IN LIEU OF ACCESS PANEL AS PER I.A.P.M.O. FILE NUMBER 966.

ELECTRICAL MATERIALS
 1. ALUMINUM WIRE NO. 6AWG AND SMALLER SHALL NOT BE USED IN ELECTRICAL WIRING.
WORKMANSHIP
 1. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OF GOVERNING AGENCIES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER AND TELEPHONE COMPANIES

INSTALLATION
 1. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHER PROOF.
 2. RECEPTACLES IN KITCHEN AND BATHROOM SHALL BE INSTALLED ABOVE WORK TOP UNLESS OTHERWISE NOTED IN PLANS.
 3. RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12"+ ABOVE FLOOR.
 4. WALL SWITCHES TO BE 36" ABOVE FLOOR.

TEMP TEMPERED GLASS
WD WOOD
BLK BLOCK
DBL DOUBLE
T'G FOOTING
EXT EXTERIOR
INT INTERIOR
O/ OVER
W/ WITH
O.C. ON CENTER
CONT. CONTINUOUS
HORZ. HORIZONTAL
VERT. VERTICAL
T&G TONGUE AND GROOVE
TJI TRUSS JOIST I-BEAM
COL. COLUMN
GFIC GROUND FAULT INTERRUPTED CIRCUIT

APPLICABLE CODES:
 2021 New Mexico Residential Energy Conservation Code
 2021 New Mexico Residential Building Code
 2021 New Mexico Plumbing Code
 2021 New Mexico Mechanical Code
 2020 New Mexico Electrical Code
 2012 New Mexico Electrical Safety Code

HABITAT FOR HUMANITY HOMES

635 Alto Street Santa Fe, NM 87501 APN: 12715202



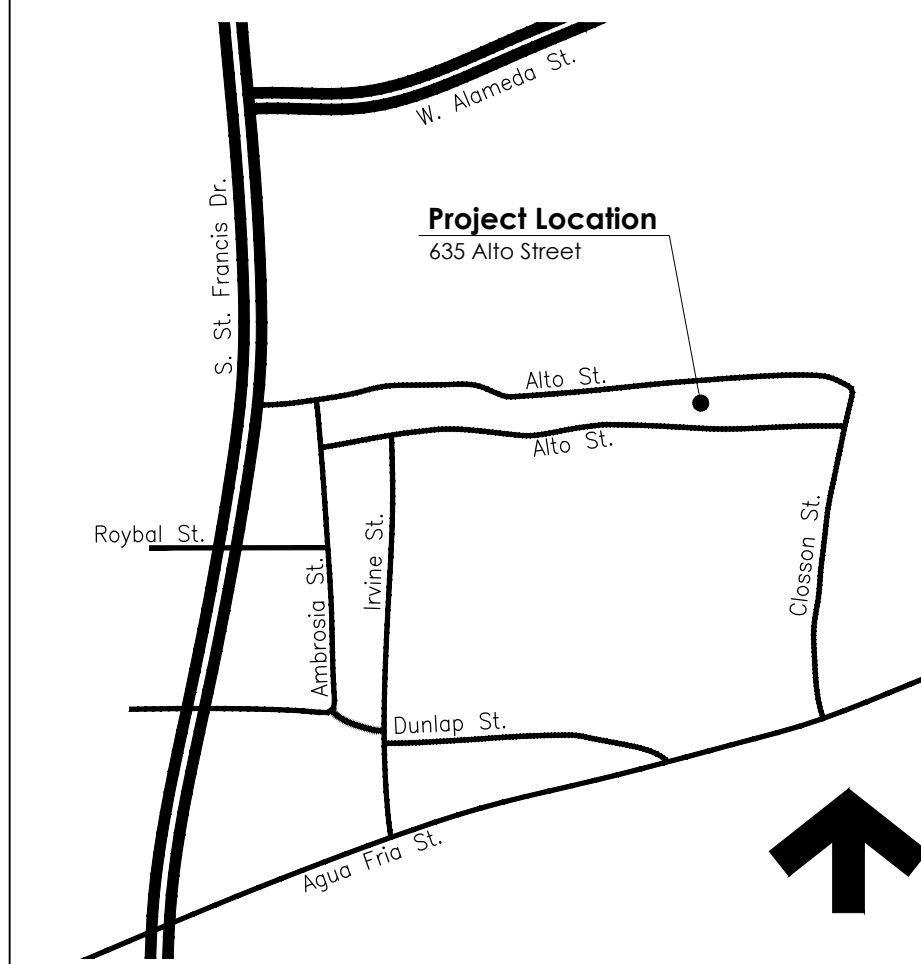
ABBREVIATIONS

F.O.S	FACE OF STUD
RE/S	RESAWN
RO/S	ROUGHSAWN
FL	FLUSH
FLR	FLOOR
BM	BEAM
R.O	ROUGH OPENING
O.H.	OVERHEAD
S.H.	SINGLE HUNG
DR	DOOR
W.H.	WATER HEATER
S&P	SHELF AND POLE
WARD.	WARDROBE
M.C.	MEDICINE CABINET
C'L'G	CEILING
MOJ	MEASURE ON JOB
CL	CENTER LINE
PL	PLATE LINE
AL	ALUMINUM
SL	SLIDER
F.G.	FIXED GLASS
TEMP	TEMPERED GLASS
WD	WOOD
BLK	BLOCK
DBL	DOUBLE
T'G	FOOTING
EXT	EXTERIOR
INT	INTERIOR
O/	OVER
W/	WITH
O.C.	ON CENTER
CONT.	CONTINUOUS
HORZ.	HORIZONTAL
VERT.	VERTICAL
T&G	TONGUE AND GROOVE
TJI	TRUSS JOIST I-BEAM
COL.	COLUMN
GFIC	GROUND FAULT INTERRUPTED CIRCUIT

SYMBOLS & LEGEND

#	Grid Number
#	Detail
A#/#	Sheet Number
#	Section/elevation
A#/#	Sheet Number
#	Interior Elevation
A#/#	Sheet Number
FF	Keynote
⬮	Door, window or equipment tag
→	(E) Wall to Remain
⬮	(N) Wall
⋄	Centerline

VICINITY MAP

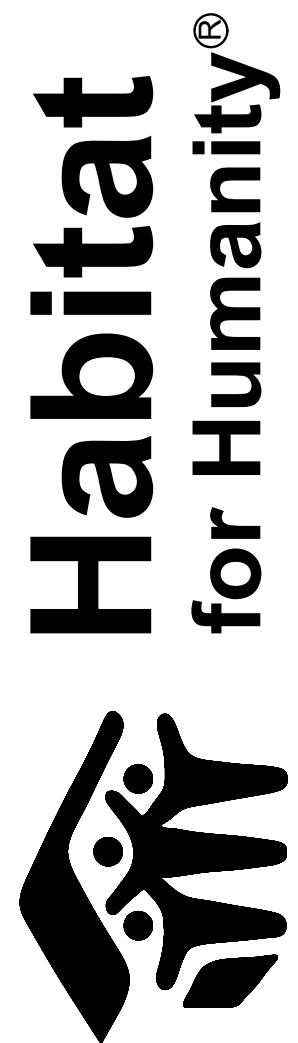


PROJECT DATA

5 AFFORDABLE TOWNHOMES ON CURRENTLY VACANT LOT, (2) 2-BEDROOM AND (3) 3-BEDROOM.
 ZONING: R-21
 OVERLAYS: WESTSIDE-GUADALUPE HISTORIC DISTRICT
 LOT AREA: 10910 sq. ft.; 0.25 acres
 BUILDING COVERAGE: 4933 sq. ft.
 LOT COVERAGE: 45%
 ALLOWED COVERAGE: 55% (14-7.5 (C)(1))
 BUILDING AREA: 6448 sq. ft.
 PRIVATE OPEN SPACE: 30% OF FLOOR AREA
 SEE SHEET A100
 BUILDING CONSTRUCTION: V-B
 BUILDING OCCUPANCY: R-2
APPLICABLE BUILDING CODES:
 2021 New Mexico Residential Energy Conservation Code
 2021 New Mexico Residential Building Code
 2021 New Mexico Plumbing Code
 2021 New Mexico Mechanical Code
 2020 New Mexico Electrical Code
 2012 New Mexico Electrical Safety Code

SHEET INDEX

A000	COVER SHEET AND GENERAL NOTES
A100	CODE ANALYSIS
A101	SITE PLAN
A201	1ST FLOOR PLAN, UNITS A-D
A202	2ND FLOOR PLAN, UNITS A-D
A203	1ST & 2ND FLOOR PLANS, UNIT E
A301	ELEVATIONS
A302	ELEVATIONS
A401	ELEVATIONS
A402	SECTION AND DETAILS
A501	FRAMING PLAN UNITS A-D, LOWER FLOOR
A502	FRAMING PLAN UNITS A-D, UPPER FLOOR
A503	FRAMING PLAN UNIT E, LOWER FLOOR
A504	FRAMING PLAN UNIT E, UPPER FLOOR (STREET)
C1	CIVIL DESIGN NOTES
C2	GRADING AND DRAINAGE
C3	DRAINAGE CALCULATIONS
L101	LANDSCAPE PLAN
L102	IRRIGATION PLAN
L103	IRRIGATION DETAILS
L104	SPECIFICATIONS



Habitat for Humanity Homes

635 Alto Street
 Santa Fe, NM 87501
 APN: 12715202

Santa Fe Habitat for Humanity
 2520 Camino Entrada, Ste. A
 Santa Fe, NM 87507-4885
 (505) 986-5880

Revisions

NO.	DATE	REVISION

DWG File Name

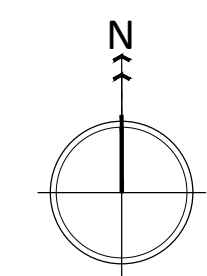
Print Date

Cover Sheet & General Notes



1 Site Code Analysis Plan

1/4" = 1'-0"



Site Code Analysis

Residential private open space calculated per City of Santa Fe Code of Ordinances 14-7.1 and 14-7.5 (C).

Lot coverage increase allowed per 14-7.5 (C)(1)(b), "for lots in R-10, R-12, R-21 and R-29 districts, an amount not less than thirty percent of the total gross floor area of that dwelling unit."

Site Data:

Zoning: R-21
 Overlays: Westside-Guadalupe Historic District
 Lot Area: 10910 sq. ft.; 0.25 acres
 Building coverage:
 Units A-D: 3782
 Unit E: 1151
 Total: 4933
 Lot coverage: 45%
 Allowed coverage: 55% (14-7.5 (C)(1))
 5 dwelling units

Building Data:

Total gross floor area: 6448 sq. ft.

Unit A: 3 bedroom, 2 bath
 1st Floor Area: 797 sq. ft.
 2nd Floor Area: 527 sq. ft.
 Total: 1324 sq. ft.
 Req'd open space: 398 sq. ft.
 Provided open space: 524 sq. ft.

Unit B: 2 bedroom, 1.5 bath
 1st Floor Area: 634 sq. ft.
 2nd Floor Area: 521 sq. ft.
 Total: 1155 sq. ft.
 30% open space: 347 sq. ft.
 Provided open space: 398 sq. ft.

Unit C: 2 bedroom, 1.5 bath
 1st Floor Area: 630 sq. ft.
 2nd Floor Area: 515 sq. ft.
 Total: 1145 sq. ft.
 30% open space: 344 sq. ft.
 Provided open space: 456 sq. ft.

Unit D: 3 bedroom, 2 bath
 1st Floor Area: 790 sq. ft.
 2nd Floor Area: 524 sq. ft.
 Total: 1314 sq. ft.
 30% open space: 395 sq. ft.
 Provided open space: 430 sq. ft.

Unit E: 3 bedroom, 2 bath
 1st Floor Area: 676 sq. ft.
 2nd Floor Area: 834 sq. ft.
 Total: 1510 sq. ft.
 30% open space: 453 sq. ft.
 Provided open space: 662 sq. ft.

Site Lighting

All exterior site lighting shall use LED bulbs or fixtures. All exterior lighting shall be under 160 watts.

This project will not include a photometric plan or other items required by subsection 14-8.9(C)(1) as it is excepted per 14-8.9(C)(2).
 Applications for single-family residential or other projects where no lamp exceeds one hundred sixty watts are not required to comply with Subsection 14-8.9(C)(1)

Fire Suppression Req.

Per New Mexico Residential Building Code section R313.1 the project is not required to have an automatic fire sprinkler system.

New Mexico Residential Building Code section R313.1
 "Automatic-fire sprinklers systems in townhouses and one-and two-family dwellings are not required when the units are not more than three stories above grade plane in height and that have separate means of egress and their accessory structures"



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Print Date

Code Analysis

A100

SANTA FE RIVER

(E) LOW (2'-3') ROCK RETAINING WALL

ALTO ALLEY

7'-0" STREET SETBACK

PRIVATE YARD

PRIVATE YARD

7'-0"

8'-6" X 19'-0" PARKING SPACE, TYP

3/4" # GRAVEL OVER 4" BASE COURSE

WHEEL STOP, TYP

5'-0" SIDE SETBACK

Unit A

Unit B

Unit C

Unit D

(N) LOW WALL / COYOTE FENCE, 6'-0" HIGH MAX. ABOVE BASE GRADE

SLOPE FOR DRAINAGE

SLOPE FOR DRAINAGE

NEIGHBORING STRUCTURE

PRIVATE YARD

PRIVATE YARD

PRIVATE YARD

PRIVATE YARD

NEIGHBORING STRUCTURE

SLOPE FOR DRAINAGE

(N) BICYCLE PARKING

(N) 6'-0" COYOTE FENCE

NEIGHBORING STRUCTURE

Unit E

ROOF OVER STORAGE ROOM BELOW

WHEEL STOP, TYP.

8'-6" X 19'-0" PARKING SPACE, TYP

3/4" # GRAVEL OVER 4" BASE COURSE

(E) MASONRY RETAINING WALL & FENCE ALONG PROPERTY LINE, STEPPED TO FOLLOW TOPOGRAPHY

(N) CONCRETE STAIR TO FOLLOW EXISTING TOPOGRAPHY, 6" RISER 12" TREAD

(N) MAIL & PARCEL BOXES FOR UNITS A-E

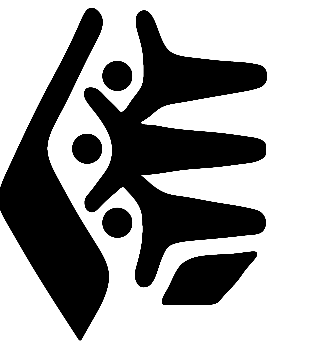
7'-0" STREET SETBACK

(E) 4' SIDEWALK

(N) 4' SIDEWALK

ALTO STREET

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Habitat for Humanity Homes

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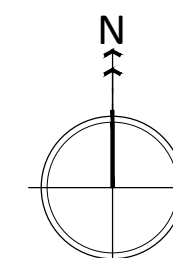
Print Date

Site Plan

A101


1 Site Plan

1/8" = 1'-0"





Floor Plan Notes

Keynote legend below contains information referenced throughout Documents. References are flagged at various locations in the Documents by means of the following symbol: 

Refer exterior elevations for critical alignment of openings.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Interior Moisture control:
Install capillary break and vapor retarder at slab on grade foundations, see

Check moisture content of building materials used in wall and floor framing before enclosure

Rodent Proofing:
Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method

Pollutant Control:
1. Cover duct openings and other related air distribution component during construction
2. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits
3. Paints, stains and other coatings shall be compliant with VOC limits
4. Aerosol paints and coatings shall be compliant with product weighted MIR limits for R0C and other toxic compounds
5. Carpet and carpet systems shall be compliant with VOC limits
6. Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards

Keynote Legend

- 1.0 TOILET
- 1.1 FIBERGLASS BATHTUB W/ SURROUND
- 1.2 SINK & FAUCET
- 1.3 COUNTERTOP
- 1.4 MIRROR & MEDICINE CABINET
- 1.5 TOILET PAPER HOLDER
- 1.6 TOWEL BAR
- 2.0 REFRIGERATOR
- 2.1 KITCHEN SINK
- 2.2 UNDER COUNTER BUTTON FOR RE-CIRCULATION PUMP
- 2.3 DISHWASHER
- 2.4 RAISED COUNTERTOP
- 2.5 STOVETOP RANGE AND OVEN
- 2.6 OVERHEAD CABINETS
- 3.0 CLOTHES WASHING MACHINE
- 3.1 CLOTHES DRYER
- 3.2 STACKED WASHER & DRYER
- 3.3 CLOSET SHELF AND HANGER BAR
- 3.4 LAUNDRY SHELF & CABINET
- 4.0 ELECTRIC HEAT PUMP WATER HEATER
- 4.1 ENERGY RECOVERY VENTILATOR (ERV)
- 4.2 DOMESTIC WATER RE-CIRCULATION PUMP
- 4.3 RADON VENT
- 5.0 SEALED AND COLORED CONCRETE FLOOR
- 5.1 RESILIENT FLOORING



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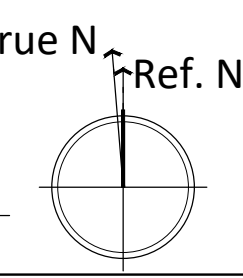
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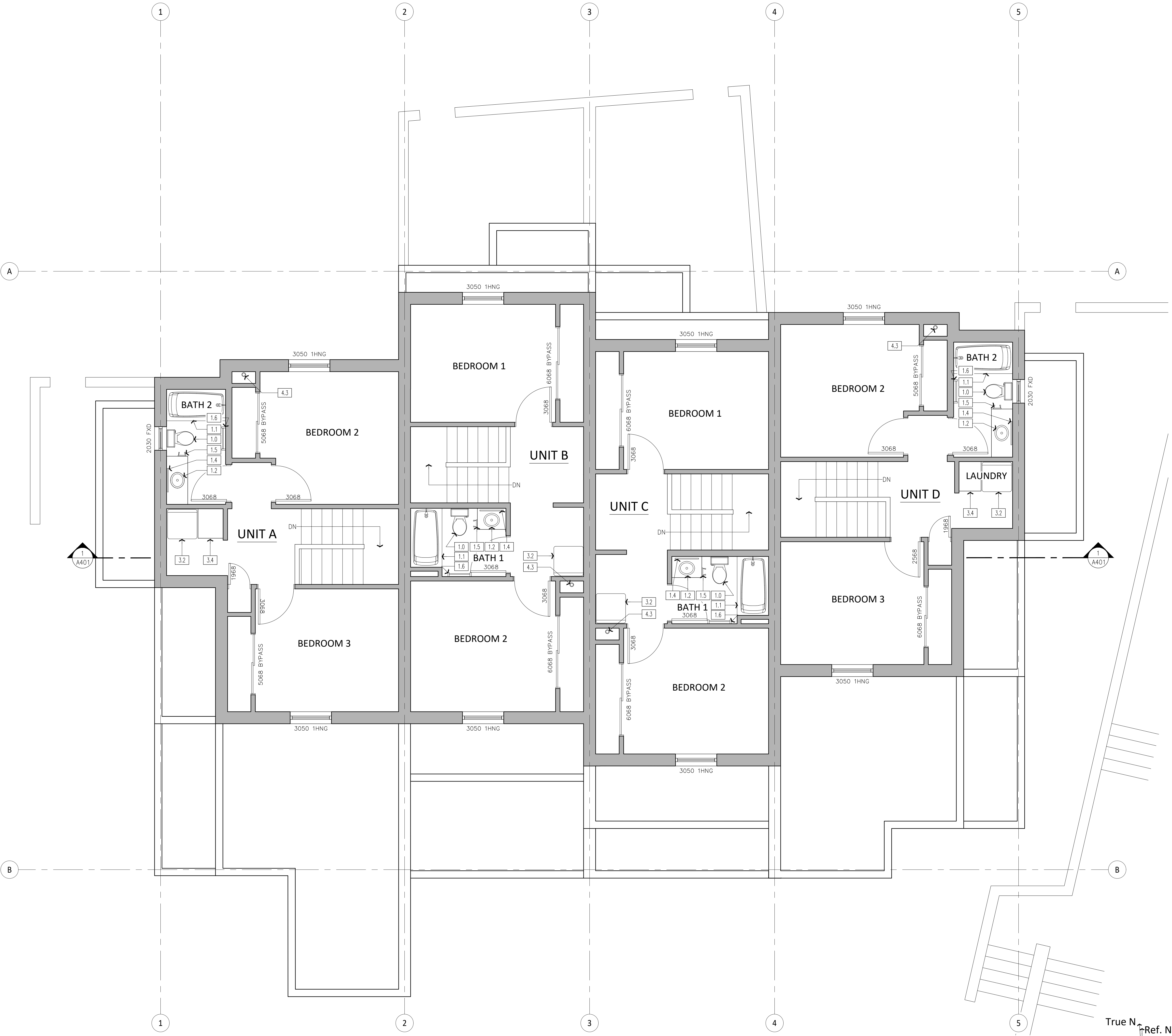
1st Floor Plan,
Units A-D

A201

1 Floor Plan: 1st Floor Units A-D

1/4" = 1'-0"





Floor Plan Notes

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Interior Moisture control:
Install capillary break and vapor retarder at slab on grade foundations, see

Check moisture content of building materials used in wall and floor framing before enclosure

Rodent Proofing:
Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method

Pollutant Control:

- Cover duct openings and other related air distribution component during construction
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits
- Paints, stains and other coatings shall be compliant with VOC limits
- Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds
- Carpet and carpet systems shall be compliant with VOC limits
- Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards

Keynote Legend

- | | |
|-----|--|
| 1.0 | TOILET |
| 1.1 | FIBERGLASS BATHTUB W/ SURROUND |
| 1.2 | SINK & FAUCET |
| 1.3 | COUNTERTOP |
| 1.4 | MIRROR & MEDICINE CABINET |
| 1.5 | TOILET PAPER HOLDER |
| 1.6 | TOWEL BAR |
| 2.0 | REFRIGERATOR |
| 2.1 | KITCHEN SINK |
| 2.2 | UNDER COUNTER BUTTON FOR RE-CIRCULATION PUMP |
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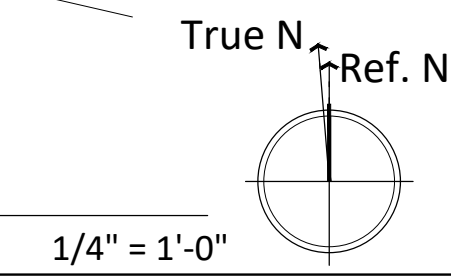
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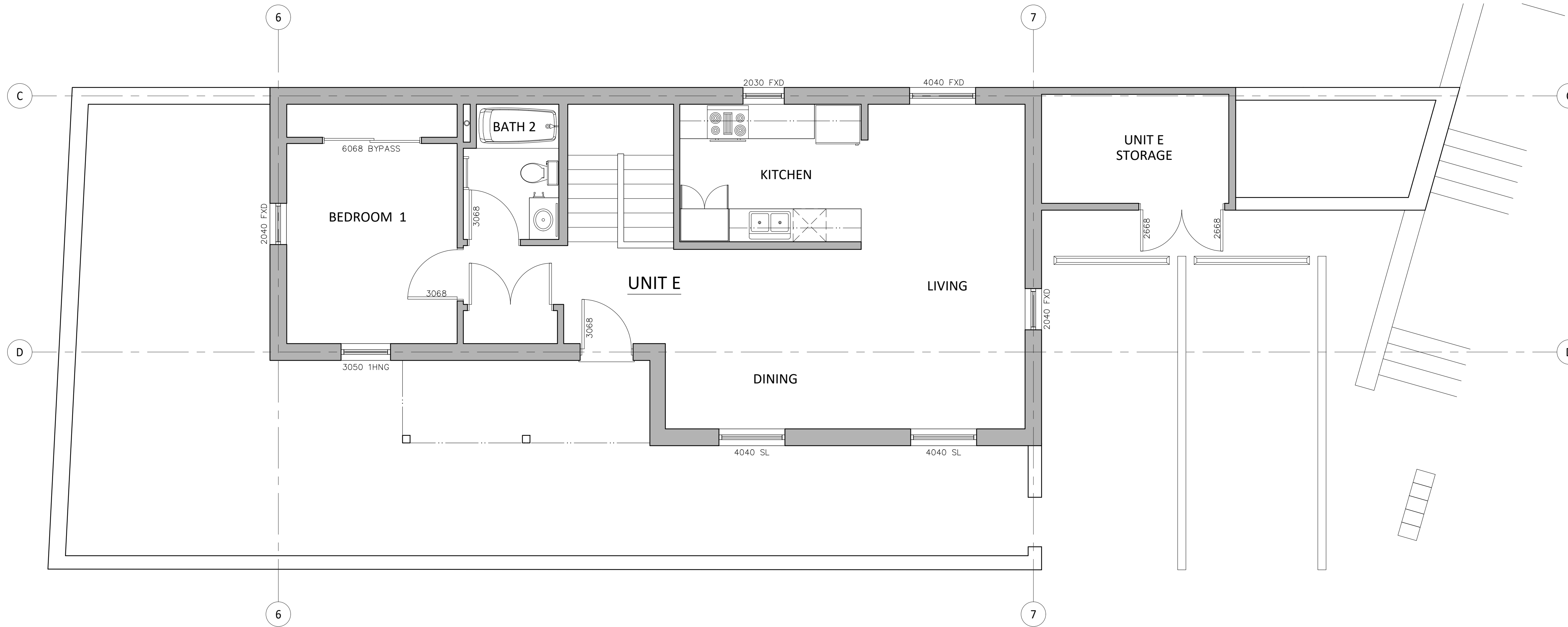
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2nd Floor Plan,
 Units A-D

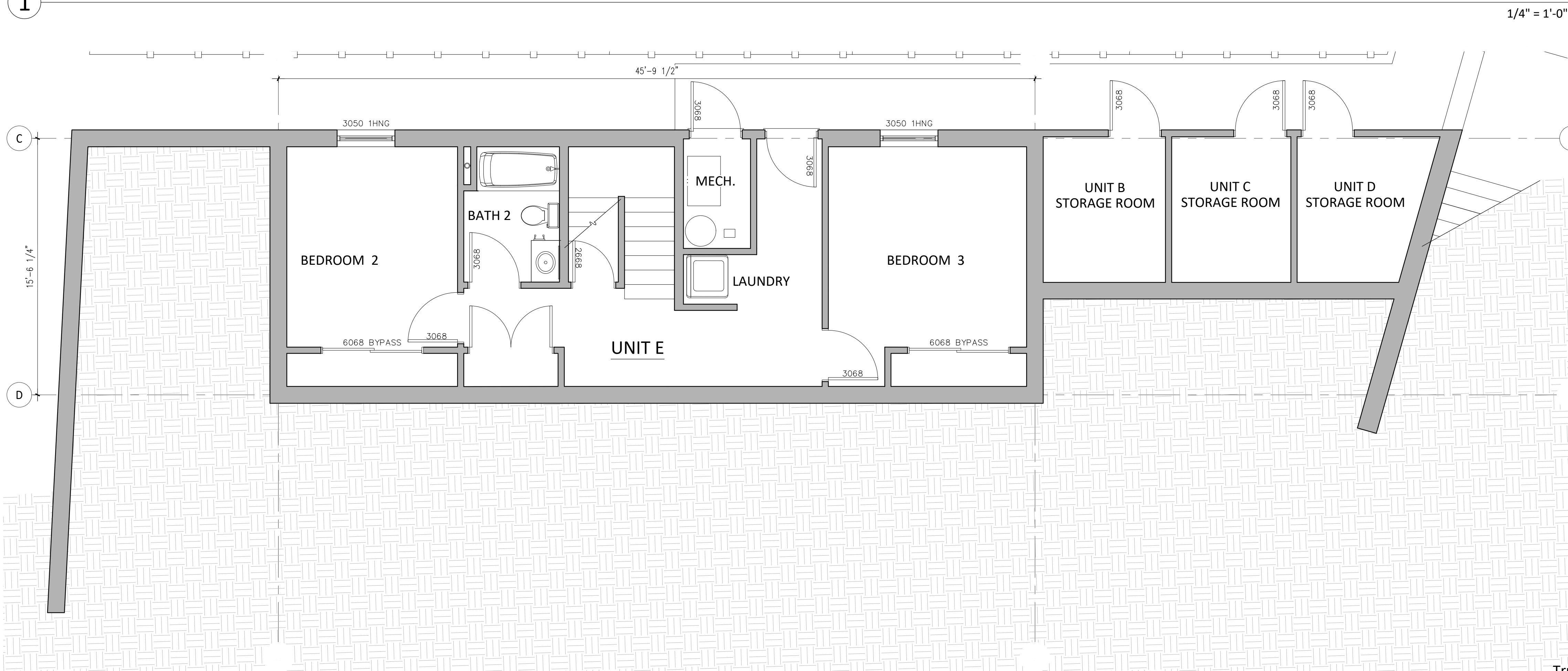
A202

1 Floor Plan: 2nd Floor Units A-D





1 Floor Plan: 2nd Floor Unit E



2 Floor Plan: 1st Floor Unit E

Floor Plan Notes

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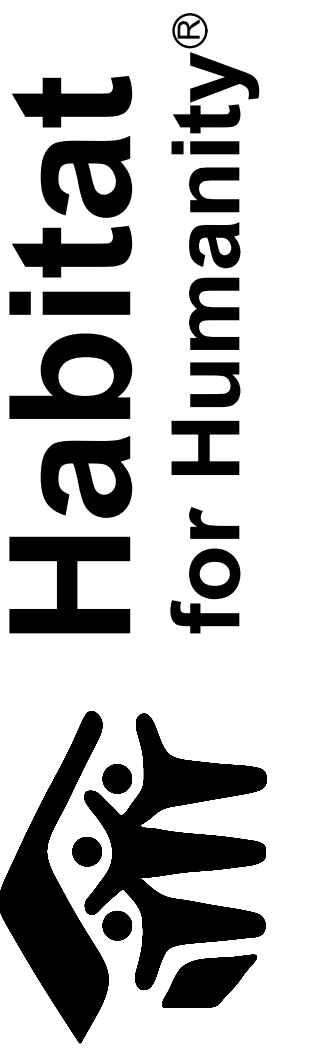
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Habitat for Humanity Homes

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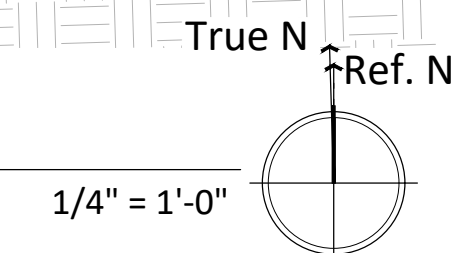
Rev	Description

DWG File Name

Print Date

1st Floor Plan,
Unit E

A203

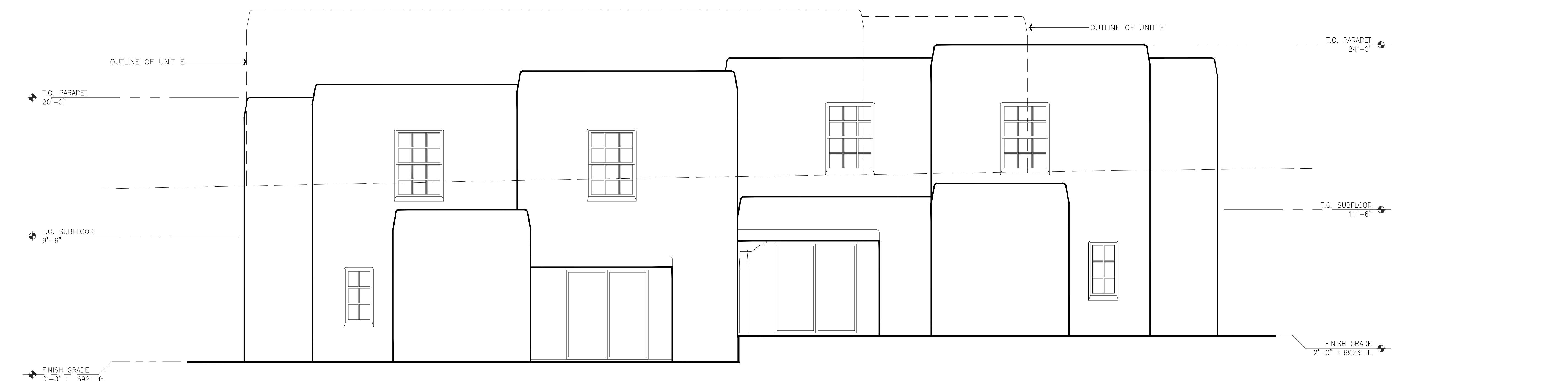




1 Exterior Elevation: Units A-D North



2 Exterior Elevation: Units A-D East



3 Exterior Elevation: Units A-D South

Revisions

DWG File Name
Print Date

Elevations

A301



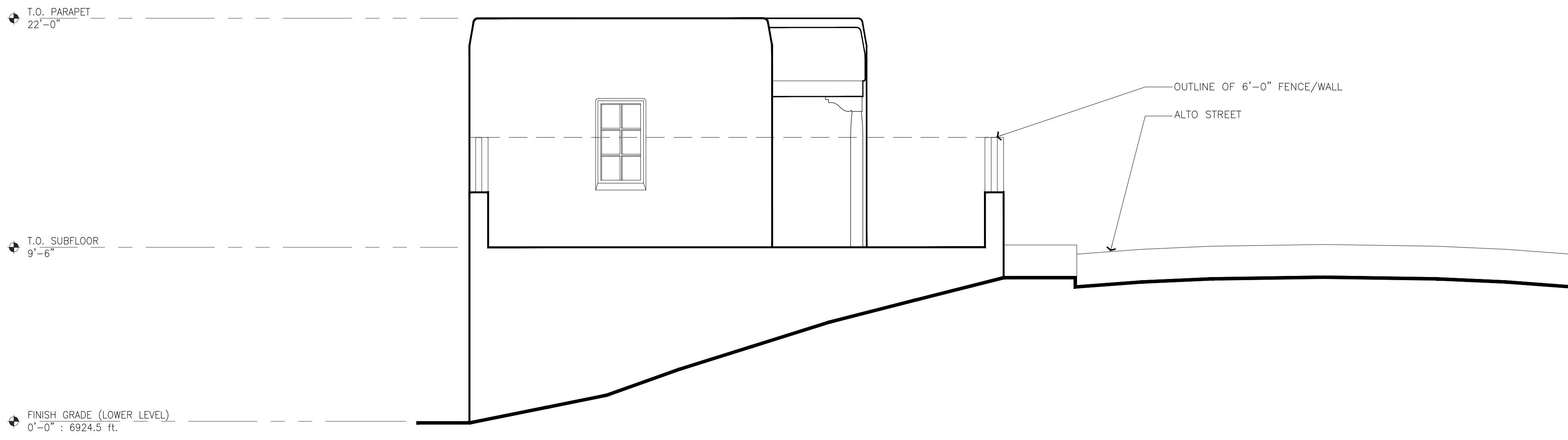
1 Exterior Elevation: Units A-D West

1/4" = 1'-0"



2 Exterior Elevation: Unit E South

1/4" = 1'-0"



3 Exterior Elevation: Unit E West

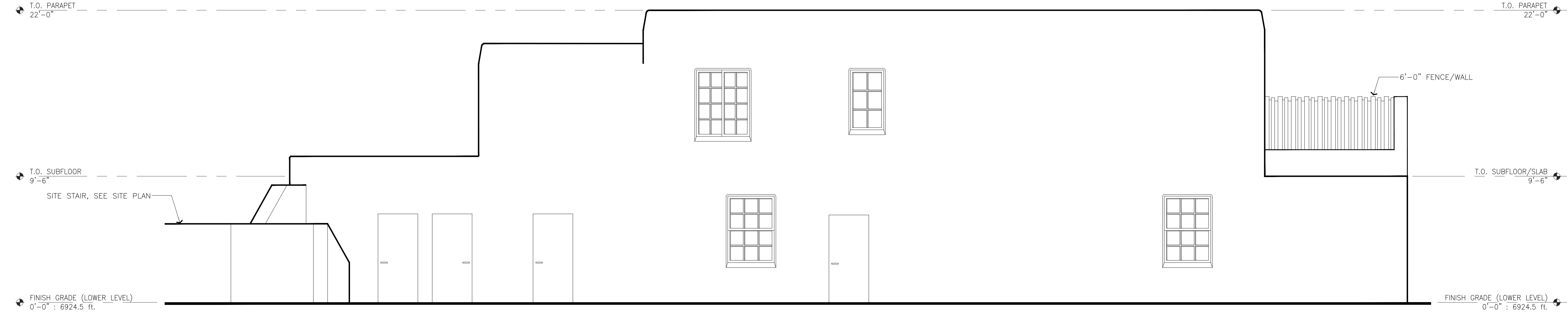
1/4" = 1'-0"

Revisions	

DWG File Name
Print Date

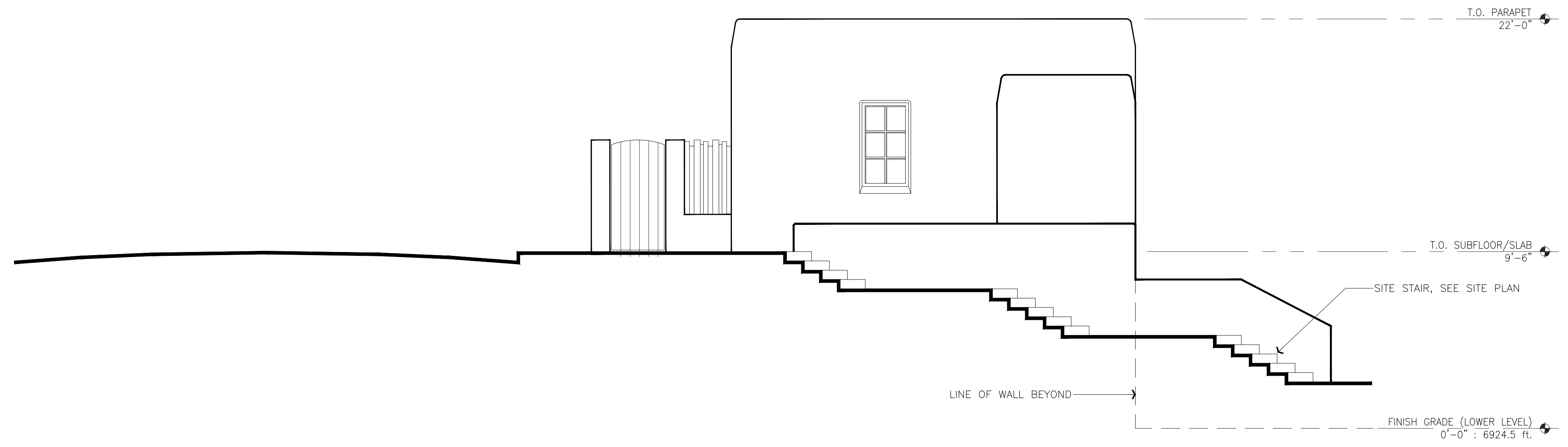
Elevations

A302



1 Exterior Elevation: Unit E North

1/4" = 1'-0"



2 Exterior Elevation: Unit E East

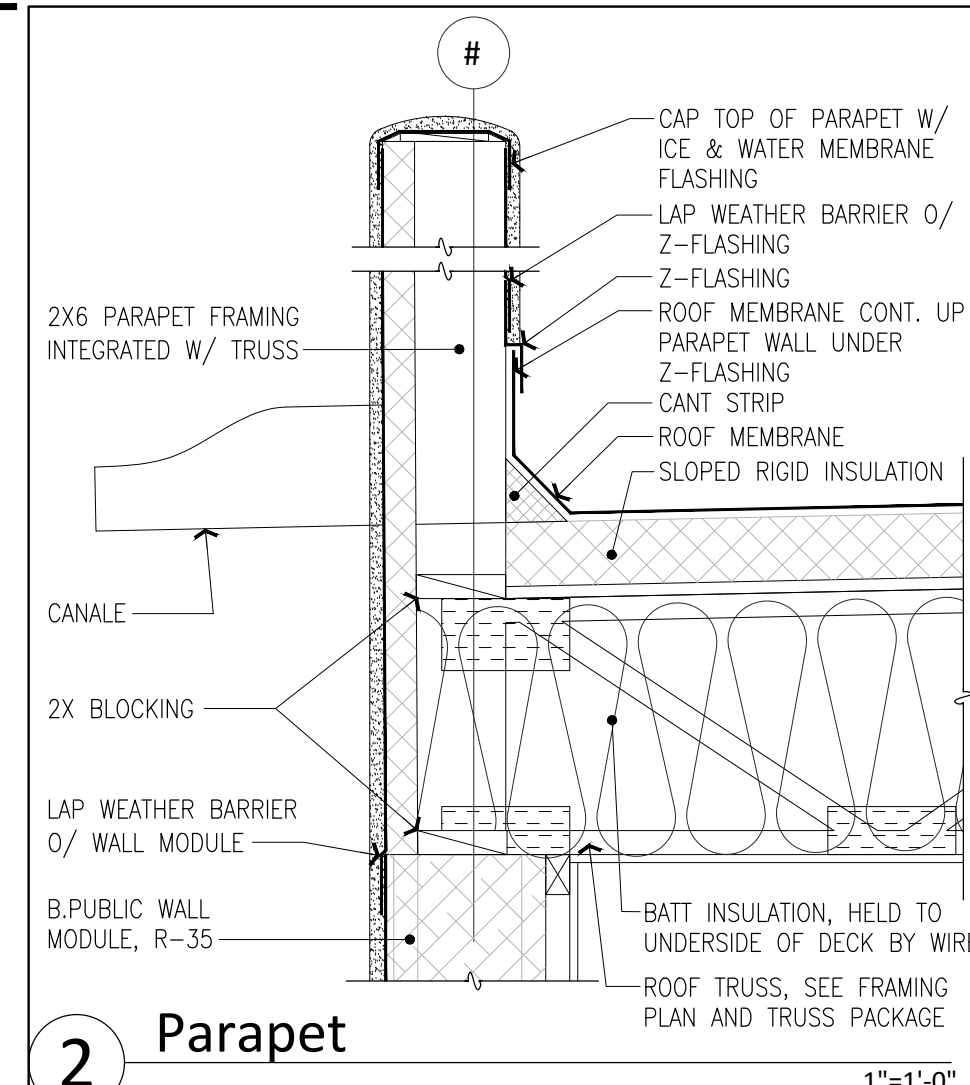
1/4" = 1'-0"

Revisions

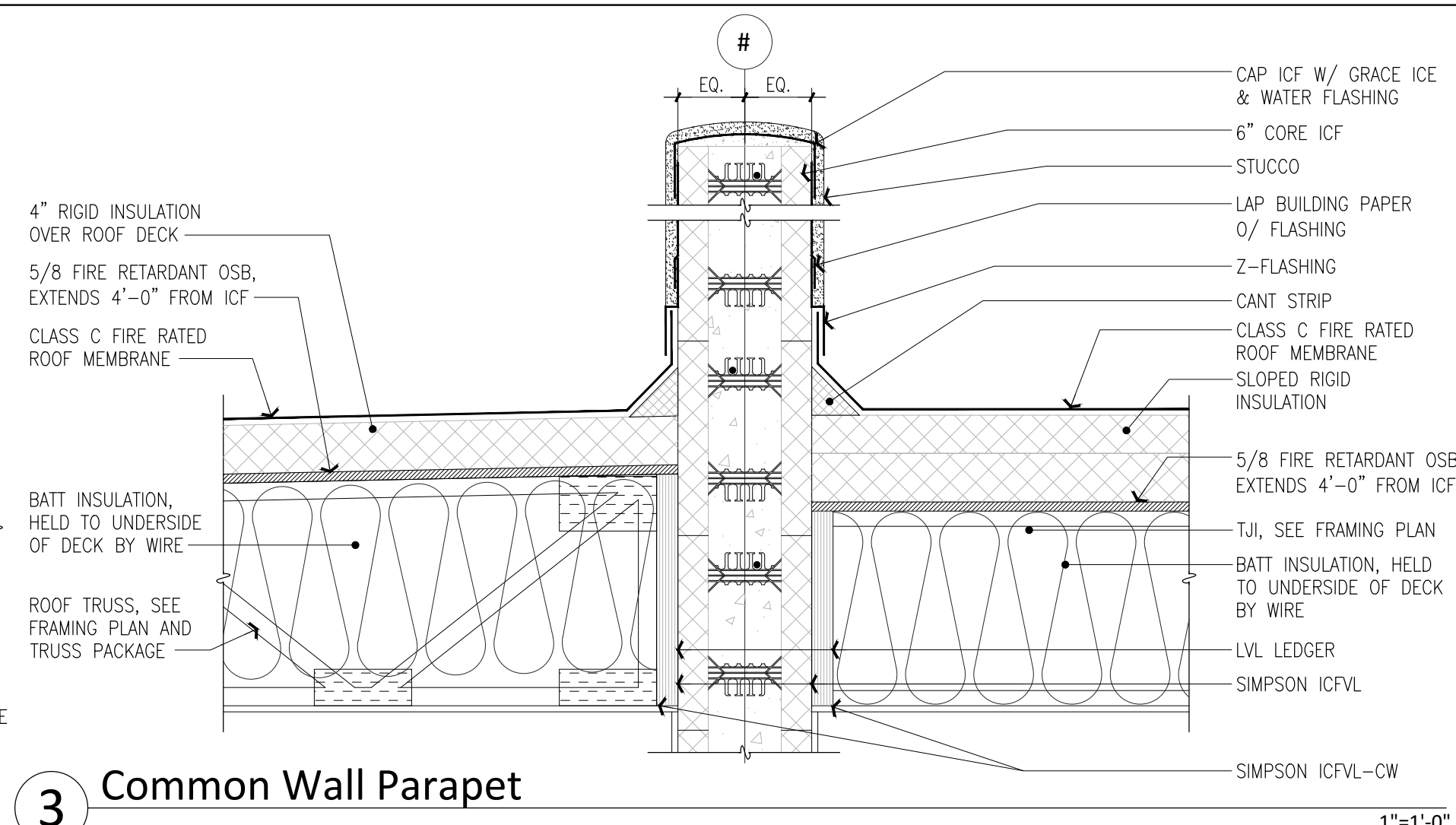
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Elevations

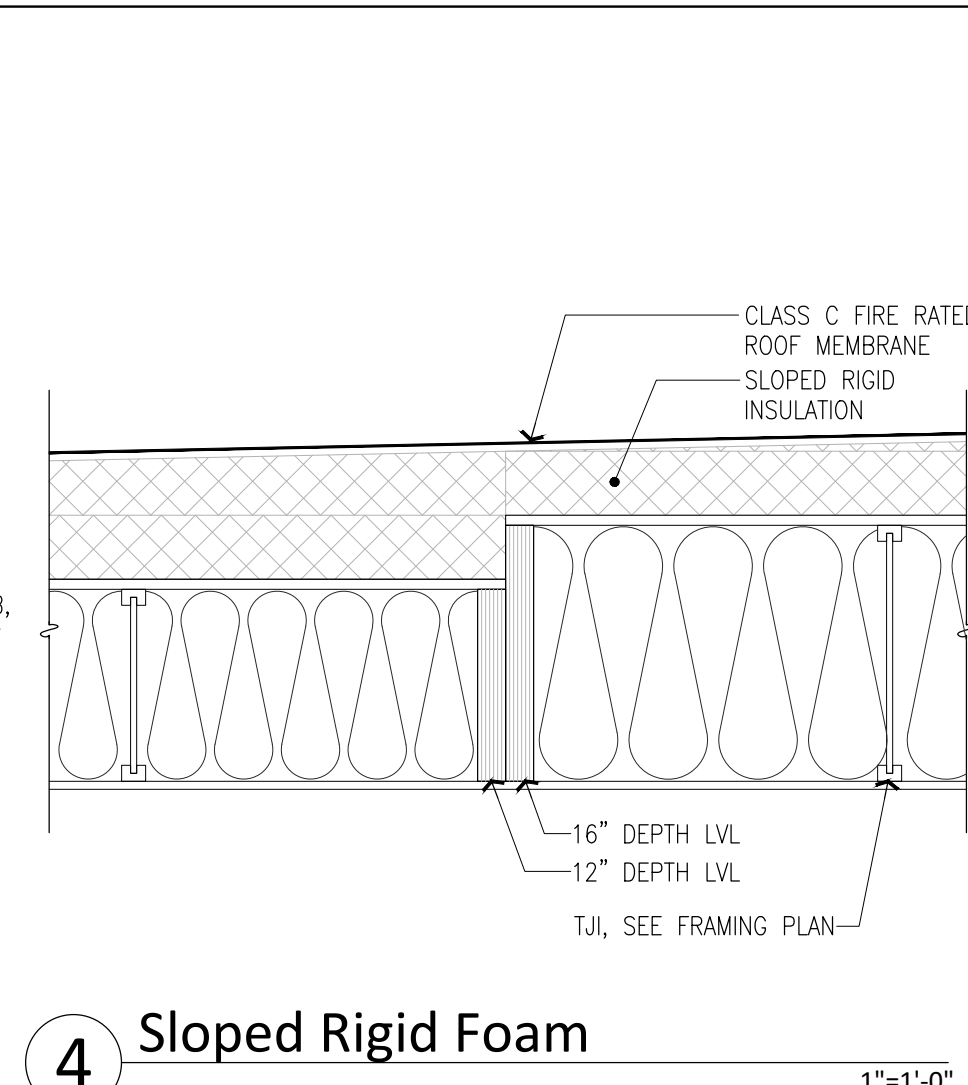
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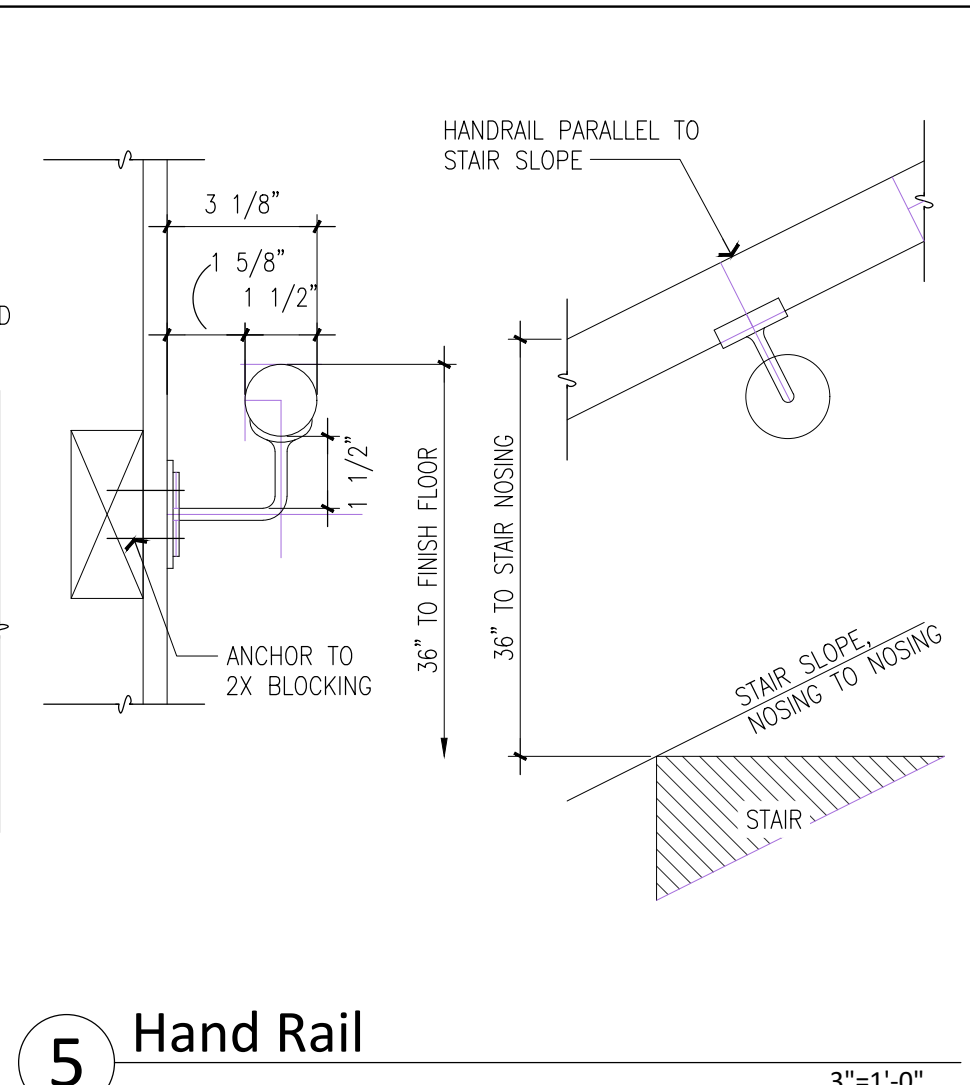
2 Parapet 1"=1'-0"



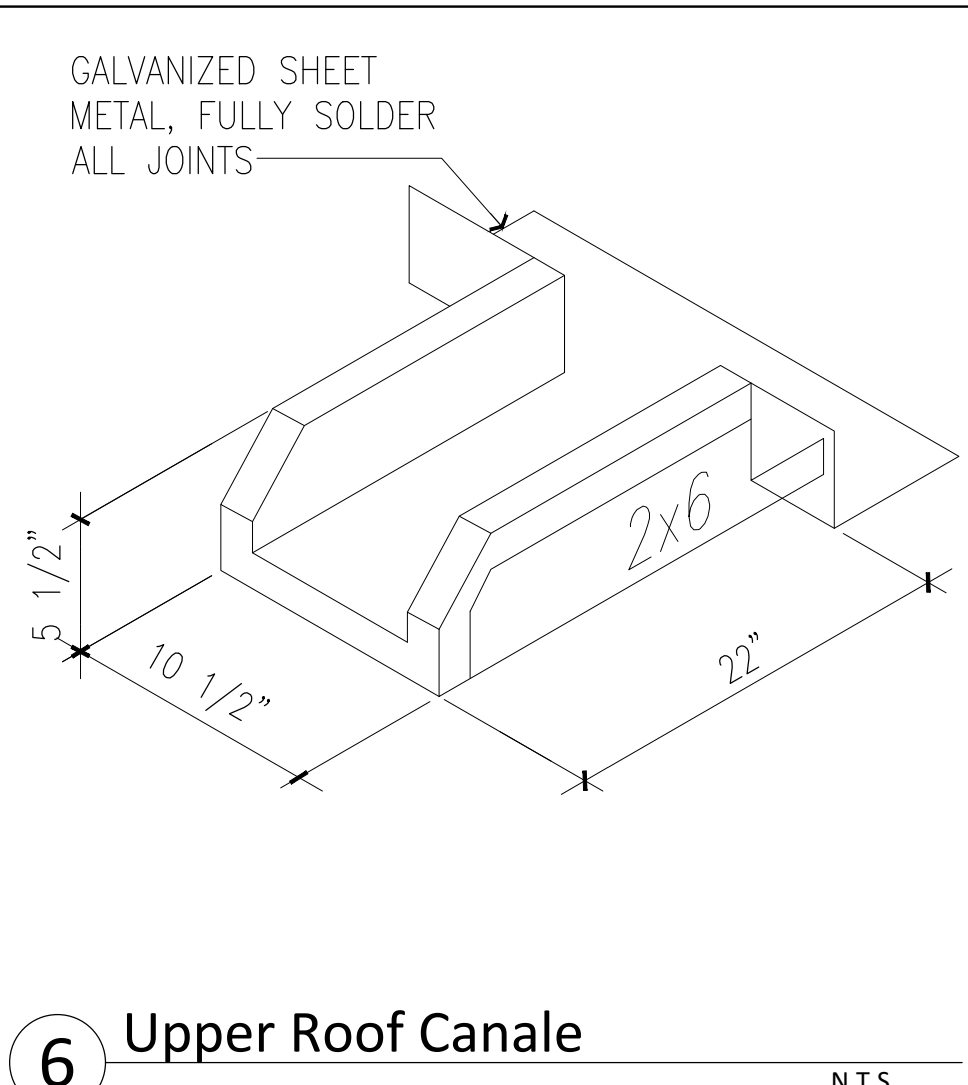
3 Common Wall Parapet 1"=1'-0"



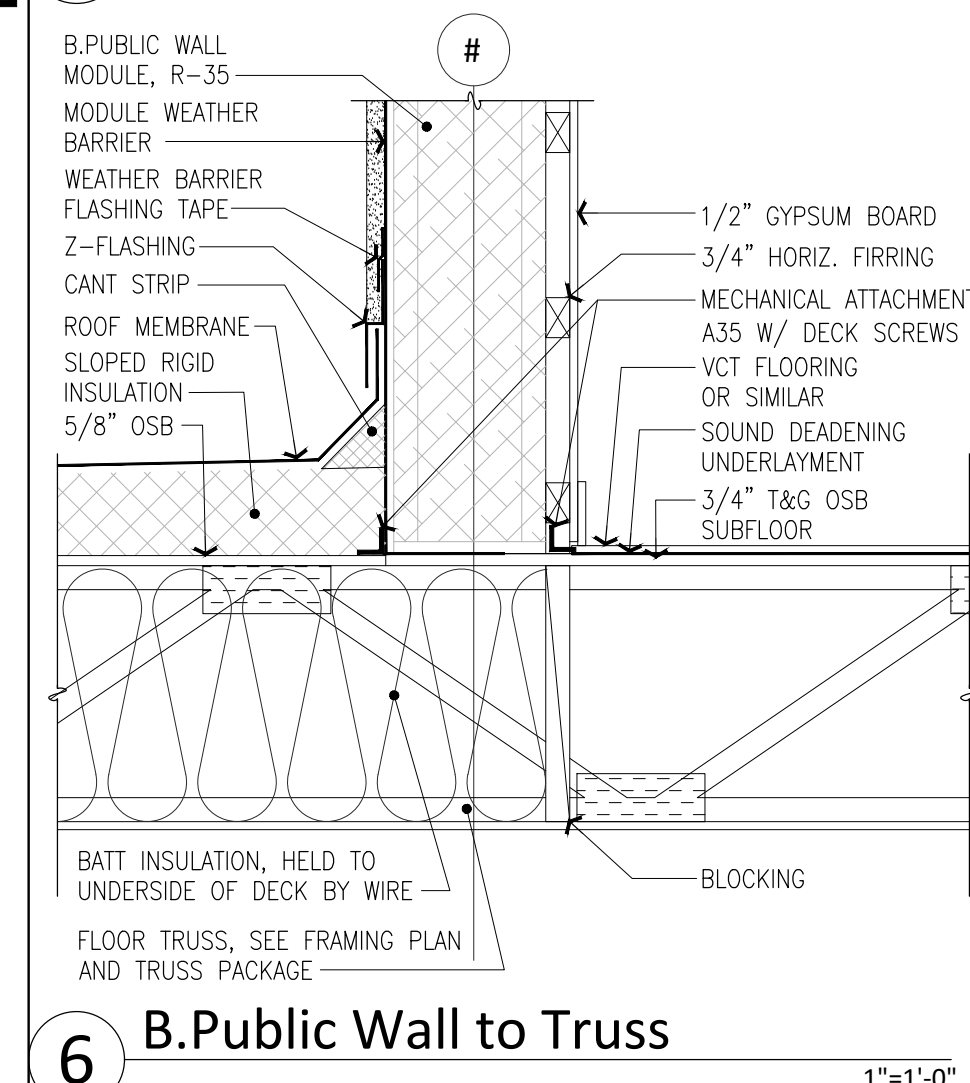
4 Sloped Rigid Foam 1"=1'-0"



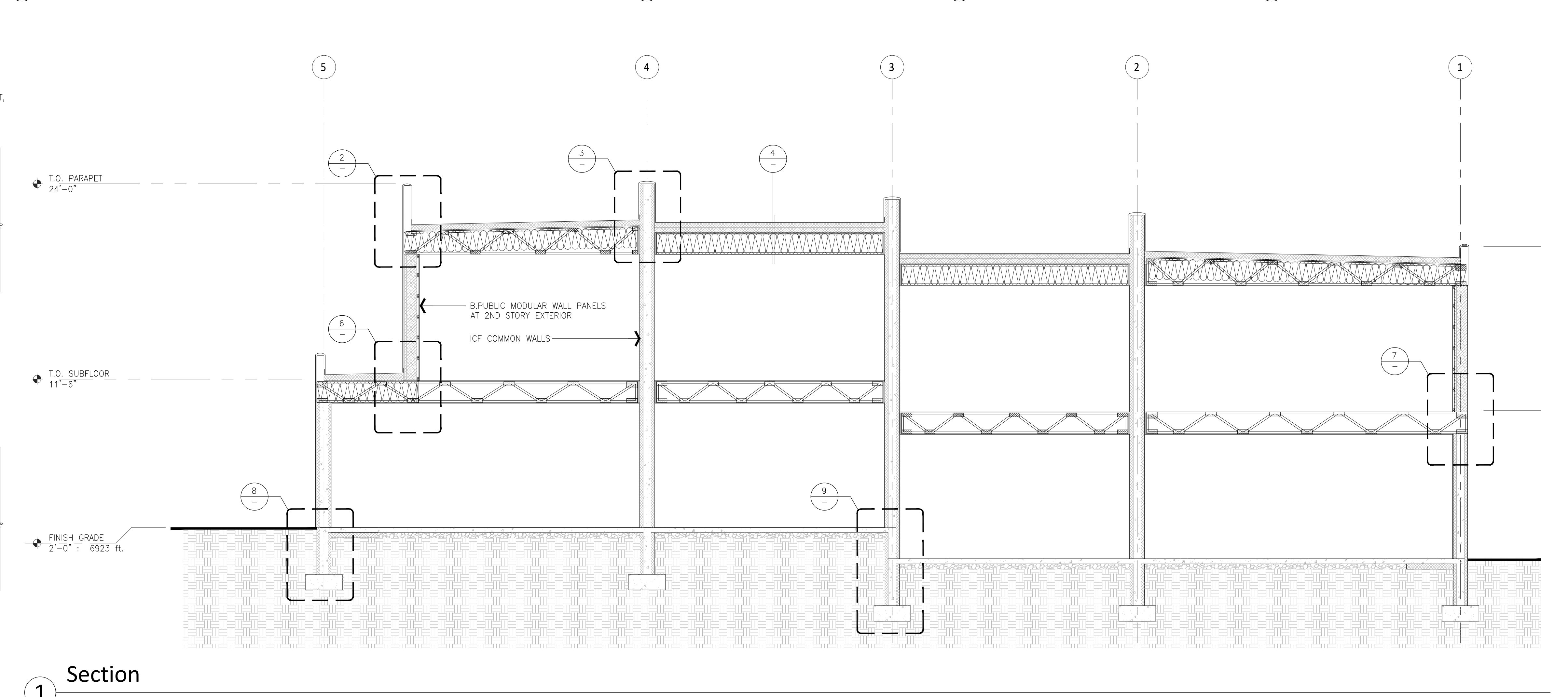
5 Hand Rail 3"=1'-0"



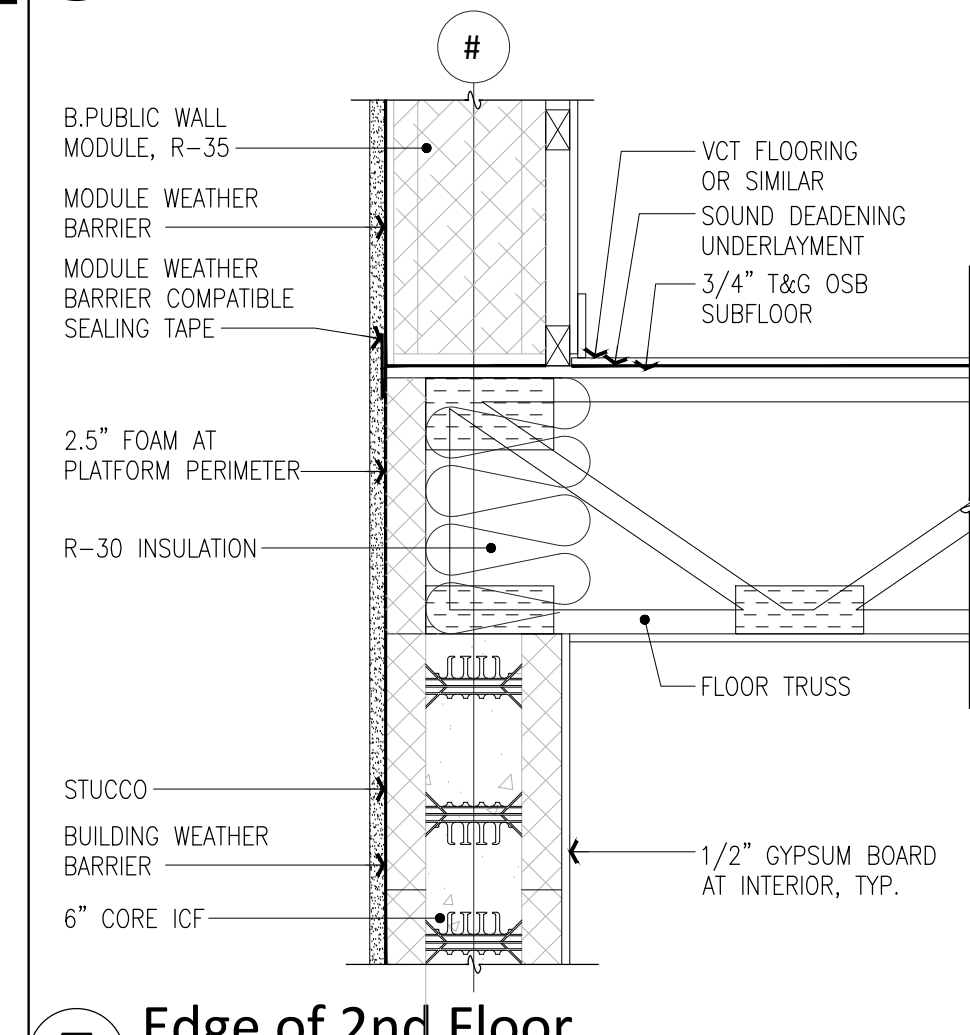
6 Upper Roof Canale N.T.S.



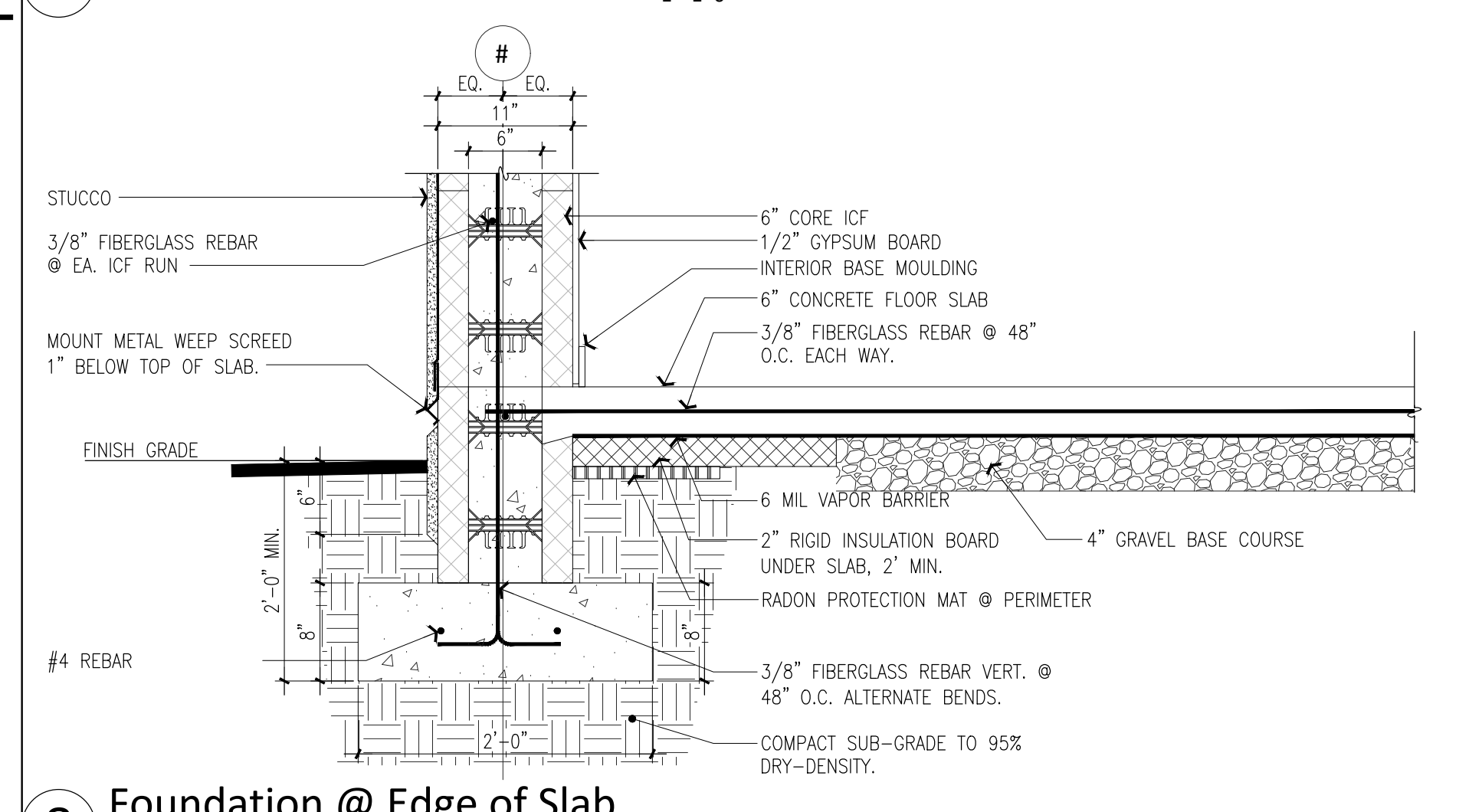
6 B.Public Wall to Truss 1"=1'-0"



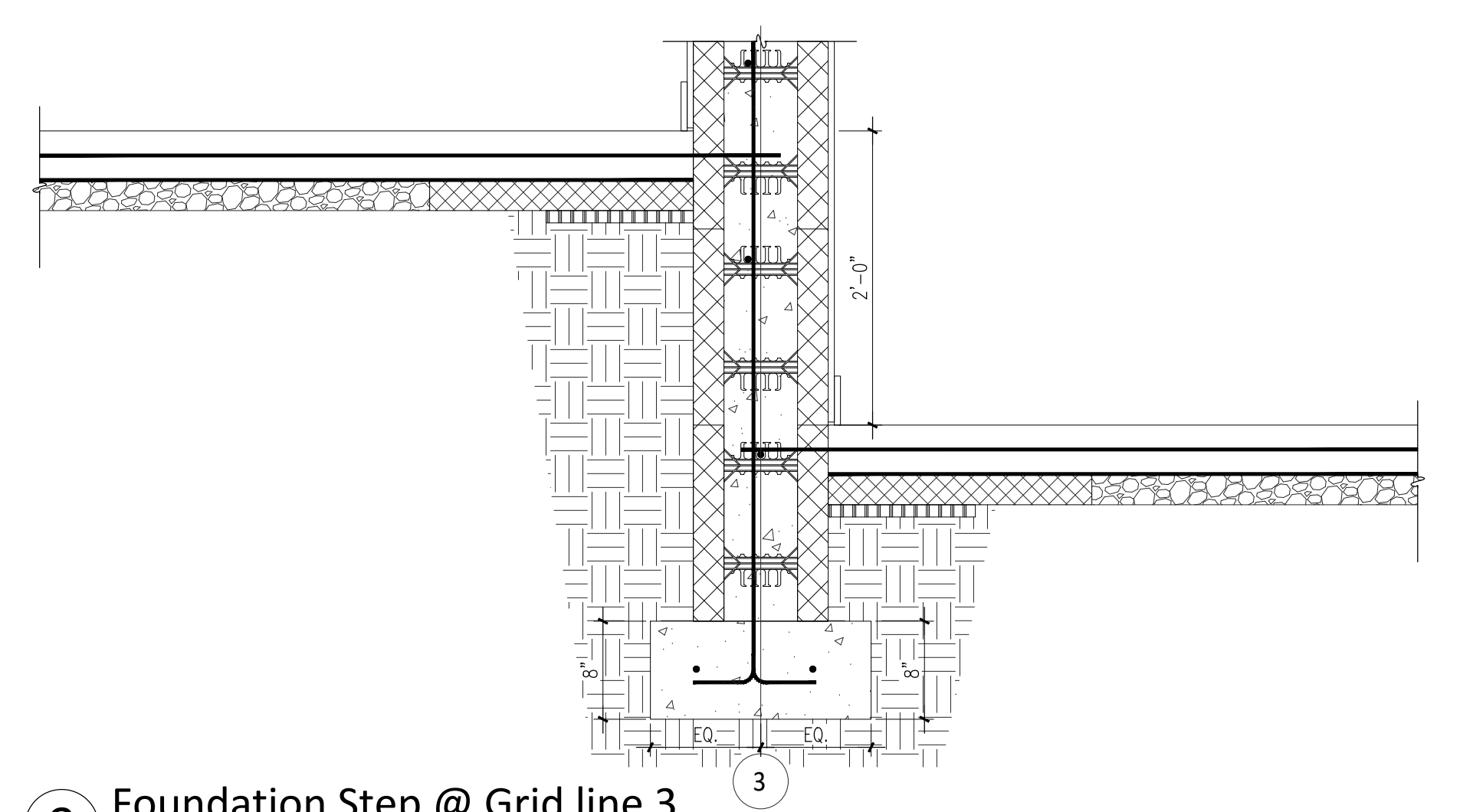
1 Section 1/2" = 1'-0"



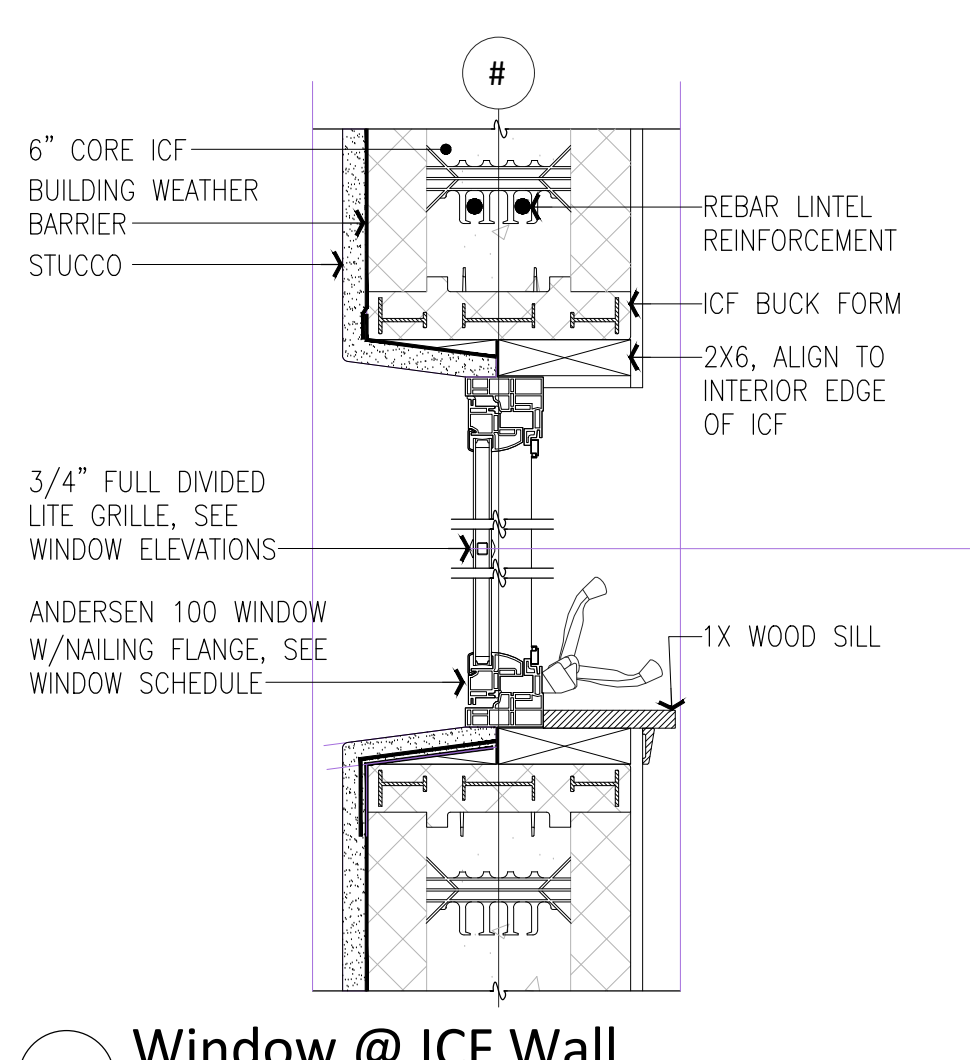
7 Edge of 2nd Floor 1"=1'-0"



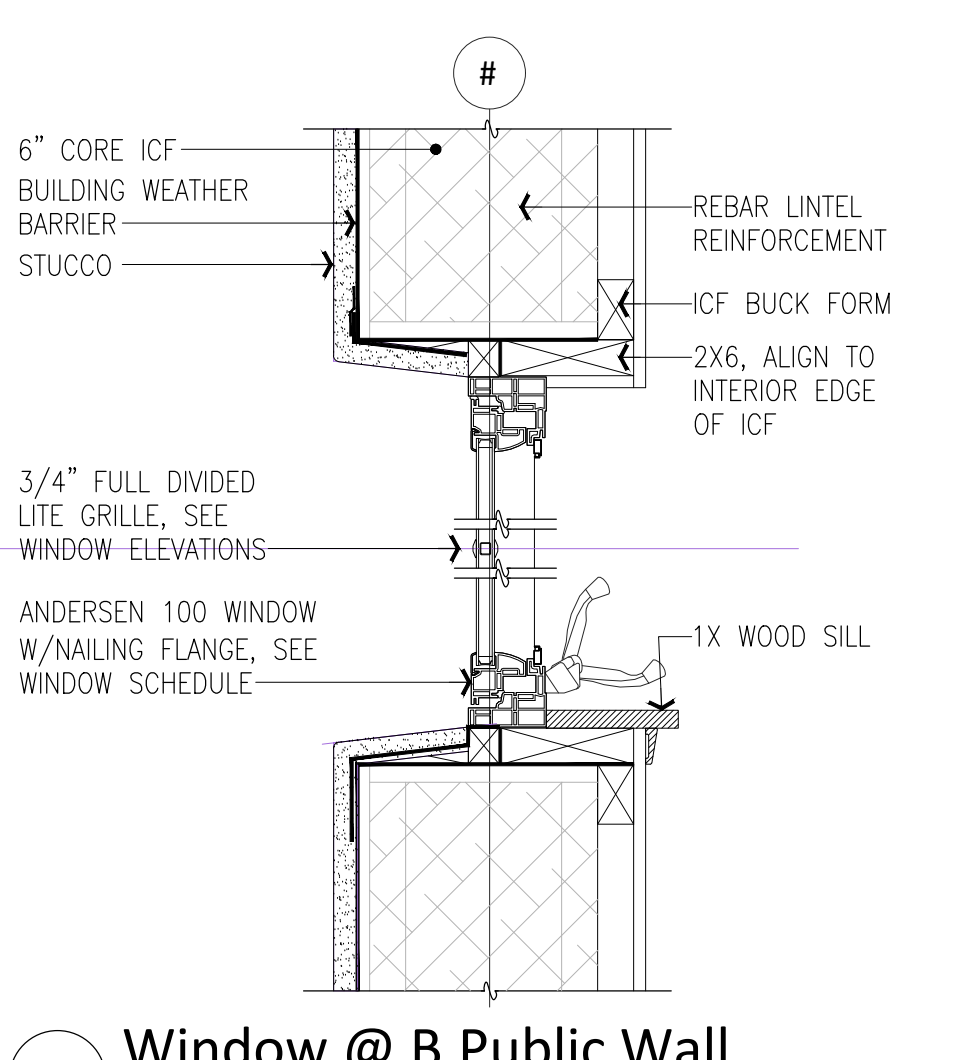
8 Foundation @ Edge of Slab 1"=1'-0"



9 Foundation Step @ Grid line 3 1"=1'-0"



10 Window @ ICF Wall 1 1/2"=1'-0"

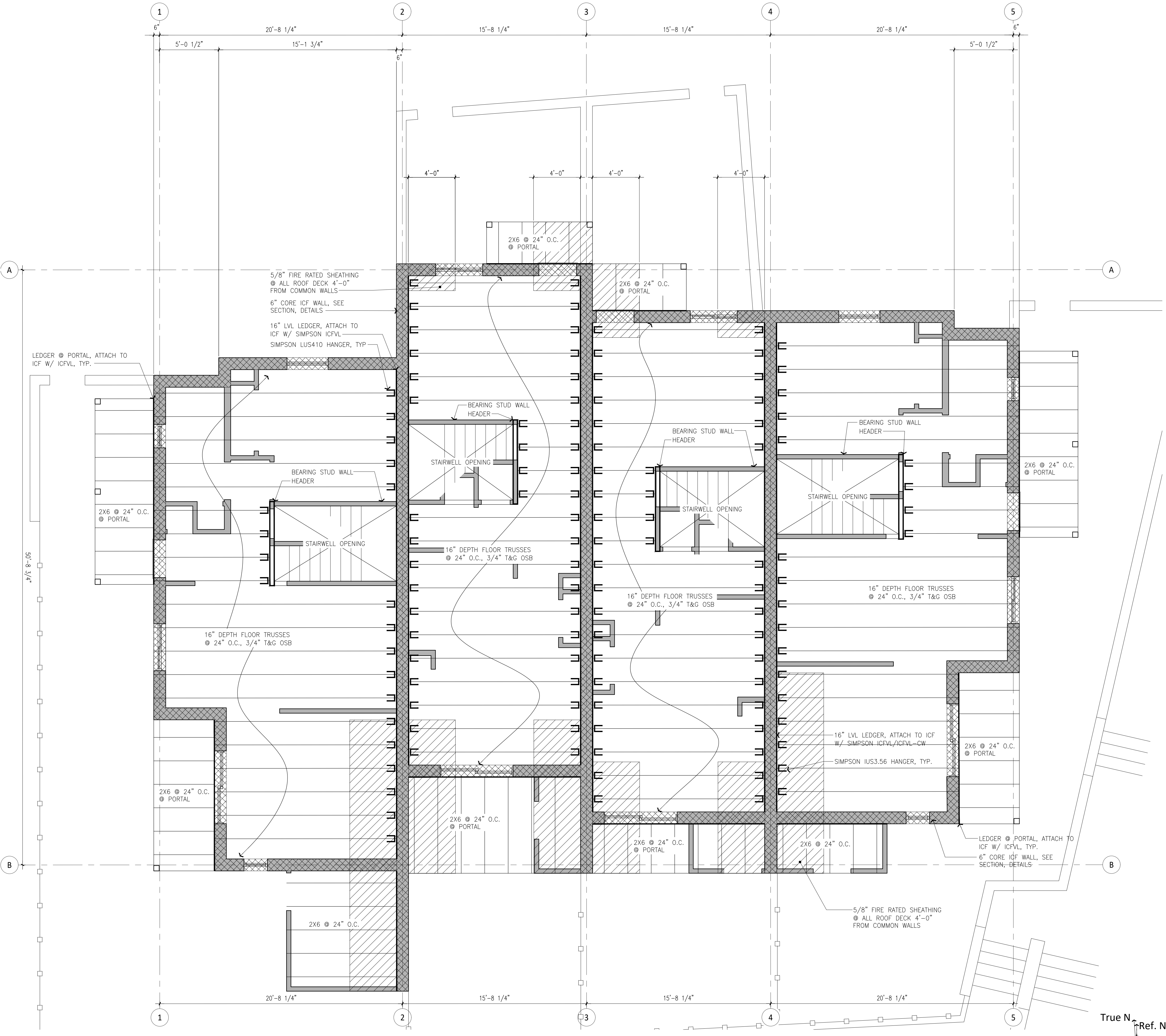


11 Window @ B.Public Wall 1 1/2"=1'-0"

Revisions

NO.	DESCRIPTION

DWG File Name: _____
 Print Date: _____



Floor Plan Notes

Keynote legend below contains information referenced throughout Documents. References are flagged at various locations in the Documents by means of the following symbol: 1.0 →

Refer exterior elevations for critical alignment of openings.

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Interior Moisture control:
Install capillary break and vapor retarder at slab on grade foundations, see

Check moisture content of building materials used in wall and floor framing before enclosure

Rodent Proofing:
Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method

Pollutant Control:
1. Cover duct openings and other related air distribution component during construction
2. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits
3. Paints, stains and other coatings shall be compliant with VOC limits
4. Aerosol paints and coatings shall be compliant with product weighted MIR limits for R0C and other toxic compounds
5. Carpet and carpet systems shall be compliant with VOC limits
6. Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards

Keynote Legend

- 1.0 TOILET
- 1.1 FIBERGLASS BATHTUB W/ SURROUND
- 1.2 SINK & FAUCET
- 1.3 COUNTERTOP
- 1.4 MIRROR & MEDICINE CABINET
- 1.5 TOILET PAPER HOLDER
- 1.6 TOWEL BAR
- 2.0 REFRIGERATOR
- 2.1 KITCHEN SINK
- 2.2 UNDER COUNTER BUTTON FOR RE-CIRCULATION PUMP
- 2.3 DISHWASHER
- 2.4 RAISED COUNTERTOP
- 2.5 STOVETOP RANGE AND OVEN
- 2.6 OVERHEAD CABINETS
- 3.0 CLOTHES WASHING MACHINE
- 3.1 CLOTHES DRYER
- 3.2 STACKED WASHER & DRYER
- 3.3 CLOSET SHELF AND HANGER BAR
- 3.4 LAUNDRY SHELF & CABINET
- 4.0 ELECTRIC HEAT PUMP WATER HEATER
- 4.1 ENERGY RECOVERY VENTILATOR (ERV)
- 4.2 DOMESTIC WATER RE-CIRCULATION PUMP
- 4.3 RADON VENT
- 5.0 SEALED AND COLORED CONCRETE FLOOR
- 5.1 RESILIENT FLOORING

Habitat for Humanity

 Santa Fe Habitat for Humanity
 2520 Camino Entrada, Ste. A
 Santa Fe, NM 87507-4885
 (505) 986-5880

Habitat for Humanity Homes
 635 Alto Street
 Santa Fe, NM 87501
 APN: 12715202

Revisions

Rev	Description

DWG File Name

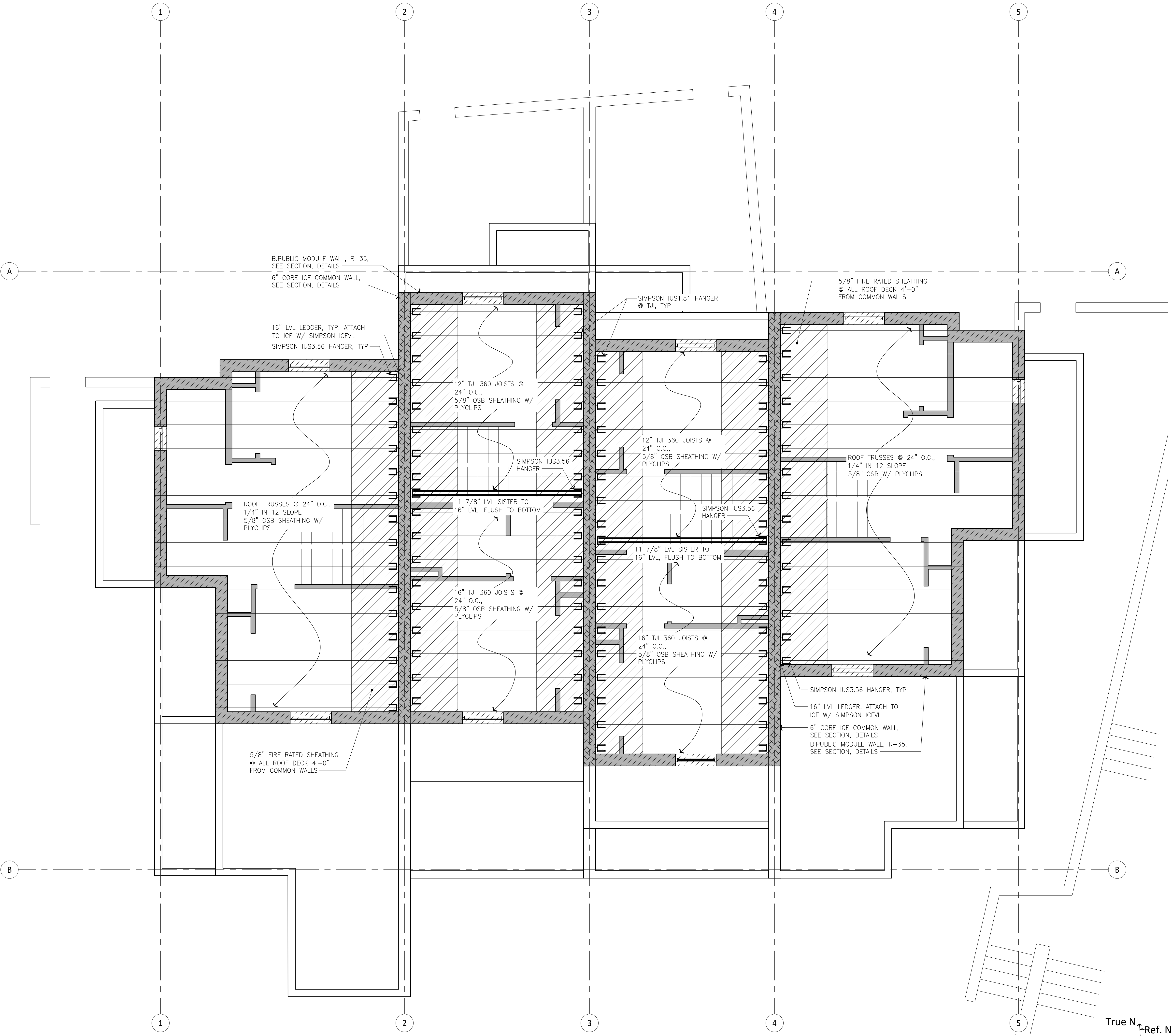
Print Date

1st Floor Plan,
Units A-D

A501

1 Floor Plan: 1st Floor Units A-D

1/4" = 1'-0"



Floor Plan Notes

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1.2	SINK & FAUCET
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1.4	MIRROR & MEDICINE CABINET
1.5	TOILET PAPER HOLDER
1.6	TOWEL BAR
2.0	REFRIGERATOR
2.1	KITCHEN SINK
2.2	UNDER COUNTER BUTTON FOR RE-CIRCULATION PUMP
2.3	DISHWASHER
2.4	RAISED COUNTERTOP
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5.1	RESILIENT FLOORING



Habitat for Humanity Homes
 635 Alto Street
 Santa Fe, NM 87501
 APN: 12715202

Revisions

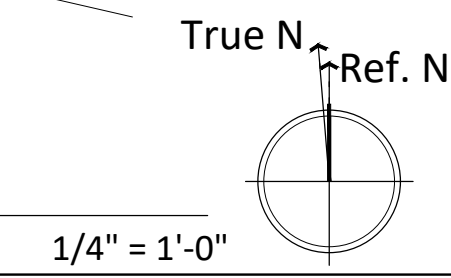
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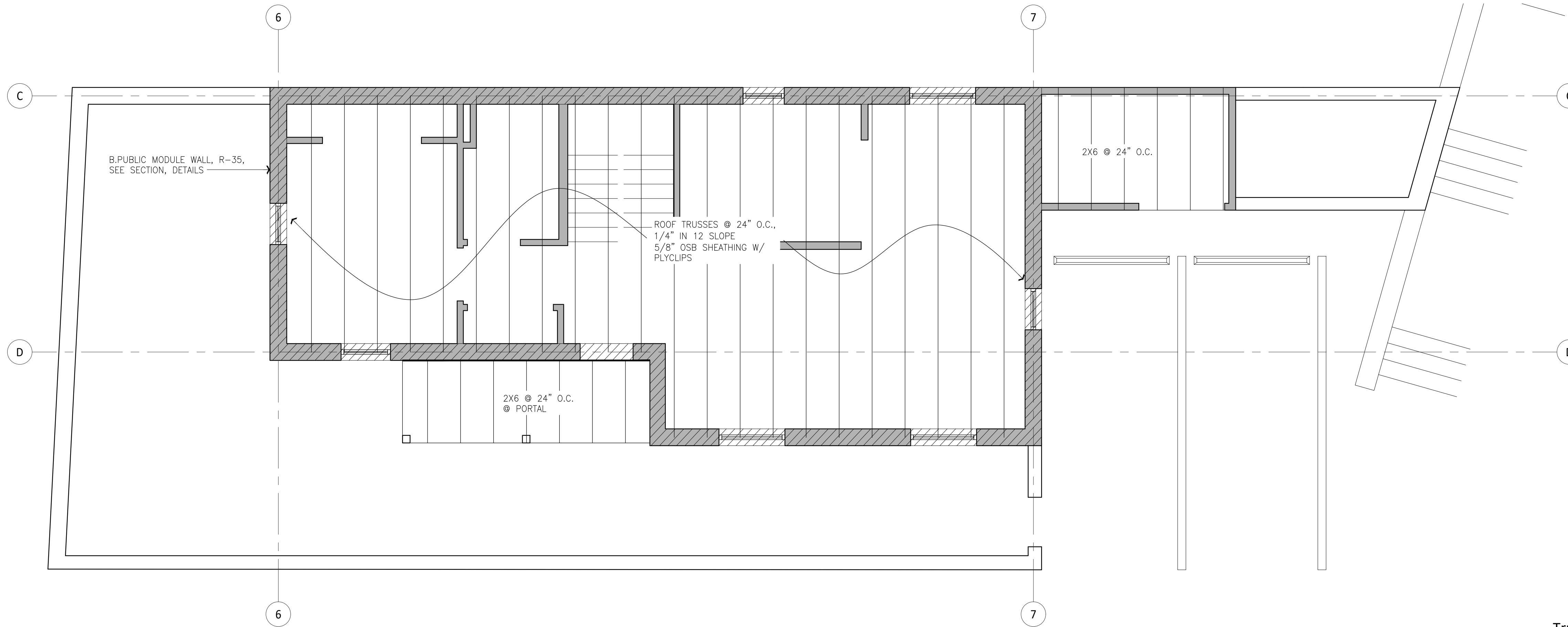
DWG File Name
 Print Date

2nd Floor Plan,
 Units A-D

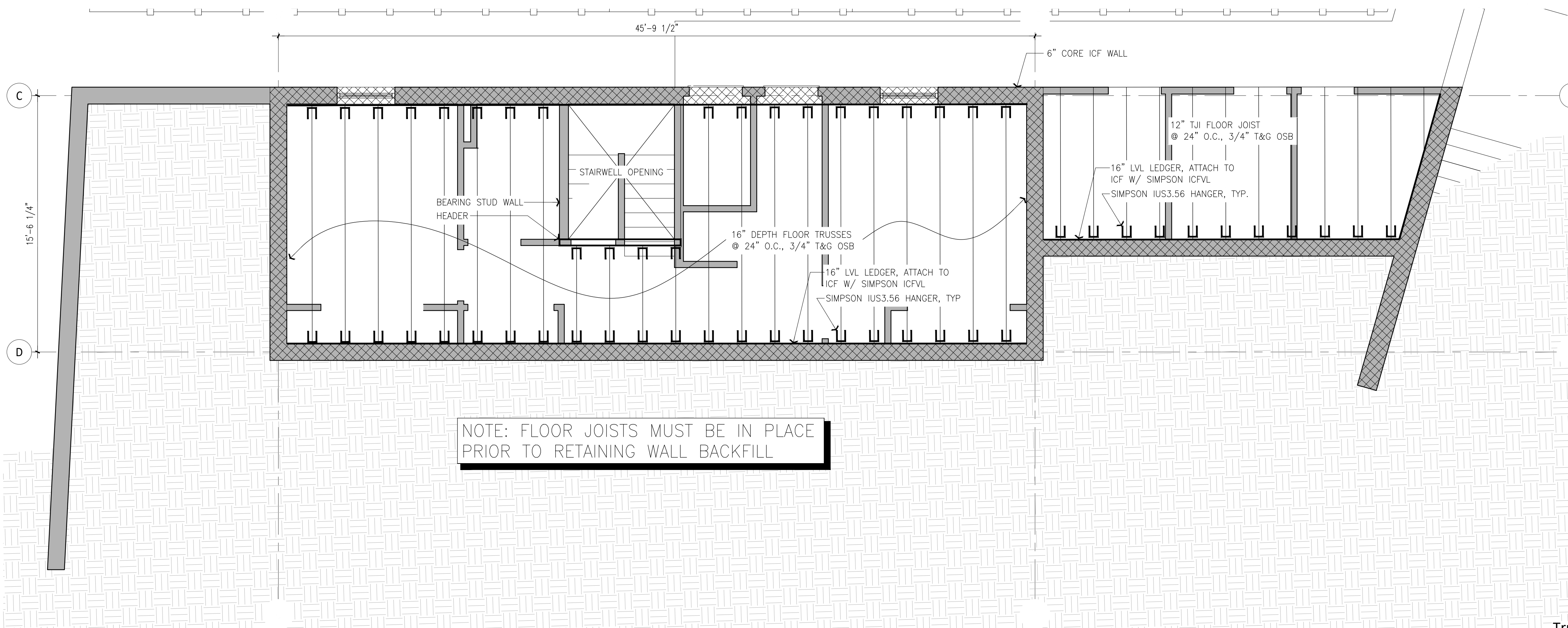
A502

1 Floor Plan: 2nd Floor Units A-D





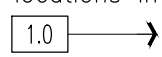
1 Floor Plan: 2nd Floor Unit E (Street Level)



2 Floor Plan: 1st Floor Unit E

NOTE: FLOOR JOISTS MUST BE IN PLACE PRIOR TO RETAINING WALL BACKFILL

Floor Plan Notes

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- 4.3 RADON VENT
- 5.0 SEALED AND COLORED CONCRETE FLOOR
- 5.1 RESILIENT FLOORING

Revisions

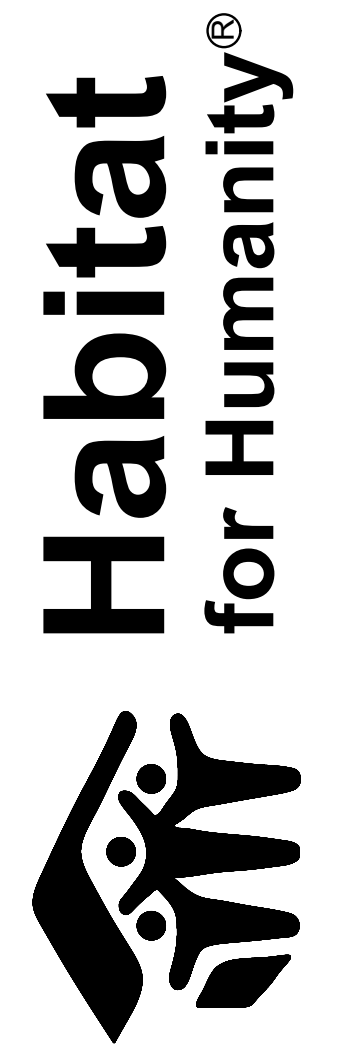
NO.	DESCRIPTION

DWG File Name

Print Date

1st Floor Plan,
Unit E

A503



Santa Fe Habitat for Humanity
2520 Camino Entrada, Ste. A
Santa Fe, NM 87507-4885
(505) 986-5880

Habitat for Humanity Homes
635 Alto Street
Santa Fe, NM 87501
APN: 12715202

GENERAL NOTES:	GEOTECHNICAL INVESTIGATION:	7. LANDSCAPE PLAN	CLEARING AND GRUBBING:	GRADING:	5. UNDERGRADING:
<p>1. ALL IMPROVEMENTS, UNLESS OTHERWISE MODIFIED IN THE PROJECT SPECIFICATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COA AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, EXCEPT WHERE OTHERWISE NOTED IN THE DRAWINGS.</p> <p>2. THE CONTRACTOR AGREES: SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.</p> <p>3. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ENGINEER AND ALL APPROVAL SIGNATORIES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.</p> <p>4. THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME, INCLUDING WEEKENDS, HOLIDAYS AND AFTER HOURS. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO START OF CONSTRUCTION. PERMIT COSTS ARE INCIDENTAL TO BASE BID.</p> <p>6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY, HEALTH, AND ENVIRONMENTAL PROTECTION.</p> <p>7. EXISTING SITE INFRASTRUCTURE WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.</p> <p>8. THE CONTRACTOR SHALL USE THE DESIGNATED STAGING AREAS FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ON-SITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT AND MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IF NO STAGING AREA IS DESIGNATED ON THESE PLANS, AN OFF-SITE STAGING AREA SHALL BE PROVIDED AT THE CONTRACTOR'S EXPENSE, OR THE CONTRACTOR MAY NEGOTIATE WITH THE OWNER TO USE AN ON-SITE AREA.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITY CONFLICTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.</p> <p>11. WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS THE EXISTING PAVEMENT SHALL BE SAW CUT TO A STRAIGHT LINE AT RIGHT ANGLES AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE INCIDENTAL TO PAVING, THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR THE SAW CUTTING.</p> <p>12. ANY PAVEMENT DISTURBED BY THE TRENCH SHALL BE REMOVED AND THE FULL SECTION OF PAVEMENT SHALL BE REPLACED. FOR THE PAVEMENT BEYOND THAT AREA DISTURBED BY THE EXCAVATED TRENCH, THE FOLLOWING APPLIES UNLESS OTHERWISE NOTED ON PLANS: IF ONLY ONE LANE IS DISTURBED BY TRENCHING, THE REMAINDER OF THE ONE ENTIRE LANE SHALL BE MILLED AND RESURFACED. IN A FOUR-LANE STREET, IF MORE THAN ONE LANE BUT LESS THAN HALF THE STREET IS AFFECTED, THEN THE REMAINDER OF HALF THE STREET (TWO LANES MINIMUM) SHALL BE MILLED AND RESURFACED. IF MORE THAN ONE-HALF OF A STREET WIDTH IS AFFECTED, THEN ALL PAVING IN THE STREET FROM CURB TO CURB SHALL BE MILLED AND RESURFACED.</p> <p>13. DEWATERING DURING CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION.</p>	<p>1. GEOTECHNICAL EXPLORATION, TESTING, AND ANALYSIS WILL ESTABLISH PARAMETERS REQUIRED IN THE ENGINEERING OF FOUNDATIONS. CRITERIA WILL BE ESTABLISHED TO PERMIT THE MOST ECONOMICAL DESIGN THAT IS COMPATIBLE WITH LIFE EXPECTANCY AND SERVICE OF STRUCTURES.</p> <p>2. DESIGN LOADS FOR ALL STRUCTURES WILL BE DETERMINED IN ACCORDANCE WITH THE CRITERIA DESCRIBED BELOW, UNLESS THE APPLICABLE BUILDING CODE REQUIREMENTS ARE MORE STRINGENT.</p> <p>3. VEHICLE LOADS: LOADS EXERCISED ON ROADWAY PAVEMENTS, BURIED PIPING, BOX CULVERTS, AND EMBANKMENTS WILL BE REVIEWED AND SELECTED PRIOR TO DESIGN OF THE UNDERLYING ITEMS. TYPICALLY, HS20 LOADS WILL BE USED FOR THE DESIGN OF ROADWAY SUB GRADE. EQUIPMENT LOADING SUCH AS SCRAPERS (LOADS), CRAWLER CRANES, AND EQUIPMENT TRANSPORT TRAILERS COULD EXCEED THE TYPICAL HS20 LOADINGS. SUCH LOADS WILL BE CONSIDERED WHERE APPROPRIATE.</p> <p>4. SITE ARRANGEMENT: THE SITE ARRANGEMENT WILL CONFORM TO APPLICABLE LAWS, REGULATIONS, AND ENVIRONMENTAL STANDARDS. THE PRINCIPLE ELEMENTS IN THE SELECTION OF SITE ARRANGEMENT CRITERIA ARE THE PHYSICAL SPACE REQUIREMENTS AND RELATIONSHIPS DICTATED BY EACH OF THE MAJOR SYSTEMS. DISTANCES BETWEEN VARIOUS SYSTEMS WILL BE MINIMIZED FOR ECONOMY. UTILITY INTERCONNECTIONS WILL BE OPTIMIZED AS MUCH AS PRACTICABLE. SOIL CONTAMINANT MEASURES WILL BE PROVIDED. TREATMENT SYSTEMS WILL BE PROVIDED FOR FACILITY WASTEWATER STREAMS, IF REQUIRED, BEFORE DISCHARGE. SANITARY WASTEWATER WILL BE PROVIDED TO AN ON-SITE LEACHING FIELD. INTERNAL ACCESS ROADS WILL BE PROVIDED. THE SITE ARRANGEMENT WILL BE DESIGNED TO MINIMIZE FILL AND/OR EXCAVATION COSTS WHILE MAINTAINING EFFICIENCY OF PROJECT CONSTRUCTION, OPERATION, AND MAINTENANCE. THE SITE GRADING AND DRAINAGE PLAN WILL BE DESIGNED TO PROTECT EXISTING INFILTRATION AREAS. SHEET PILING, WHICH FOLLOWS THE EXISTING NATURAL DRAINAGE COURSE, WILL DIRECT THE RUNOFF ACROSS THE SITE TO THE LOCALIZED INFILTRATION AREAS INCORPORATED INTO THE SITE GRADING AND DRAINAGE PLANS. THE USE OF LOW RUNOFF VELOCITIES AND INFILTRATION AREAS WILL ALLOW THE RUNOFF TO BE ABSORBED INTO THE GROUND. WASTEWATER THAT MAY CONTAIN OIL WILL BE ROUTED THROUGH AN OIL-WATER SEPARATOR.</p> <p>THE FOLLOWING CRITERIA WILL BE FOLLOWED REGARDING SITE INFRASTRUCTURE:</p> <ul style="list-style-type: none"> - CULVERTS AND SANITARY SEWER MANHOLES WILL BE INSTALLED AS REQUIRED. - LOCATIONS AND REQUIREMENTS FOR FENCING OR WALLS WILL CONFORM TO APPLICABLE BUILDING CODES AND COUNTY ORDINANCES. <p>5. GRADING AND DRAINAGE</p> <p>THE SITE GRADING AND DRAINAGE SYSTEM WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS. THE GENERAL SITE GRADING AND DRAINAGE SYSTEM WILL BE DESIGNED TO PROTECT EXISTING INFILTRATION AREAS. SHEET PILING, WHICH FOLLOWS THE EXISTING NATURAL DRAINAGE COURSE, WILL DIRECT THE RUNOFF ACROSS THE SITE TO THE LOCALIZED INFILTRATION AREAS INCORPORATED INTO THE SITE GRADING AND DRAINAGE PLANS. THE USE OF LOW RUNOFF VELOCITIES AND INFILTRATION AREAS WILL ALLOW THE RUNOFF TO BE ABSORBED INTO THE GROUND. WASTEWATER THAT MAY CONTAIN OIL WILL BE ROUTED THROUGH AN OIL-WATER SEPARATOR.</p> <p>ON-SITE DRAINAGE WILL BE ACCOMPLISHED THROUGH GRAVITY FLOW WHENEVER POSSIBLE. THE SURFACE DRAINAGE SYSTEM WILL CONSIST OF GENTLE SLOPES. THE BUILDINGS AND STRUCTURES WILL BE LOCATED WITHIN THE GROUND FLOOR ELEVATION A MINIMUM OF SIX INCHES ABOVE THE FINISHED GRADE. THE PREFERRED SLOPE OF THE GRADED AREAS AWAY FROM STRUCTURES WILL BE 1 PERCENT WITH A MINIMUM SLOPE OF 0.5 PERCENT.</p> <p>SITE DRAINAGE FACILITIES WILL BE DESIGNED FOR THE FLOW RESULTING FROM A 100-YEAR, 24-HOUR RAINFALL. TEMPORARY FACILITIES WILL GENERALLY BE DESIGNED FOR A 2-YEAR RAINFALL. FACILITIES LOCATED WITHIN A FLOOD PLAIN WILL BE ELEVATED AND DESIGNED TO PREVENT FLOODING OF PERMANENT FACILITIES.</p> <p>EXCAVATION AND FILL</p> <p>EXCAVATION AND FILL WILL BE BALANCED TO THE MAXIMUM EXTENT POSSIBLE.</p> <ul style="list-style-type: none"> - EXCAVATION : IN AREAS REQUIRING EXCAVATION, EARTH MATERIAL WILL BE REMOVED TO THE REQUIRED LINES AND GRADES. ANY UNDESIRABLE MATERIAL WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS. THE REMAINING IN-SITU MATERIAL WILL BE GRADED AND COMPACTED TO THE DEPTH AND DENSITY DETERMINED BY THE CONTRACTOR. EXCAVATED MATERIAL THAT MEETS THE DESIGN REQUIREMENTS WILL BE USED AS GENERAL SITE FILL WHERE POSSIBLE. - FILL : COMPACTED FILL MATERIAL WILL BE OBTAINED FROM ON SITE EXCAVATIONS TO THE MAXIMUM EXTENT POSSIBLE. THE MATERIAL WILL BE PLACED AND COMPACTED TO THE GRADES AND DENSITY DETERMINED BY THE DESIGN. BASED UPON THE SITE GEOTECHNICAL INVESTIGATION FINDINGS, COMPACTION WILL BE PROVIDED UNDER AND WITHIN FIVE FEET OF THE FOUNDATION FOOTPRINT. OPEN AREAS NOT SUPPORTING REFLECTOR FOUNDATIONS WILL BE SCARIFIED AND GRADED TO ACHIEVE HIGH SOIL PERMEABILITY. APPROXIMATELY SIX INCHES OF TOPSOIL WILL BE PLACED ON FILL IN ANY AREAS THAT ARE TO BE SEEDED OR OTHERWISE LANDSCAPED. <p>b. DRAINAGE SWALES</p> <p>DRAINAGE SWALES WILL BE DESIGNED TO PROVIDE SLOW FLOW VELOCITIES AND TO ACCOMMODATE EXISTING SURFACE RUNOFF AS WELL AS DIRECT AND CONTROL RUNOFF FROM ADJOINING PROPERTIES.</p> <p>c. STORM WATER DRAINAGE</p> <p>A STORM WATER DRAINAGE SYSTEM WILL BE DEVELOPED. DRAINAGE SWALES WILL BE USED ALONG THE PERIMETER TO CONTROL AND DIRECT STORM WATER RUNOFF FOR ABSORPTION INTO THE GROUND AS WELL AS DIRECT RUNOFF INTO THE EXISTING AREA DRAINAGE COURSE.</p> <p>d. PRE- AND POST-DEVELOPMENT RUNOFF CONDITIONS</p> <p>THE PEAK FLOW ASSOCIATED WITH THE 100-YEAR STORM EVENT AT THE SITE, BEFORE MODIFICATIONS (PREDEVELOPMENT), WILL BE COMPARED TO THE AFTER-CONSTRUCTION (POST-DEVELOPMENT) CONDITIONS.</p> <p>e. EROSION AND SEDIMENTATION CONTROL</p> <p>EROSION AND SEDIMENTATION CONTROL WILL BE PROVIDED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATION OF LOCALITY STANDARDS. THE PROPOSED SITE DEVELOPMENT WILL SLIGHTLY ALTER THE LAND AREAS OF THE SITE. EXISTING, SPARSE VEGETATION WILL BE REMOVED AS REQUIRED DURING SITE PREPARATION. THE GENERAL PREPARATION OF THE OVERALL SITE WILL BE FOLLOWED BY EARTHMOVING ACTIVITIES. FINAL FINISH GRADING WILL BEGIN WHEN ALL OTHER GRADING OPERATIONS ARE COMPLETE. FINAL GRADING MAY INCLUDE SEEDING DISTURBED AREAS, SURFACED WITH CONCRETE, ASPHALT, OR CRUSHED AGGREGATE OR PROVIDED WITH A SOIL TREATMENT DESIGN TO LIMIT THE GROWTH OF GRASS AND WEEDS.</p> <p>TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES USED DURING CONSTRUCTION WILL BE DESIGNED TO PREVENT SEDIMENTS FROM BEING DISPLACED AND CARRIED OFF-SITE BY STORM WATER RUNOFF. PRIOR TO BEGINNING EXCAVATION ACTIVITIES, A SILT FENCE OR STRAW BALES WILL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT WORK AREAS WHERE RUNOFF TO OFF-SITE AREAS COULD OCCUR. THE SILT FENCE WILL FILTER SEDIMENTS FROM CONSTRUCTION RUNOFF. DURING CONSTRUCTION, THE EXTENT OF EARTH DISTURBANCES WILL BE MINIMIZED AS MUCH AS PRACTICAL. DIVERSION DITCHES AND/OR BERMS WILL BE CONSTRUCTED AS NECESSARY TO DIRECT RUNOFF FROM OFF-SITE AREAS AROUND THE CONSTRUCTION SITE. TEMPORARY CONTROL MEASURES WILL BE MAINTAINED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD.</p> <p>PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE PROJECT SITE WILL INCLUDE THE RUNOFF COLLECTION SYSTEM AND INFILTRATION SYSTEM. SURFACED TRAFFIC AND WORK AREAS, AND SEEDED NON-WORKING AREAS. THESE MEASURES WILL MINIMIZE THE POSSIBILITY OF ANY APPRECIABLE EROSION OF THE RESULTING SEDIMENTATION OCCURRING ON THE PROJECT SITE.</p>	<p>1. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.</p> <p>2. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.</p> <p>3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR PLANS. INSTALLING SILT FENCES AT THE PROPERTY LINES.</p> <p>4. THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING CHECK DAMS IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW.</p> <p>5. THE CONTRACTOR SHALL WET THE SOIL, AS NEEDED TO KEEP IT FROM BLOWING WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL. SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.</p> <p>6. ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR ANY IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED, UNLESS INDICATED OTHERWISE ON THESE PLANS OR ON THE LANDSCAPING PLAN. SEEDING SHALL BE NATIVE GRASS SEEDING PER SECTION 1012 OF THE COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.</p> <p>7. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-927-9329.</p> <p>9. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.</p> <p>10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.</p> <p>11. WHERE STORM INLETS ARE SUSCEPTIBLE TO IN FLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.</p> <p>UTILITIES-GENERAL NOTE:</p> <p>1. IF ANY UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NOT SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY SURVEY PROVIDED BY CSTI, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS. LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF ANY DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.</p> <p>2. THE CONTRACTOR SHALL NOTIFY NEW MEXICO ONE CALL, INC. AT 280-1990 AT LEAST TWO WORKING DAYS PRIOR TO STARTING WORK ON THIS PROJECT.</p>	<p>1. SCOPE: THIS SECTION GOVERNS THE FURNISHING OF ALL LABOR, EQUIPMENT, TOOLS AND MATERIALS AND THE PERFORMANCE OF ALL CLEARING, GRUBBING, AND REMOVAL WORK. THE WORK SHALL BE DEFINED IN THIS SPECIFICATION, IN THE SPECIAL PROVISIONS OR AS SHOWN ON THE PLANS.</p> <p>2. CLEARING: CLEARING SHALL CONSIST OF REMOVING ALL VEGETABLE MATTER SUCH AS TREES, BRUSH, DOWN TIMBER AND OTHER OBJECTIONABLE MATERIALS FOUND ON OR ABOVE THE SURFACE OF THE SITE. IT SHALL INCLUDE REMOVING BUILDINGS, FENCES, LUMBER, WASTE DUMPS AND TRASH AND THE SALVAGING OF SUCH MATERIALS AS MAY BE SPECIFIED AND DISPOSING OF THE DEBRIS. THE CONTRACTOR SHALL SCALP ALL EXCAVATION AND EMBANKMENT AREAS. SCALPING SHALL INCLUDE THE REMOVAL OF MATERIAL, SUCH AS SOIL, GRASS, RESIDUE OR AGRICULTURAL CROPS AND DECAYED VEGETABLE MATTER FROM THE SURFACE OF THE GROUND WITHOUT REMOVING MORE EARTH THAN IS NECESSARY.</p> <p>3. GRUBBING: GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF ALL VEGETABLE MATTER EXCAVATED BELOW THE SURFACE OF THE GROUND OR SUBGRADE, WHICHEVER IS LOWER, WHICH HAVE NOT BEEN INCLUDED IN SECTION 2101.2A ENTITLED "CLEARINGS". IN ALL CASES OF GRUBBING, THE VEGETABLE MATTER SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES (30.48CM) BELOW GROUND LINE OR SUBGRADE, WHICHEVER IS LOWER, EXCEPT AS PROVIDED IN SECTION 311000. WHEN DELETERIOUS MATERIALS ARE ENCOUNTERED BELOW GROUND LINE WHICH MAY BE DETRIMENTAL TO THE PROPOSED IMPROVEMENT, THESE SHALL BE REMOVED TO A DEPTH NECESSARY TO PROVIDE ADEQUATE SUPPORT FOR THE PROPOSED IMPROVEMENT.</p> <p>4. DEMOLITION AND REMOVAL: THIS WORK SHALL CONSIST OF DEMOLISHING, REMOVING, AND DISPOSING OF ALL STRUCTURES AND IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS UNLESS INCLUDED IN OTHER ITEMS OF WORK AS SHOWN ON THE PLANS. IN THE SPECIAL PROVISIONS, THIS WORK SHALL APPLY TO ALL STRUCTURES AND IMPROVEMENTS, WHETHER ON, ABOVE OR BELOW THE SURFACE OF THE GROUND OR SUBGRADE. DEMOLITION AND REMOVAL SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS BUILDINGS, DRAINAGE STRUCTURES, FENCES, PAVERS, SIGNAGE, RETAINING WALLS, GUARD RAILS, AND SIGNS. ITEMS SUCH AS FENCES AND GUARD RAILS SHALL BE SALVAGED AND RELINQUISHED TO THE APPROPRIATE OWNER OR RELOCATED, WHERE INDICATED ON THE PLANS. RELOCATION OF SIGNS, FENCES, GUARD RAILS, ETC. SHALL BE CONSIDERED INCIDENTAL TO REMOVAL WORK EXCEPT WHERE SUCH RELOCATION IS LISTED SEPARATELY IN THE ITEMIZED PROPOSAL OF THE SPECIAL PROVISIONS. ALL PIPES WHICH ARE TO BE REMOVED SHALL BE RELOCATED UNLESS OTHERWISE SHOWN ON THE PLANS OR APPROVED BY THE ENGINEER.</p> <p>5. TREES: VEGETABLE GROWTH 6 INCHES (15.24CM) IN DIAMETER AND LARGER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS A TREE. E. BRUSH: VEGETABLE GROWTH LESS THAN 6 INCHES (15.24CM) IN DIAMETER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS BRUSH.</p> <p>6. CONSTRUCTION DETAILS</p> <p>6.1. LIMITS OF WORK: THE LIMITS FOR CLEARING, GRUBBING, AND DEMOLITION SHALL EXTEND TO THE CONSTRUCTION LIMITS UNLESS OTHERWISE SHOWN ON THE PLANS.</p> <p>6.2. PROTECTION OF GREENERY, EXISTING STRUCTURES AND PRIVATE FACILITIES: THE PLANS WILL DESIGNATE TREES, SHRUBS OR OTHER PLANTS THAT ARE TO BE SAVED AND THE CONTRACTOR WILL TAKE NECESSARY STEPS TO PROTECT THIS GREENERY. TREES MAY BE PRUNED, UPON PRIOR APPROVAL OF THE ENGINEER, BUT ONLY IN ACCORDANCE WITH THE BEST PRACTICES OF ARBORICULTURE IN RESPECT TO THE INDIVIDUAL SPECIES WITH DUE REGARD TO THEIR NATURAL FORM AND GROWTH CHARACTERISTICS. EXISTING STRUCTURES WITHIN OR ADJACENT TO THE CONSTRUCTION LIMITS THAT ARE NOT TO BE REMOVED OR DEMOLISHED, SHALL BE PROTECTED BY THE CONTRACTOR DURING HIS CONSTRUCTION. ANY PRIVATE FACILITIES SUCH AS HOUSE SEWER LATERALS WHICH ARE DISTURBED OR DAMAGED BY THE CONTRACTOR'S WORK, SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CLOSE OF THE WORK DAY. THIS REPAIR SHALL BE MADE IN A MANNER SUFFICIENT TO RESTORE UTILITY SERVICE TO THAT PROPERTY.</p> <p>6.3. EMBANKMENT AREAS: WHEN UNDISTURBED STUMPS AND ROOTS ARE ENCOUNTERED WHERE THE FILL DEPTH WILL EXCEED 3 FEET (91.44CM), THE STUMPS AND ROOTS MAY BE LEFT IN PLACE PROVIDED THEY DO NOT EXCEED MORE THAN 3 INCHES (7.62CM) ABOVE THE ORIGINAL GROUND LINE.</p> <p>6.4. BORROW AREAS: ALL STUMPS, ROOTS AND OTHER OBJECTIONABLE MATTER SHALL BE REMOVED FROM THE BORROW MATERIAL. USED FOR EMBANKMENT OR FILL. THE BORROW AREA SHALL BE LEFT IN A WELL DRAINED AND SMOOTH CONDITION.</p> <p>6.5. BACKFILLING THE SITE: ALL TRENCHES, HOLES, PITS, AND BASEMENT AREAS RESULTING FROM THE OPERATIONS OF CLEARING, GRUBBING, DEMOLITION AND REMOVAL ON THE SITE, SHALL BE BACKFILLED WITH SUITABLE MATERIAL PLACED AND COMPACTED IN CONFORMANCE WITH SECTION 311000.</p> <p>6.6. DISPOSAL OF MATERIALS: ALL MATERIALS WITH THE EXCEPTION OF THOSE WHICH ARE DESIGNATED FOR SALVAGE OR WHICH ARE USED IN THE EMBANKMENT IN CONFORMANCE WITH THIS SPECIFICATION, SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE DISPOSED OF BY HIM, OUTSIDE THE PROJECT LIMITS.</p>	<p>1. THIS SECTION GOVERNS THE PERFORMANCE OF ALL WORK REQUIRED TO EXCAVATE, REMOVE, DISPOSE OR COMPACT ALL MATERIALS ENCOUNTERED WITHIN THE LIMITS OF THE PROJECT. AT THE LOCATIONS SHOWN ON THE PLANS, IN ACCORDANCE WITH THE SPECIAL PROVISIONS AND COVENANTS, AND AS PROVIDED FOR IN THE SPECIAL PROVISIONS.</p> <p>2. DEFINITIONS:</p> <p>2.1. GRADING: GRADING AS USED HEREIN SHALL MEAN THE PERFORMANCE OF ALL EXCAVATION, EMBANKMENT, AND BACKFILL IN CONNECTION WITH THE CONSTRUCTION OF ALL IMPROVEMENTS</p> <p>2.2. EXCAVATION: EXCAVATION IS DEFINED AS THE REMOVAL OF MATERIALS FROM THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.</p> <p>2.3. UNCLASSIFIED EXCAVATION: UNCLASSIFIED EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL, ENCOUNTERED REGARDLESS OF ITS NATURE. ALL MATERIAL EXCAVATED WILL BE CONSIDERED AS UNCLASSIFIED EXCAVATION UNLESS THE SPECIAL PROVISIONS SPECIFY CLASSIFIED MATERIALS.</p> <p>2.4. ROCK EXCAVATION: ROCK EXCAVATION IS DEFINED AS THE REMOVAL OF ALL ROCK LEDGES 6 INCHES (15.24CM) OR MORE IN THICKNESS, AND DETACHED ROCK OR BouldERS HAVING A VOLUME OF MORE THAN 1/2 CUBIC YARD (0.473 M³) OR MORE IN THICKNESS SHALL NOT BE INCLUDED IN THE MEASUREMENT FOR "ROCK EXCAVATION" BUT SHALL BE INCLUDED IN THE MEASUREMENT FOR "EARTH EXCAVATION".</p> <p>2.5. EARTH EXCAVATION: EARTH EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL NOT DEFINED AS ROCK.</p> <p>2.6. EMBANKMENT OR BACKFILL: EMBANKMENT OR BACKFILL IS DEFINED AS THE PLACING AND COMPACTING OF MATERIAL IN THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.</p> <p>2.7. UNSUITABLE MATERIAL: UNSUITABLE MATERIAL IS DEFINED AS MUCK, FROZEN MATERIAL, ORGANIC MATERIAL, TOP SOIL, RUBBISH, AND ROCK WITH A MAXIMUM DIMENSION GREATER THAN 24 INCHES (60.96CM).</p> <p>2.8. SUITABLE MATERIAL: SUITABLE MATERIAL IS DEFINED AS ENTIRELY IMPERISHABLE WITH THAT PORTION PASSING THE NO. 40 (425MM) SIEVE HAVING A LIQUID LIMIT NOT EXCEEDING 40 AND A PLASTIC INDEX NOT EXCEEDING 25; WHEN TESTED IN ACCORDANCE WITH ASTM D-423 AND D-424, RESPECTIVELY.</p> <p>2.9. ROCK EMBANKMENT: MATERIAL FOR ROCK EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL CONTAIN, BY VOLUME, GREATER THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM) BUT NOT GREATER THAN 24 INCHES (60.96CM).</p> <p>2.10. EARTH EMBANKMENT: MATERIAL FOR EARTH EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL, CONTAIN BY VOLUME, LESS THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM).</p> <p>2.11. BORROW: BORROW IS DEFINED AS APPROVED MATERIAL EXCAVATED FROM AN AREA OUTSIDE OF THE PROJECT LIMITS AND REQUIRED FOR THE CONSTRUCTION OF THE EMBANKMENT.</p> <p>2.12. WASTE: WASTE IS DEFINED AS EXCAVATION MATERIAL NOT USED IN THE EMBANKMENT AND DISPOSED OF OUTSIDE OF THE EMBANKMENT AREAS.</p> <p>2.13. STRUCTURES: STRUCTURES AS USED HEREIN REFERS TO BRIDGES, CULVERTS, STORM SEWERS, AND OTHER APPURTENANCES, RETAINING WALLS AND SIMILAR CONSTRUCTION.</p>	<p>5. UNDERGRADING</p> <p>5.1. WHERE MATERIALS ARE ENCOUNTERED WHICH ARE DEEMED AS UNSUITABLE BY THE ENGINEER FOR USE IN THE WORK, THEY SHALL BE REMOVED TO THE DEPTH AND LIMIT AS ORDERED BY THE ENGINEER. AREAS UNDERGRADING SHALL BE BACKFILLED WITH ONE OF THE FOLLOWING MATERIALS:</p> <p>5.2. ROCK FRAGMENTS OR SPALLS.</p> <p>5.3. A GRANULAR TYPE MATERIAL HAVING A PLASTICITY INDEX NOT TO EXCEED 10 AND A GRADATION SUCH THAT AT LEAST 50 PERCENT OF THE MATERIAL WILL BE RETAINED ON THE NO. 4 (4.75MM) SIEVE AND NOT MORE THAN 40 PERCENT WILL PASS THE NO. 10 (2.0MM) SIEVE. B. A MATERIAL MEETING THE REQUIREMENTS OF SECTION 2102.2C</p> <p>6. EMBANKMENT</p> <p>6.1. THIS SECTION GOVERNS EMBANKMENT FOR ALL IMPROVEMENTS. THE EMBANKMENTS SHALL BE CONSTRUCTED USING SUITABLE MATERIALS, AS HEREIN DEFINED, PROCURED FROM EXCAVATIONS MADE ON THE PROJECT SITE OR FROM BORROW AREAS AS REQUIRED TO COMPLETE THE GRADING WORK.</p> <p>6.2. STARTING THE EMBANKMENT: WHERE EMBANKMENTS, REGARDLESS OF HEIGHT, ARE PLACED AGAINST HILLSIDES OR EXISTING EMBANKMENTS, EITHER OF WHICH HAVE A SLOPE STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL, THE EXISTING SLOPE SHALL BE BENCHMARKED OR STEPPED IN APPROXIMATELY 24 INCH (60.96CM) RISSES AS THE NEW FILL IS BROUGHT UP IN 12 INCH MAXIMUM (30.48CM) LAYERS OR LIFTS. THE MATERIAL BLENDED OUT, THE BOTTOM OF THE AREA CUT INTO, AND THE EMBANKMENT MATERIAL BEING PLACED, SHALL BE COMPACTED TO THE REQUIRED DENSITY. MATERIAL CUT INTO AND PLACED AND COMPACTED SHALL NOT BE MEASURED AND PAID FOR DIRECTLY BUT WILL BE CONSIDERED AS INCIDENTAL WORK. THE EXISTING SURFACE UPON WHICH EMBANKMENT MATERIAL IS TO BE PLACED SHALL BE AT LEAST STABLE AND UNSUITABLE MATERIAL REMOVED BEFORE STARTING THE EMBANKMENT WORK. WHERE EMBANKMENTS 2 FEET (60.96CM) OR LESS IN DEPTH ARE TO BE PLACED ON AREAS COVERED BY EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE REPAIRED AND THE CLEARED GROUND SURFACE SHALL BE COMPACTED TO THE SPECIFIED DENSITY, WHERE EMBANKMENTS GREATER THAN 2 FEET (60.96CM) IN DEPTH ARE TO BE PLACED ON AREAS COVERED BY EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE BROKEN INTO PIECES NO LARGER THAN 24 INCHES (60.96CM) MAXIMUM DIMENSION, LEFT IN PLACE AND THE EMBANKMENT STARRED THEREON.</p> <p>6.3. PLACING EARTH EMBANKMENT: EARTH SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS DISTRIBUTED UNIFORMLY OVER THE FULL WIDTH OF THE EMBANKMENT AREA. EACH LAYER OF MATERIAL SHALL NOT EXCEED 12 INCHES MAXIMUM (30.48CM) IN THICKNESS (LOOSE STATE) AND SHALL BE COMPACTED TO NOT LESS THAN THE REQUIRED DENSITY BEFORE THE NEXT NEXT LAYER IS PLACED THEREON. AS THE COMPACTION OF EACH LAYER PROGRESSES, CONTINUOUS BOUNDING, OR DOZING WILL BE REQUIRED TO LEVEL THE SURFACE AND TO INSURE UNIFORM COMPACTION. EMBANKMENT CONSTRUCTION SHALL NOT BE PERFORMED WHEN MATERIAL CONTAINS FROST, IS FROZEN OR IS SNOW COVERED.</p> <p>6.4. PLACING EARTH AND ROCK EMBANKMENT: WHEN EARTH AND STONE OR ROCK FRAGMENTS ARE MIXED IN THE EMBANKMENT, ALL STONES OR ROCK FRAGMENTS EXCEEDING THE THICKNESS OF THE COMPACTED LIFT SHALL BE DISPOSED OF BY BEING INCORPORATED INTO THE EMBANKMENT MATERIAL. THE THICKNESS OF THE LAYER IN THESE AREAS MAY BE INCREASED IF NECESSARY TO ACCOMMODATE THE ROCKS, BUT SHALL NOT EXCEED 15 INCHES (38.10CM) IN THICKNESS (LOOSE STATE). THE STONES OR ROCK FRAGMENTS ARE TO BE PLACED SO THERE WILL BE NO NESTING.</p> <p>6.5. CONSOLIDATED ROCK EMBANKMENT: WHEN THE EXCAVATED MATERIAL CONSISTS PREDOMINANTLY OF STONE OR ROCK FRAGMENTS OF SUCH SIZE THAT THE MATERIAL CANNOT BE PLACED IN LAYERS OF THE THICKNESS PRESCRIBED, SUCH MATERIAL SHALL BE PLACED IN THE EMBANKMENT IN LAYERS HAVING A THICKNESS OF THE APPROXIMATE AVERAGE SIZE OF THE FRAGMENTS. SUCH MATERIAL SHALL BE PLACED IN THE EMBANKMENT IN BouldERS TOO LARGE TO PERMIT PLACING IN A 24 INCH (60.96CM) LAYER SHALL BE REDUCED IN SIZE AS NECESSARY TO PERMIT PLACEMENT. ROCK SHALLS, NOT BE DUMPED IN PLACES BUT SHALL BE DISTRIBUTED BY BLOWING OR DOZING IN A MANNER TO PERMIT PROPER PLACEMENT. THE POSITION IN THE EMBANKMENT, THE SPALLS AND SMALLER STONE FRAGMENTS SHALL BE LEFT ON THE SURFACE OF EACH LAYER AS FORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSOLIDATION OF EACH LAYER IS PLACED. THE TOP 12 INCHES (30.48CM) OF THE EMBANKMENT SHALL NOT CONTAIN MATERIAL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM). THE ROCK FRAGMENTS OR CRUSHED STONE SHALL BE WELL GRADED TO FORM A DENSE MASS WHEN COMPACTED.</p> <p>6.6. COMPACTING THE EMBANKMENT: BEFORE PLACING ANY EMBANKMENT, THE SURFACE OF THE EXISTING GROUND SHALL BE PREPARED AS HERETOFORE SPECIFIED. MOISTENING IS REQUIRED, AND THE TOP 6 INCHES (15.24CM) COMPACTED TO A DENSITY OF 90 PERCENT AS PRESCRIBED BY THE FOLLOWING PARAGRAPH: ALL EMBANKMENT SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90 PERCENT OF THE MAXIMUM DENSITY OF THE MATERIAL USED AS DETERMINED BY ASTM D-698 AND WITHIN A TOLERANCE OF MINUS 3 PERCENT AND PLUS 2 PERCENT OF THE OPTIMUM MOISTURE AT MAXIMUM DENSITY AS DETERMINED BY THE MOISTURE DENSITY CURVE OBTAINED IN THE ABOVE REQUIRED COMPACTION. THE SUBGRADE BETWEEN LINES 1 FOOT (30.48CM) OUTSIDE OF THE CURBS AND WITHIN THE TOP 6 INCHES (15.24CM) OF THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY FOR MATERIAL USED AS DETERMINED BY ASTM D-698 AND WITH A TOLERANCE OF MINUS 3 PERCENT AND PLUS 2 PERCENT OF THE OPTIMUM MOISTURE AT MAXIMUM DENSITY AS DETERMINED BY THE MOISTURE DENSITY CURVE OBTAINED. ALL WORK INVOLVED IN EITHER ADDING MOISTURE TO OR REMOVING MOISTURE FROM EMBANKMENT MATERIALS TO WITHIN THESE MOISTURE LIMITS SHALL BE CONSIDERED INCIDENTAL TO THE COMPLETION OF THE GRADING OPERATION.</p> <p>6.7. MOISTURE - DENSITY DETERMINATION: IN-PLACE DENSITY AND MOISTURE CONTENT OF THE EMBANKMENT WILL BE DETERMINED BY THE STANDARD METHOD OF TEST FOR DENSITY OF SOIL IN PLACE BY THE SAND-CONE METHOD, ASTM D1556; OR BY THE RUBBER BALLON METHOD, ASTM D-2167; OR BY NUCLEAR METHODS, ASTM D-2922.</p> <p>7. FINISHING</p> <p>7.1. IN AREAS WHERE SODDING OR SEEDING IS PROPOSED, THE UPPER 12 INCHES (30.48CM) OF THE SURFACE AREA SHALL BE EARTH MATERIAL. THE TOP 6 INCHES (15.24CM) SHALL BE SUITABLE FOR SUSTAINING GRASS.</p> <p>7.2. EXCEPT WHERE OTHER PERMIT OR UTILITY WORK IS IN PROGRESS, THE GRADED SURFACE SHALL BE MADE FREE OF ROCK, CONCRETE, AND BRICK, OR FRAGMENTS THEREOF, OR RUBBISH AND SHALL BE FINISHED TO THE LINES, GRADES, AND CROSS SECTION INDICATED ON THE PLANS, INCLUDING SHOULDER, BERM AND SIDEWALK SPACES.</p> <p>7.3. THE CONTRACTOR SHALL REPAIR ANY DAMAGED SURFACE, AND SHALL NOT USE ANY FINISHING EQUIPMENT THAT WILL LEAVE A MARRED SURFACE. WHEN THE SUBGRADE PREPARATION IS INCLUDED AS A PART OF THE FINISHING, THE WORK SHALL BE ACCOMPLISHED ACCORDING TO THE REQUIREMENTS OF SECTION 312000 AND SHALL BE CONSIDERED INCIDENTAL TO FINISHING THE GRADING WORK.</p> <p>8. CLEANUP</p> <p>8.1. CLEANUP SHALL FOLLOW THE WORK PROGRESSIVELY AND FINAL CLEANUP SHALL FOLLOW IMMEDIATELY BEHIND THE FINISHING. THE CONTRACTOR SHALL REMOVE FROM THE SITE OF THE WORK ALL EQUIPMENT, TOOLS AND DISCARDED MATERIALS, AND OTHER CONSTRUCTION ITEMS. THE ENTIRE RIGHT-OF-WAY OR EASEMENT SHALL BE LEFT IN A FINISHED AND NEAT CONDITION. CLEANUP SHALL BE CONSIDERED AS INCIDENTAL TO THE COMPLETION OF GRADING WORK.</p>

Civil Engineering • Water Resources • Traffic Engineering	
W•E Walker Engineering 290 DINOSAUR TRAIL, SANTA FE, NM 87508 TEL: 505-473-7973 • TEL: 505-820-7990 E-MAIL: jeffrey@walkerengineering.com	
PROJECT: 635 ALTO ST.	DESIGNED BY: IC
FILE: 189_GRADING	DRAWN BY: IC
DATE: 03/12/2025	CHECKED BY: REB
SCALE: AS NOTED	
CITY REVIEW SIGN-OFF	DATE
DEPARTMENT: WATER	
WATER	
TRAFFIC	
TRAFFIC	
FIRE DEPARTMENT	
SOLID WASTE	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	
SHEET TITLE: CIVIL NOTES	
SHEET NO. C1	

LEGEND

	EXISTING CONTOURS
	DESIGN CONTOURS
	SITE BOUNDARY
	PROPOSED SPOT ELEVATION
	TOP OF CONCRETE
	FINISHED PAD
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	ELECTRIC LINE
	GAS LINE
	WATER LINE

UTILITY NOTE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

TOPOGRAPHY NOTE

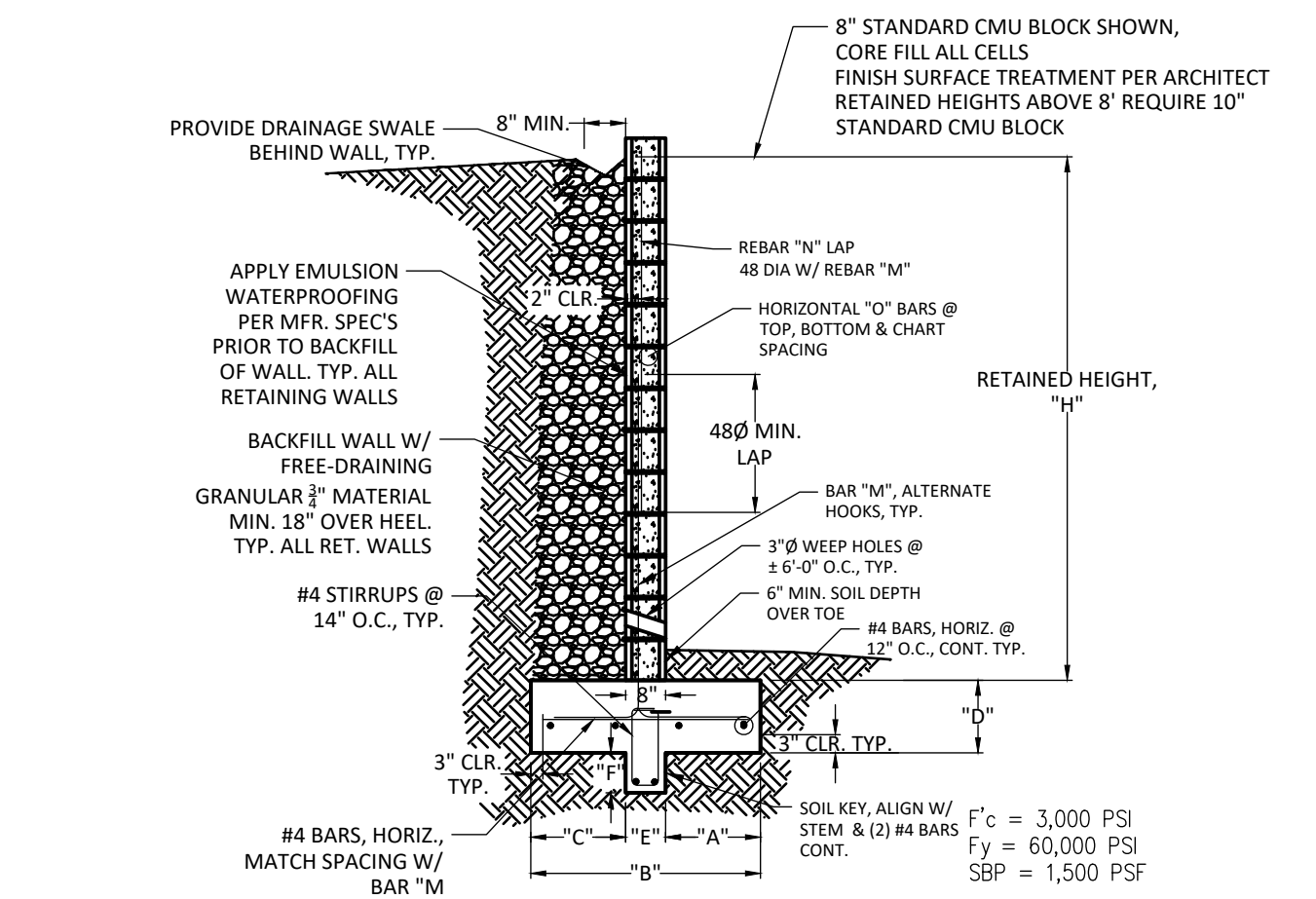
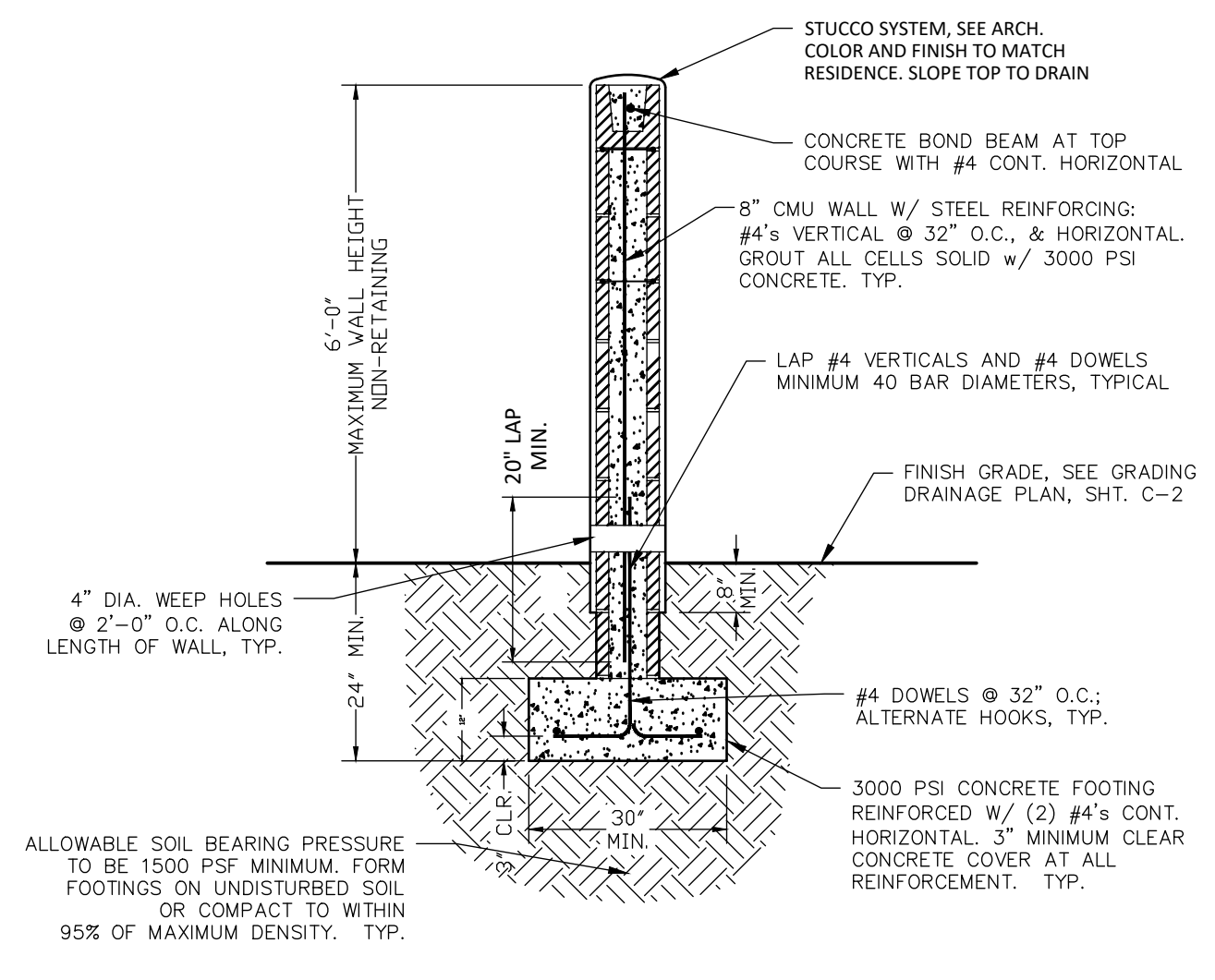
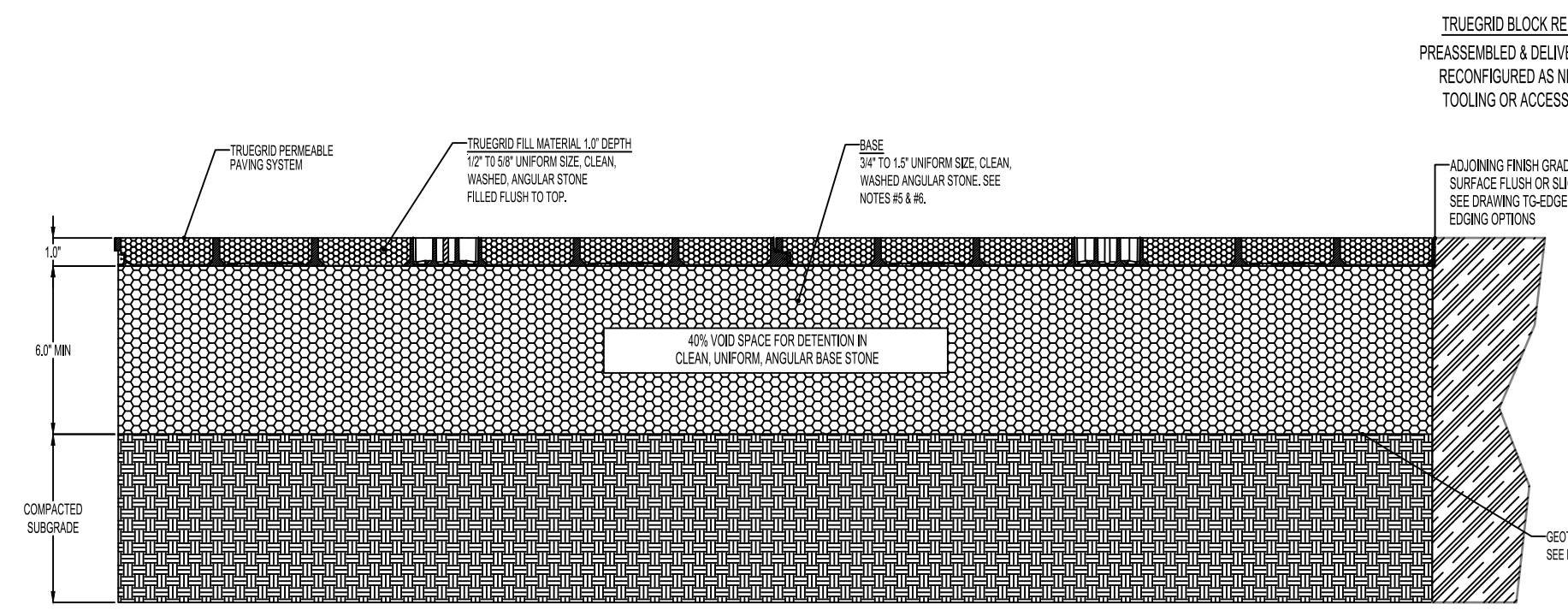
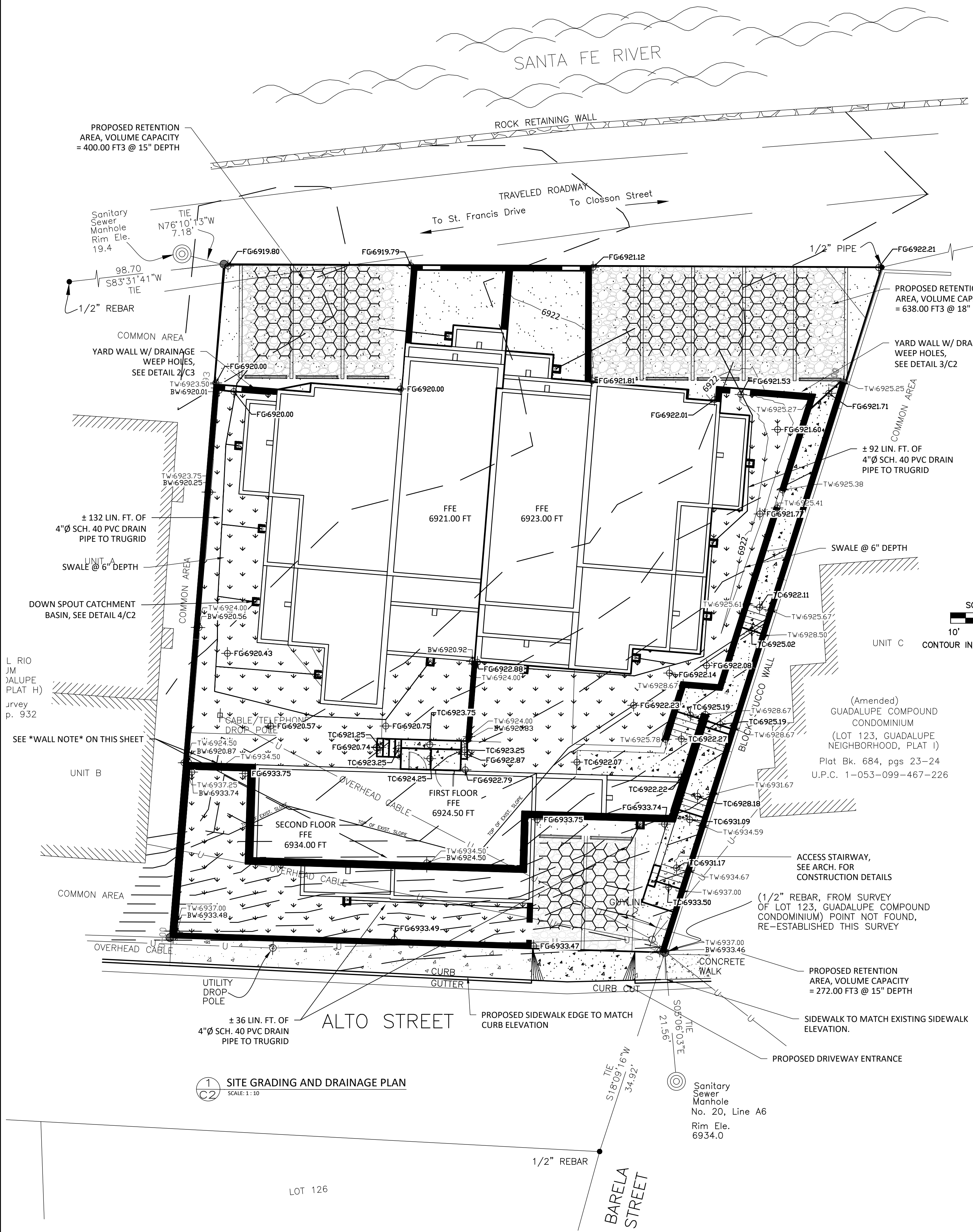
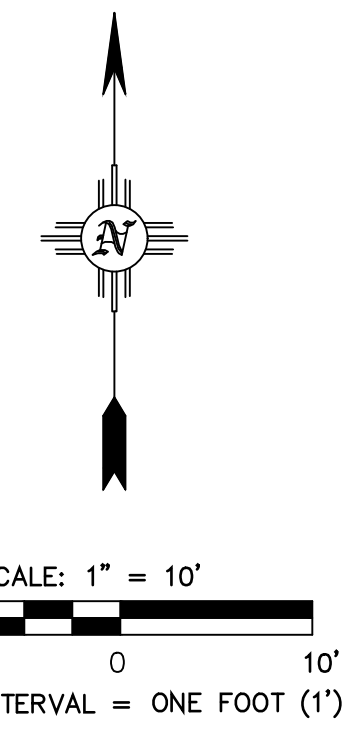
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR OF THIS TOPOGRAPHY. WALKER ENGINEERING RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

WALL NOTE

RETAINING WALL IS NOT TO BE BACKFILLED BEFORE UPPER FLOOR JOISTS ARE IN PLACE.

EARTHWORK

CUT: 165.62 CU YD.
 FILL: 415.87 CU YD.
 NET: 250.25 CU YD OF FILL



H	A	C	B	D	E	F	BLOCK SIZ*	BAR "M"	BAR "N"	BAR "O"
4'	1'-0"	1'-4"	3'-0"	1'-2"	N/A	N/A	8"	#4 @ 24" O.C.	N/A	#4 @ 24" O.C.
5'	1'-2"	1'-4"	3'-2"	1'-2"	8"	8"	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 24" O.C.
6'	1'-4"	1'-6"	3'-4"	1'-4"	12"	12"	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 24" O.C.
7'	1'-6"	1'-8"	3'-6"	1'-6"	14"	14"	10"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 16" O.C.
8'	1'-8"	2'-0"	3'-8"	1'-8"	16"	16"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 16" O.C.
9'	2'-0"	2'-2"	4'-0"	2'-0"	18"	18"	14"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 16" O.C.
10'	2'-2"	2'-4"	4'-2"	2'-2"	20"	20"	16"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 16" O.C.
11'	2'-4"	2'-6"	4'-4"	2'-4"	22"	22"	18"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 16" O.C.
12'	2'-6"	2'-8"	4'-6"	2'-6"	24"	24"	20"	#4 @ 16" O.C.	#4 @ 16" O.C.	#4 @ 16" O.C.

NOTE: AT 16" x 16" CMU GATE PILLARS, PROVIDE 3'-0" x 3'-0" x 10" THICK 3000 PSI CONCRETE FOOTING WITH (4) #4'S CONT. HORIZONTAL EACH WAY AND #4 DOWELS IN EACH CORNER OF PILLAR

RETAINING WALL DESIGN VALUES:
 SOIL ALLOWABLE BEARING PRESSURE = 2000 PSF
 SOIL DENSITY = 110 PCF
 ACTIVE SOIL PRESSURE = 35 PSF/FT
 PASSIVE PRESSURE = 250 PSF/FT
 ASSUMES STEM IS CENTERED ON FOOTING

Civil Engineering • Water Resources • Traffic Engineering

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DATE	BY	APP.	REVISION

PROJECT:	23-189	DESIGNED BY:	IC
FILE:	189_GRADING	DRAWN BY:	REB
DATE:	03/12/2025	CHECKED BY:	AS NOTED
SCALE:			

PROJECT: 635 ALTO ST.

SHEET TITLE: GRADING AND DRAINAGE PLAN

DATE	BY	APP.	REVISION

DEPARTMENT:	TRAFFIC ENGINEERING
DESIGNED BY:	IC
DRAWN BY:	REB
CHECKED BY:	AS NOTED

C2

635 Alto Street

Time of Concentration

Minimum elevat bn, per TIN:	6920.0	ft
Maximum elevat bn, per TIN:	6922.0	ft
Maximum Run =	107	ft
Maximum Rise =	2.0	ft

Time of Concentration = T_c
 where: $T_c = T_{10} + T_{50} + T_{100}$

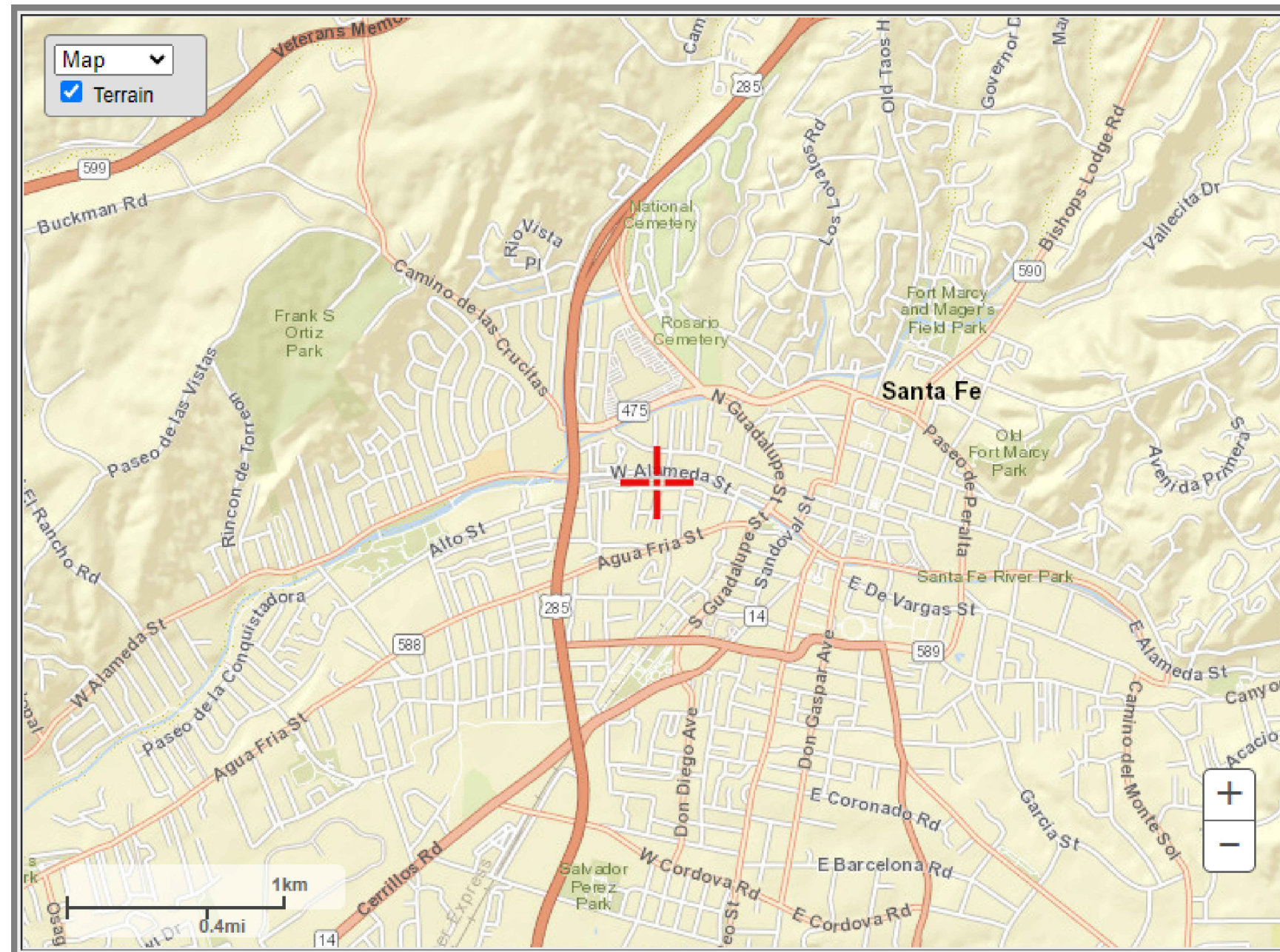
T_{10} = Time of Concentration
 T_{50} = time of individual flow segment
 m = # of Flow Segments

For the 635 Alto Street, one Travel time, T_t is to be calculated.
 One for the natural landscape f bw from edge to edge of site represent by the parameters above originat hg from the provided topography TIN surface.
 For Sheet Flow of less than 500', the equat on for sheet f bw is:

$T_t = 0.007 * (nL)^{0.5} / (P_2)^{0.5} * (S)^{0.5}$ where: $T_t = 0.42(nL)^{0.5} / P^{0.5} S^{0.5}$ [minutes]

T_t = Travel time in hrs
 n = Manning roughness coef Fient
 P_2 = 100 years, 24 hours rainfall in inches
 S = Hydraulic Gradient in f ft

Flow Condit bn	n	
Natural Landscaping	0.013	
100 yr, 24 hr rainfall for 635 Alto Street	1.16	in 2yr, 6 hr rainfall depth
Hydraulic Gradient		
Rise =	2.0	ft
Run =	107	ft
S =	0.0187	
Travel time, T_{10} landscape =	0.04	hours
	2.49	minutes
Time of Concentration		
$T_c = T_{10} + T_{50} + T_{100} =$	0.04	hours
	2.49	minutes
	149.7	seconds



- a) Select location
Move crosshair or double click
- b) Click on station icon
 Show stations on map

Location information:
 Name: Santa Fe, New Mexico, USA*
 Latitude: 35.6884*
 Longitude: -105.9497*
 Elevation: **

* Source: ESRI Maps
 ** Source: USGS

POINT PRECIPITATION FREQUENCY (PF) ESTIMATES

WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION
 NOAA Atlas 14, Volume 1, Version 5

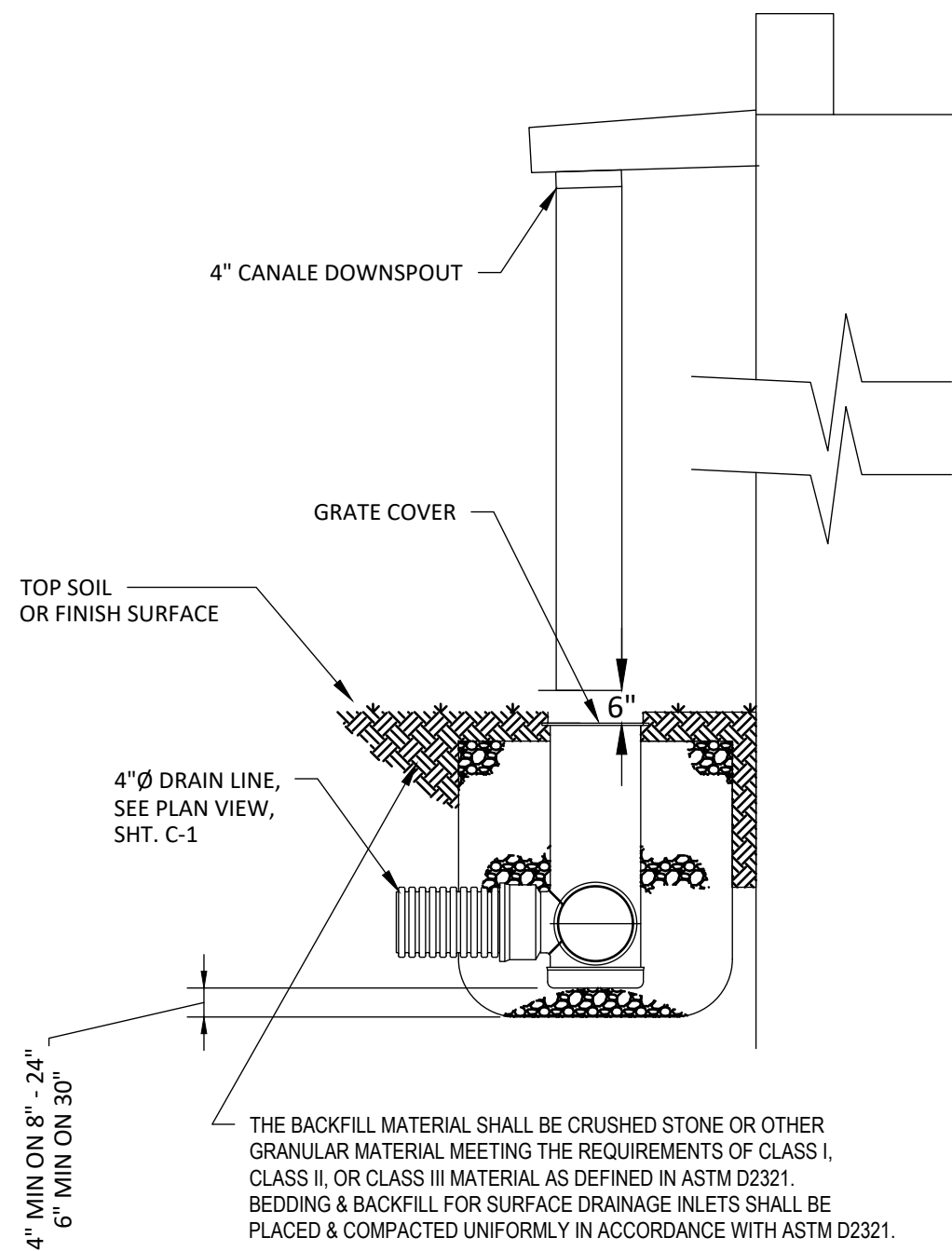
- PF tabular
- PF graphical
- Supplementary information
- Print page

PDS-based precipitation frequency estimates with 90% confidence intervals (in inches)¹

Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.197 (0.169-0.229)	0.255 (0.218-0.297)	0.340 (0.291-0.396)	0.404 (0.348-0.471)	0.493 (0.420-0.571)	0.561 (0.475-0.650)	0.635 (0.535-0.734)	0.708 (0.594-0.819)	0.810 (0.672-0.936)	0.890 (0.733-1.03)
10-min	0.299 (0.258-0.348)	0.388 (0.333-0.453)	0.517 (0.442-0.603)	0.615 (0.527-0.716)	0.750 (0.639-0.870)	0.854 (0.724-0.989)	0.966 (0.815-1.12)	1.08 (0.904-1.25)	1.23 (1.02-1.42)	1.35 (1.12-1.57)
15-min	0.371 (0.328-0.432)	0.481 (0.412-0.561)	0.641 (0.549-0.747)	0.783 (0.653-0.888)	0.930 (0.792-1.08)	1.06 (0.897-1.23)	1.20 (1.01-1.38)	1.34 (1.12-1.54)	1.53 (1.27-1.77)	1.68 (1.38-1.95)
30-min	0.499 (0.431-0.582)	0.647 (0.555-0.755)	0.863 (0.739-1.01)	1.03 (0.880-1.20)	1.25 (1.07-1.45)	1.42 (1.21-1.65)	1.61 (1.36-1.86)	1.80 (1.51-2.08)	2.06 (1.71-2.38)	2.26 (1.86-2.62)
60-min	0.618 (0.533-0.720)	0.801 (0.687-0.935)	1.07 (0.915-1.24)	1.27 (1.09-1.48)	1.55 (1.32-1.80)	1.76 (1.50-2.04)	2.00 (1.68-2.31)	2.23 (1.87-2.57)	2.55 (2.11-2.94)	2.80 (2.31-3.24)
2-hr	0.743 (0.629-0.900)	0.947 (0.802-1.15)	1.25 (1.06-1.52)	1.49 (1.25-1.80)	1.81 (1.52-2.19)	2.07 (1.72-2.50)	2.35 (1.94-2.83)	2.64 (2.16-3.17)	3.04 (2.46-3.66)	3.36 (2.69-4.04)
3-hr	0.796 (0.684-0.962)	1.01 (0.863-1.22)	1.31 (1.12-1.57)	1.55 (1.32-1.87)	1.89 (1.60-2.27)	2.15 (1.81-2.58)	2.44 (2.03-2.92)	2.73 (2.26-3.23)	3.14 (2.56-3.76)	3.47 (2.81-4.16)
6-hr	0.921 (0.802-1.08)	1.16 (1.01-1.36)	1.48 (1.28-1.74)	1.72 (1.48-2.02)	2.07 (1.77-2.43)	2.34 (1.99-2.75)	2.62 (2.22-3.08)	2.92 (2.45-3.42)	3.32 (2.75-3.89)	3.64 (2.99-4.28)
12-hr	1.05 (0.921-1.22)	1.32 (1.16-1.53)	1.66 (1.45-1.92)	1.92 (1.68-2.22)	2.29 (1.99-2.65)	2.57 (2.22-2.97)	2.86 (2.45-3.31)	3.15 (2.69-3.65)	3.55 (3.00-4.11)	3.87 (3.24-4.47)
24-hr	1.19 (1.10-1.30)	1.48 (1.37-1.62)	1.84 (1.70-2.01)	2.13 (1.97-2.32)	2.52 (2.32-2.74)	2.82 (2.59-3.07)	3.13 (2.86-3.40)	3.44 (3.13-3.74)	3.86 (3.48-4.19)	4.18 (3.76-4.55)
2-day	1.33 (1.23-1.44)	1.66 (1.53-1.80)	2.06 (1.90-2.22)	2.37 (2.19-2.56)	2.79 (2.57-3.02)	3.12 (2.86-3.37)	3.45 (3.16-3.72)	3.78 (3.45-4.09)	4.22 (3.83-4.57)	4.56 (4.11-4.94)
3-day	1.43 (1.32-1.55)	1.78 (1.65-1.93)	2.20 (2.04-2.38)	2.54 (2.34-2.74)	2.98 (2.75-3.22)	3.33 (3.06-3.59)	3.67 (3.37-3.97)	4.02 (3.66-4.34)	4.49 (4.08-4.85)	4.84 (4.38-5.24)
4-day	1.54 (1.42-1.66)	1.91 (1.77-2.07)	2.35 (2.18-2.54)	2.70 (2.50-2.92)	3.18 (2.93-3.42)	3.54 (3.26-3.81)	3.90 (3.58-4.21)	4.27 (3.91-4.60)	4.76 (4.33-5.13)	5.13 (4.65-5.54)
7-day	1.80 (1.67-1.93)	2.23 (2.08-2.40)	2.73 (2.54-2.94)	3.11 (2.90-3.34)	3.62 (3.37-3.89)	4.00 (3.72-4.29)	4.39 (4.07-4.70)	4.77 (4.41-5.12)	5.26 (4.84-5.65)	5.62 (5.16-6.05)
10-day	2.03 (1.89-2.19)	2.52 (2.35-2.72)	3.09 (2.88-3.33)	3.53 (3.29-3.80)	4.13 (3.84-4.44)	4.58 (4.24-4.92)	5.02 (4.65-5.41)	5.47 (5.05-5.90)	6.05 (5.55-6.53)	6.49 (5.93-7.01)
20-day	2.67 (2.49-2.88)	3.31 (3.09-3.58)	4.02 (3.75-4.34)	4.56 (4.26-4.92)	5.25 (4.90-5.66)	5.76 (5.37-6.21)	6.25 (5.81-6.74)	6.73 (6.24-7.26)	7.32 (6.77-7.91)	7.75 (7.15-8.38)
30-day	3.24 (3.03-3.47)	4.02 (3.76-4.31)	4.84 (4.53-5.18)	5.46 (5.10-5.83)	6.23 (5.81-6.64)	6.78 (6.32-7.23)	7.30 (6.81-7.80)	7.80 (7.26-8.33)	8.41 (7.80-8.99)	8.83 (8.18-9.46)
45-day	4.01 (3.78-4.27)	4.97 (4.67-5.30)	5.92 (5.57-6.30)	6.62 (6.23-7.03)	7.46 (7.02-7.91)	8.04 (7.56-8.52)	8.58 (8.07-9.08)	9.06 (8.52-9.59)	9.62 (9.04-10.2)	9.98 (9.39-10.6)
60-day	4.63 (4.36-4.92)	5.73 (5.39-6.10)	6.83 (6.44-7.26)	7.62 (7.19-8.09)	8.59 (8.10-9.11)	9.25 (8.72-9.81)	9.86 (9.30-10.5)	10.4 (9.82-11.0)	11.0 (10.4-11.7)	11.5 (10.8-12.2)

DRAINAGE CALCULATIONS

NON TRAFFIC INSTALLATION



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

DRAIN BASIN DETAIL

(NYLOPLAST BASIN DETAIL SHOWN, EQUIV. ACCEPTABLE)

635 Alto Street

SITE DRAINAGE FOR RETENTION PURPOSES

DRAINAGE PLAN
 THE FOLLOWING ITEMS CONCERN THE CALCULATION OF THE ESTIMATED AMOUNT OF WATER RUNOFF THAT CAN BE EXPECTED FROM THE CONSTRUCTION OF A NEW RESIDENTIAL CONSTRUCTION AT 635 Alto Street, Santa Fe, NM.
 THE FOLLOWING INFORMATION CONTAINED HEREIN IS AS FOLLOWS:

- PROJECT DESCRIPTION
- PRE DEVELOPMENT RUNOFF CALCULATIONS
- POST DEVELOPMENT RUNOFF CALCULATIONS

PROJECT DESCRIPTION

EXISTING CONDITIONS
 THE PROJECT SITE IS AT 635 Alto Street, Santa Fe, NM. CURRENTLY, THERE ARE NO EXISTING STRUCTURES ON THE PROPERTY.
 AT 635 Alto Street, Santa Fe, NM THE EXISTING SITE IS SLOPING FROM THE SOUTH EDGE OF THE LOT TO THE NORTH TOWARDS THE SANTA FE RIVER. ELEVATION CHANGE OF APPROXIMATELY 12.5' IN A LENGTH OF 145' FOR A MEAN GRADE OF APPROXIMATELY 8.5%.
 THE OVERALL AREA OF THE SITE IS 0.25 ACRES OR 10902 FT². THE EXISTING ACCESS TO THE SITE IS ON THE SOUTH SIDE OF THE PROPERTY VIA ALTO STREET.

PROPOSED CONDITIONS

AS SHOWN BY THE PLANS, THE PROJECT IS THE CONSTRUCTION OF NEW RESIDENTIAL UNITS WITH THE ACCOMPANYING GRADING AND DRAINAGE MEASURES.
 THE NEW CONSTRUCTION HAS FINISH ROOF AREAS TOTALING APPROXIMATELY 4741 FT².
 THE PROJECT LOCATION IS APPROXIMATELY AT A LATITUDE OF 35.688360 AND A LONGITUDE OF -105.949710.
 THE CALCULATIONS SHOWN BELOW DETAIL THE EXPECTED AMOUNT OF INCREASED WATER VOLUME CREATED BY THE NEW ADDITION TO THE RESIDENCE. THESE VALUES WILL THEN BE COMPARED WITH EXISTING SITE CONDITIONS.

RAINFALL INTENSITY, 30min duration =	3.13	
RAINFALL INTENSITY, 24 hr duration =	1.16	
RUNOFF CALCULATIONS		
RUNOFF FACTORS:		
ROOF, PORTALS, CONCRETE & ASPHALT	0.98	
COMPACTED GRAVEL	0.75	
CRUSHER FINES	0.85	
HARDSCAPE AREAS	0.98	
NATIVE LANDSCAPE	0.55	
NON-DISTURBED LANDSCAPE	0.55	
NEW LANDSCAPE	0.45	
PROPOSED SITE DRAINAGE AREAS:		
EXISTING SITE AREA	10902.00	FT ²
PROPOSED ROOFTOP AREAS	4746.20	FT ²
PROPOSED GRAVEL DRIVEWAY ENTRY AREA	502.00	FT ²
PROPOSED GRAVEL DRIVEWAY RIVER AREA	2034.00	FT ²
UPPER LANDSCAPED AREA	690.00	FT ²
LOWER LANDSCAPED AREA	1946.20	FT ²
UPPER WALKWAY AREA	192.00	FT ²
HARDSCAPE STAIRS	811.60	FT ²
TOTALS =	10902.00	FT ²
AREA (acres)	0.25	ACRES
% of Total	43.35%	100.00%
	0.01	4.60%
	0.05	18.66%
	0.02	6.33%
	0.04	17.85%
	0.00	1.76%
	0.02	7.44%
	0.25	100.00%

BASIC ASSUMPTION:

WHERE:
 $Q = CIA$ (CFS)
 $Q =$ VOLUMETRIC FLOW
 $C =$ RUNOFF COEFF.
 $I = 3.13$ IN (24HR, 100 YEAR EVENT)
 $A =$ AREA IN ACRES

EXISTING DEVELOPMENT

Existing Developed Areas	EXISTING LOT AREA	ft²	AREA (acres)	% of Total	C	A°C
		10902.00	0.25	0.25	0.55	0.14
WEIGHTED "C" =		0.55				
A =	0.25	ACRES				
I =	3.13	IN (24HR, 100 YEAR EVENT)				
C =	0.55					
Q =	0.48	CFS				
ESTIMATED STORM DURATION =	2.00	HRS		7200	SECONDS	
VOL_{100 YEAR EVENT} =	3102.11	FT ³		23205.4	GALLONS	

REPRESENTS 100 YR 24 HOURS EVENT FLOW FROM UNDEVELOPED SITE FOR A DURATION OF 2 HOURS

WEIGHTED "C" CALCULATION:

Proposed Developed Areas	ft²	AREA (acres)	% of Total	C	A°C
PROPOSED ROOFTOP AREAS	4746.20	0.11	43%	0.98	0.11
PROPOSED GRAVEL DRIVEWAY ENTRY AREA	502.00	0.01	3%	0.75	0.00
PROPOSED DRIVEWAY ENTRY AREA W/ TRUE GRID	217.50	0.00	2%	0.3	0.00
PROPOSED GRAVEL DRIVEWAY RIVER AREA	1304.25	0.03	12%	0.75	0.02
PROPOSED DRIVEWAY RIVER AREA W/ TRUE GRID	729.75	0.02	7%	0.3	0.01
UPPER LANDSCAPED AREA	690.00	0.02	6%	0.45	0.01
LOWER LANDSCAPED AREA	1946.20	0.05	18%	0.45	0.02
UPPER WALKWAY AREA	192.00	0.00	2%	0.98	0.00
HARDSCAPE STAIRS	771.54	0.02	7%	0.98	0.02
TOTALS =	10902.00	0.25	100%		0.19
WEIGHTED "C" =	0.76				
A =	0.25	ACRES			
I =	3.13	IN (24HR, 100 YEAR EVENT)			
C =	0.76				
Q =	0.59	CFS			
ESTIMATED STORM DURATION =	2.00	HRS		7200	SECONDS
VOL_{100 YEAR EVENT} =	4271.29	FT ³		31951.4	GALLONS, FROM A 100 YR 24 HR EVENT FOR THE SITE FOR 30 MINUTE STORM DURATION
INCREASE IN RUNOFF DUE TO NEW CONSTRUCTION:	1169.2	FT ³		8746.0	GALLONS, FROM A 100 YR 24 HR EVENT FOR THE SITE

Drainage Pond Design	Vol. (FT ³)
SOUTH POND @ 15" DEPTH	272.00
NW POND @ 15" DEPTH	400.00
NE POND @ 18" DEPTH	638.00

TOTAL PROPOSED PONDING VOLUME (100 Year Storm Capacity) 1310 ft³

CONCLUSIONS

THE CONSTRUCTION OF THE PROPOSED RESIDENCE INCREASES THE AMOUNT OF OFFSITE FLOWS FROM THE CURRENT PROPERTY CONDITIONS BY AN AMOUNT OF APPROXIMATELY 1169 FT³ BASED UPON THE CALCULATIONS SHOWN ABOVE. THE NEW WET LANDSCAPE DETENTION AREAS AS SHOWN ON THE PLANS WILL PROVIDE 1310 FT³ CAPACITY FOR WATER RETENTION. THIS REPRESENTS AN OVER CAPACITY OF APPROXIMATELY 12.0 PERCENT FOR THE SITE CONDITIONS SHOWN

02/14/24 10:09 AM

W. E. Walker Engineering

290 DINOSAUR TRAIL, SANTA FE, NM 87508
 TEL: 505-473-7973 • TEL: 505-820-7990
 E-MAIL: jeffrey@walkerengineering.net

REVISION	DATE	BY	APP.

PROJECT: 23-189
 FILE: 189_GRADING
 DATE: 03/12/2025

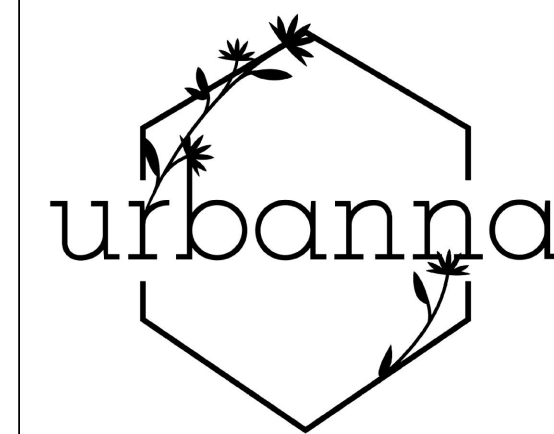
DESIGNED BY: IC
 DRAWN BY: IC
 CHECKED BY: REB
 AS NOTED

PROJECT: 635 ALTO ST.
 SHEET TITLE: DRAINAGE CALCULATION

CITY REVIEW	DATE

DEPARTMENT: WATER
 WATER: PW ENGINEERING
 TRAFFIC: FIRE DEPARTMENT
 SOLID WASTE: LANDSCAPE
 TRAILS/OPEN SPACE: SUBDIVISION REVIEW

SHEET NO. C3



URBANNA LANDSCAPING LLC

Tara Josub, Owner 505.919.8222

GENERAL NOTES

- Transition line between excavation and native soil shall be smoothly raked, creating a clean consistent grade. Existing grade below native trees and shrubs shall remain undisturbed throughout the drip-line of the plant material. No mounding of soil, fill dirt, organic or inorganic debris shall be abandoned under native plant material canopies. All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated including spoil piles and stockpiles of any material. Areas of natural gravel, cobble, fractured stone, and/or boulder fields shall be restored to the natural state that existed prior to construction. Grade out any damage to the natural terrain prior to the re-application of native stone material.
- All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated.
- Trees shall have six emitters, two (2) emitters within the root ball zone and four (4) emitters located at drip edge locations. Shrubs shall have two (2) emitters, one (1) located four (4) inches from the root flare of each shrub and another at the drip edge. 5.6 Landscape Irrigation Design Standards. City of Santa Fe.

PLANT LIST

Qty.	Size	Code	Common Name	Botanical Name
1	2"	A	Bigtooth Maple	Acer Grandidentatum
1	3"	Cc	Eastern Redbud	Cercis Canadensis
3	3"	M	Prairiefire Crabapple or similar	Malus Prairiefire
2	5 gal	Bb	Butterfly Bush	Buddlia Davidii
2	5 gal	V	Korean Spice or similar	Viburnum carlesii
1	5 gal	Cl	Mountain Mahogany	Cercocarpus Ledifolius
4	5 gal	Ri	Alpine Currant	Ribes Alpinum
13	5 gal	Kf	Karl Foerster Grass	Calamagrostis Acutiflora 'Karl Foerster'
9	1 gal	Eg	Sand Lovegrass	Eragrostis Trichodes
7	1 gal	Pn	Red Rocks Penstemon or similar	Penstemon x mexicali 'P008S'
3	1 gal	Ss	Little Bluestem Grass	Schizachyrium Scoparium
7	1 gal	Cb	Blue Mist Spirea	Caryopteris x Clandonensis

HATCH LEGEND

SYMBOL	KEY
	7/16 SANTA FE BROWN GRAVEL
	WALK ON BARK MULCH
	GROUND
	TRUEGRID PERMEABLE PAVING SYSTEM

SITE CODE ANALYSIS

Residential private open space calculated per City of Santa Fe Code of Ordinances 14-7.1 and 14-7.5 (C).

Lot coverage increase allowed per 14-7.5 (C)(1)(b), "for lots in R-10, R-12, R-21 and R-29 districts, an amount not less than thirty percent of the total gross floor area of that dwelling unit."

Site Data:

Zoning: R-21
Overlays: Westside-Guadalupe Historic District

Lot Area: 10910 sq. ft.; 0.25 acres
Building coverage:
Units A-D: 3782
Unit E: 1151
Total: 4933
Lot coverage: 45%
Allowed coverage: 55% (14-7.5 (C)(1))

5 dwelling units

Building Data:

Total gross floor area: 6448 sq. ft.

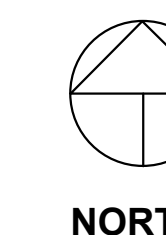
Unit A: 3 bedroom, 2 bath
1st Floor Area: 797 sq. ft.
2nd Floor Area: 527 sq. ft.
Total: 1324 sq. ft.
Req'd open space: 398 sq. ft.
Provided open space: 524 sq. ft.

Unit B: 2 bedroom, 1.5 bath
1st Floor Area: 634 sq. ft.
2nd Floor Area: 521 sq. ft.
Total: 1155 sq. ft.
30% open space: 347 sq. ft.
Provided open space: 398 sq. ft.

Unit C: 2 bedroom, 1.5 bath
1st Floor Area: 630 sq. ft.
2nd Floor Area: 515 sq. ft.
Total: 1145 sq. ft.
30% open space: 344 sq. ft.
Provided open space: 456 sq. ft.

Unit D: 3 bedroom, 2 bath
1st Floor Area: 790 sq. ft.
2nd Floor Area: 524 sq. ft.
Total: 1314 sq. ft.
30% open space: 395 sq. ft.
Provided open space: 430 sq. ft.

Unit E: 3 bedroom, 2 bath
1st Floor Area: 679 sq. ft.
2nd Floor Area: 834 sq. ft.
Total: 1513 sq. ft.
30% open space: 454 sq. ft.
Provided open space: 662 sq. ft.



NORTH



② SECOND LEVEL PLAN
1" = 10'-0"

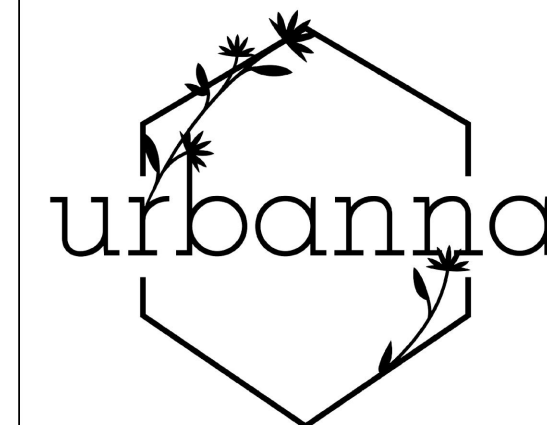


① FIRST LEVEL PLAN
1" = 10'-0"

NO.	DATE	ISSUE
1	1/29/2025	PLAN FOR SUBMITTAL

DRAWING TITLE
L101
LANDSCAPE PLAN

PROJECT NO. P-2245 SCALE 1"=10'-0"



URBANNA LANDSCAPING LLC

Tara Josub, Owner 505.919.8222

PLANT LIST

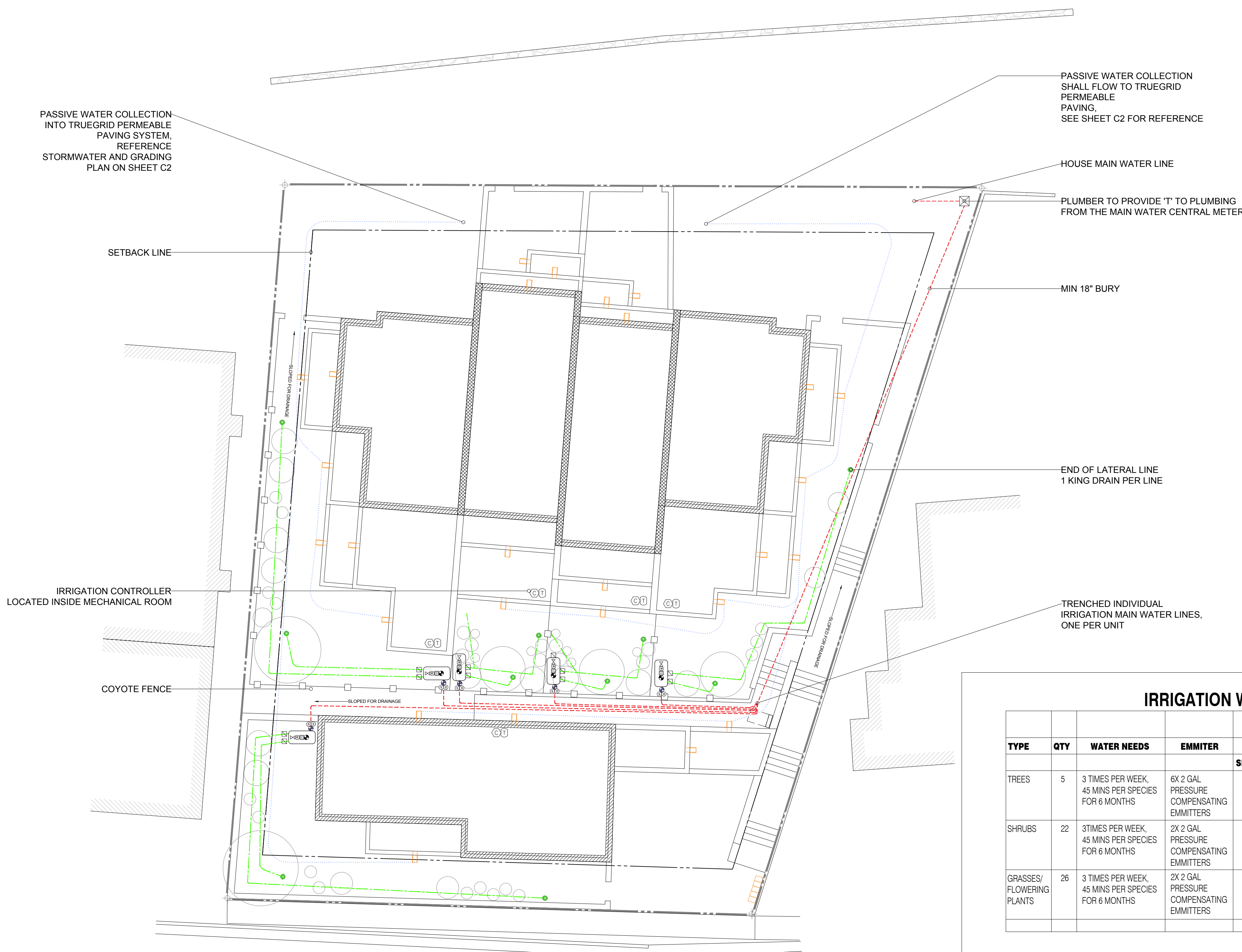
Qty.	Size	Code	Common Name	Botanical Name
1	2"	A	Bigtooth Maple	Acer Grandidentatum
1	3"	Cc	Eastern Redbud	Cercis Canadensis
3	3"	M	Prairiefire Crabapple or similar	Malus 'Prairiefire'
2	5 gal	Bb	Butterfly Bush	Buddliah Davidii
2	5 gal	V	Korean Spice or similar	Viburnum carlesii
1	5 gal	Cl	Mountain Mahogany	Cercocarpus Ledifolius
4	5 gal	Ri	Alpine Currant	Ribes Alpinum
13	5 gal	Kf	Karl Foerster Grass	Calamagrostis Acutiflora 'Karl Foerster'
9	1 gal	Eg	Sand Lovegrass	Eragrostis Trichodes
7	1 gal	Pn	Red Rocks Penstemon or similar	Penstemon x mexicali 'P008S'
3	1 gal	Ss	Little Bluestem Grass	Schizachyrium Scoparium
7	1 gal	Cb	Blue Mist Spirea	Caryopteris x Clandonensis

HATCH LEGEND

SYMBOL	KEY
	7/16 SANTA FE BROWN GRAVEL
	WALK ON BARK MULCH
	GROUND
	TRUEGRID PERMEABLE PAVING SYSTEM

SYMBOLS LEGEND

SYMBOL	KEY
	MAIN WATER SUPPLY
	MAIN WATER LINE (18" BURY)
	IRRIGATION LINE (2-4" BURY)
	PASSIVE CATCH
	FILTRATION ASSEMBLY
	CONTROL VALVE ASSEMBLY
	MASTER BALL VALVE
	PRESSURE REGULATOR (12" BELOW GRADE)
	SHUT OFF VALVE (12" BELOW GRADE)
	BALL VALVE DRAIN (12" BELOW GRADE)
	TIMER
	AVB
	CONTROLLER
	GATE VALVE
	KING DRAIN
	IRRIGATION VALVE BOX (12" BELOW GRADE)



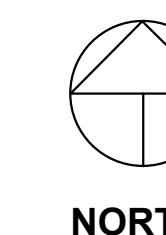
IRRIGATION WATERING SCHEDULE

TYPE	QTY	WATER NEEDS	EMMITER	YEAR 1: SEASONAL FREQUENCY				YEAR 3: SEASONAL FREQUENCY			
				DAYS BETWEEN WATERING				DAYS BETWEEN WATERING			
				SPRING	SUMMER	FALL	WINTER	SPRING	SUMMER	FALL	WINTER
TREES	5	3 TIMES PER WEEK, 45 MINS PER SPECIES FOR 6 MONTHS	6X 2 GAL PRESSURE COMPENSATING EMMITTERS	3	3	3	14	14-30	7-21	14-30	30-60
SHRUBS	22	3TIMES PER WEEK, 45 MINS PER SPECIES FOR 6 MONTHS	2X 2 GAL PRESSURE COMPENSATING EMMITTERS	3	3	3	14	14-30	7-21	14-30	30-60
GRASSES/ FLOWERING PLANTS	26	3 TIMES PER WEEK, 45 MINS PER SPECIES FOR 6 MONTHS	2X 2 GAL PRESSURE COMPENSATING EMMITTERS	3	3	3	14	14-30	7-21	14-30	30-60

IRRIGATION SYSTEM SPECIFICATIONS

ITEM	LOCATION	MANUFACTURER	DESCRIPTION	QTY
AVB	1 PER VALVE OUTSIDE	CHAMPION	ATMOSPHERIC VACUUM BREAKER	10
IRRIGATION CONTROL AND TIMER	1 PER UNIT, INSIDE MECH RM	RAIN BIRD	FOUR STATION, INDOOR/OUTDOOR	5
ELECTRIC VALVE	2 PER UNIT	RAIN BIRD	3/4" CPF075 FLOW CONTROL	10
KING DRAIN	2 PER UNIT, OUTSIDE	KING INNOVATION	END OF LINE DRAIN	5

1 IRRIGATION PLAN
1" = 10'-0"

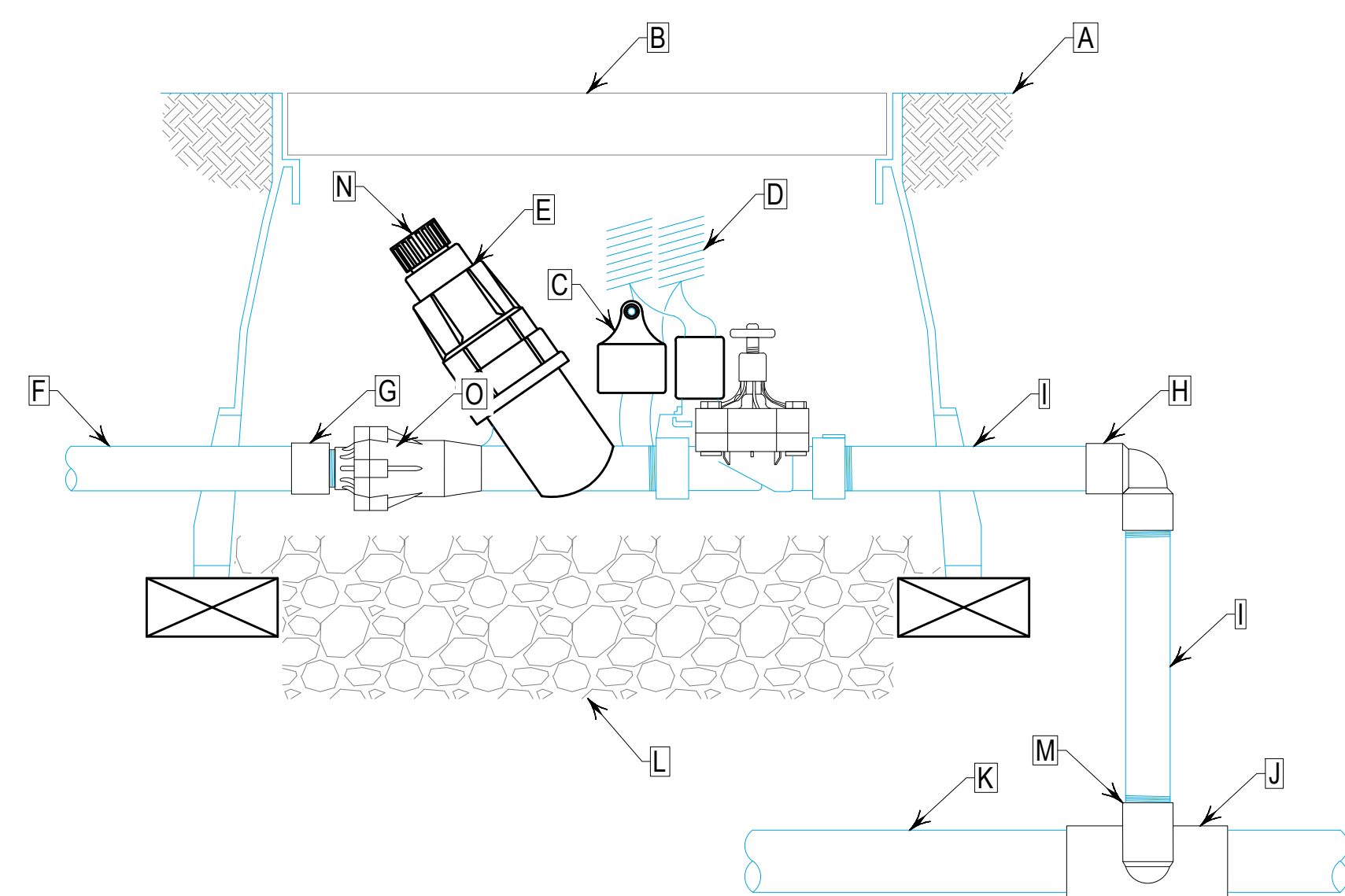


NORTH

1 1/29/2025 PLAN FOR SUBMITTAL
NO. DATE ISSUE

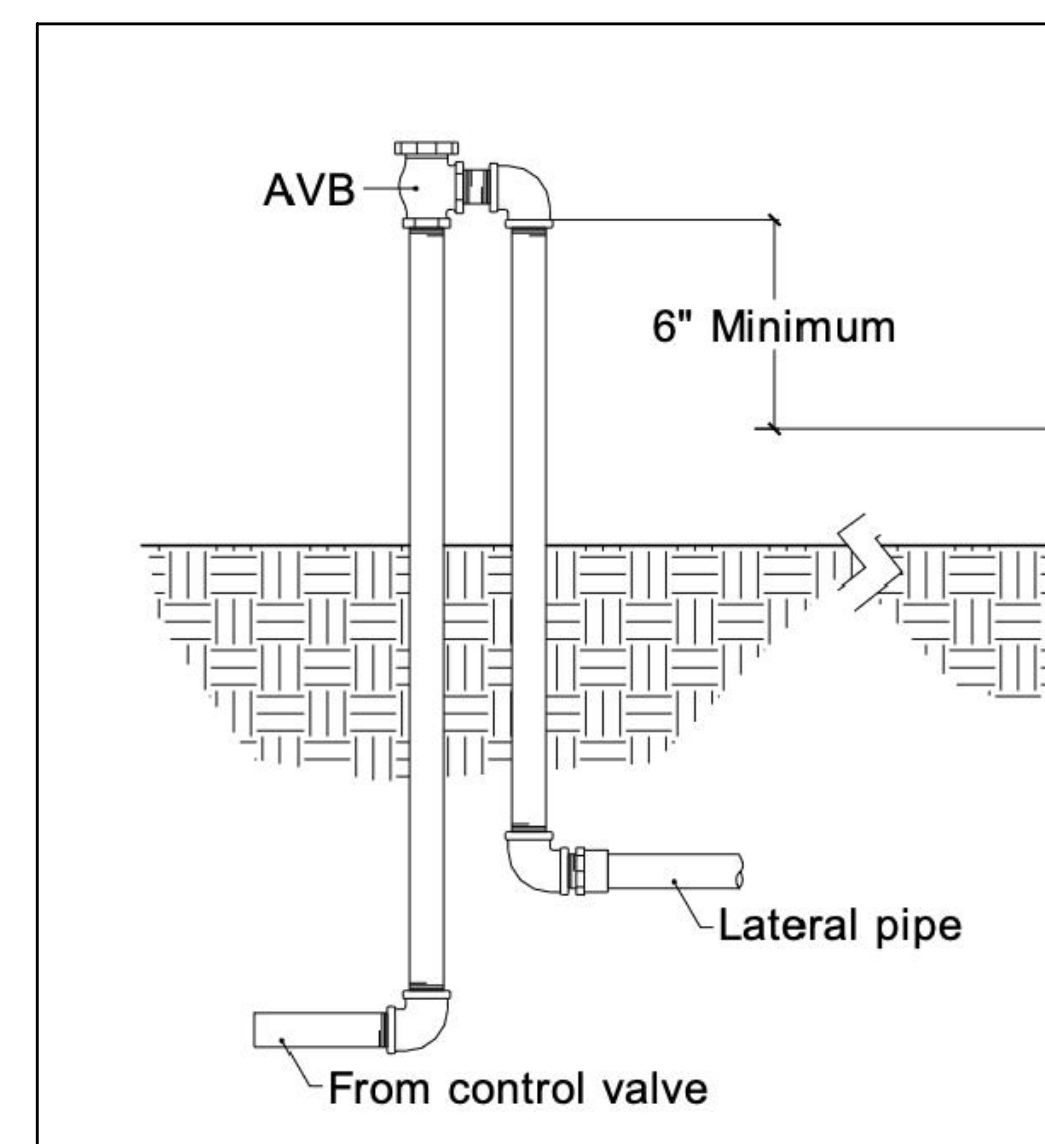
DRAWING TITLE
L102
IRRIGATION PLAN

PROJECT NO. P-2245 SCALE 1"=10'-0"

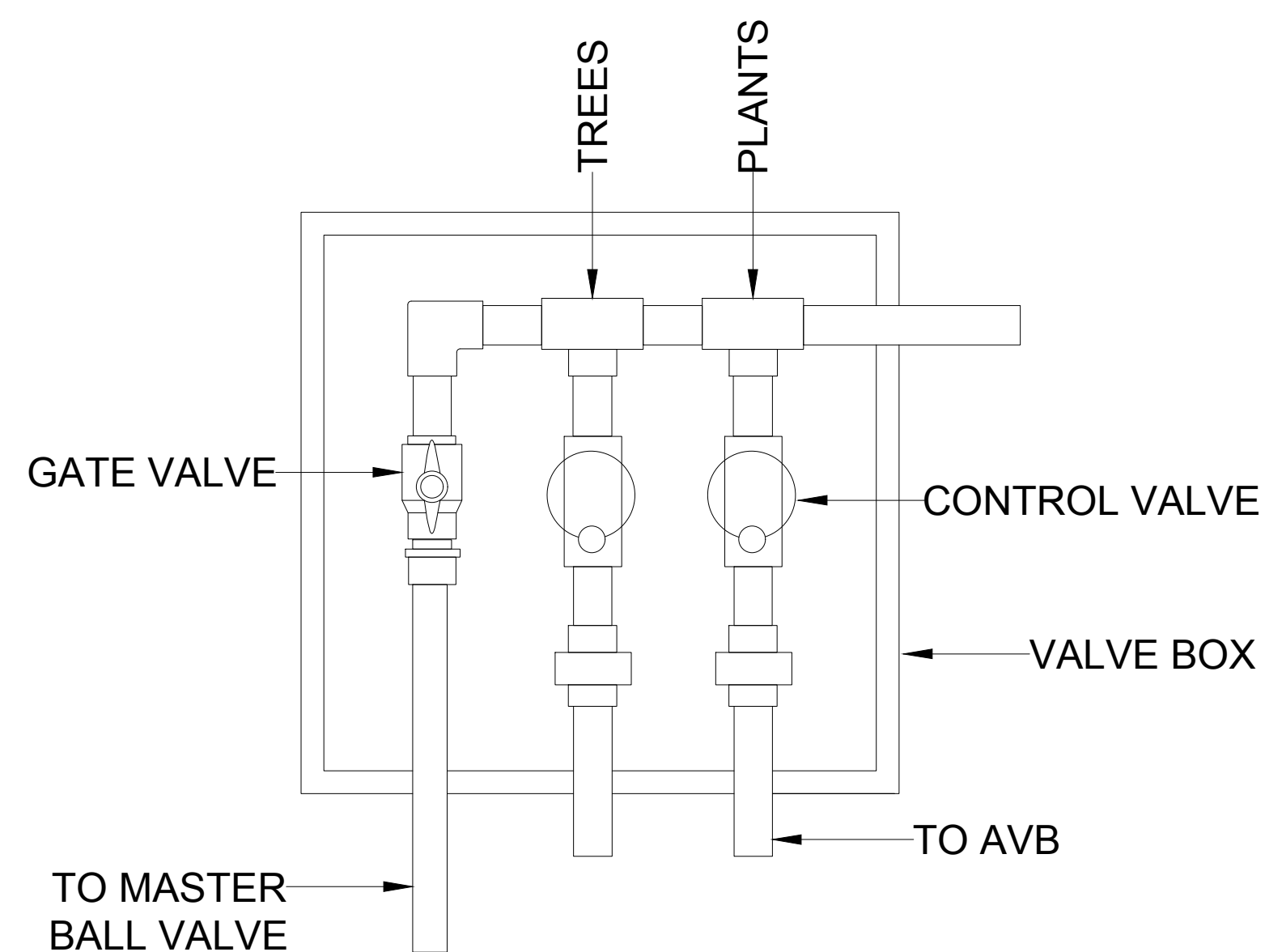


- LEGEND:
- A. FINISH GRADE
 - B. VALVE BOX WITH COVER
 - C. VALVE ID TAG
 - D. 30-INCH LENGTH OF COILED WIRE
 - E. VALVE / FILTER
 - F. PVC SUPPLY HEADER TO AVB
 - G. PVC SCH 80 FEMALE ADAPTER OR REDUCER
 - H. PVC SCH 80 ELL
 - I. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 - J. PVC SCH 80 TEE OR ELL
 - K. PVC 1" MAINLINE
 - L. 3" MINIMUM DEPTH OF 3/8" WASHED GRAVEL
 - M. PVC SCH 80 STREET EL
 - N. MANUAL FLUSH POINT
 - O. PRESSURE REGULATOR

① DRIP VALVE AND FILTER ASSEMBLY
NOT TO SCALE



② AVB ASSEMBLY
NOT TO SCALE



③ VALVE BOX TOP VIEW
NOT TO SCALE

1	1/29/2025	PLAN FOR SUBMITTAL
NO.	DATE	ISSUE

DRAWING TITLE
L103

IRRIGATION DETAILS

PROJECT NO. P-2245	SCALE 1"=10'-0"
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KING DRAINS®

End of Line / Valve Protector Drains

Installation Instructions

All King Drains can be installed with or without a gravel sump. For small diameter shorter lines, a sump is not necessary. Larger and longer lines will drain more efficiently with a gravel sump. Install all King Drains on a 45° angle to ensure proper drainage of water from the pipe.

All End of Line Drains feature the new Soft Grip Drain.

For elevation changes greater than 15 feet, install one King Drain at each 15-foot interval.

Poly End of Line Drain w/Soft Grip

Catalog #	Size	Selling Unit
15140	3/4" x 1/2" FPT	Bag of 10
16142	1" x 1/2" FPT	Bag of 10
17145	1" x 3/4" FPT	Bag of 10



Valve Protector†

Catalog #	Size	Selling Unit
21155	1" MPT x 1" INS	Bag of 5



U.S. Patent Numbers 4,890,640, 5,080,327, 6,886,585 and D368,450. All other trademarks, U.S. and Foreign Patents Pending. Apply. All Rights Reserved.



50100-31 REV D 06/23

www.kinginnovation.com
(P) 800.624.4320
(F) 636.319.3410



Tech Spec

ESP-TM2 Fixed Station Controller

ESP-TM2 Series Controllers

Rain Bird's ESP Series of controllers has been expanded to offer a contractor grade irrigation controller for residential and light commercial applications.

The ESP-TM2 Controller is available in four models suitable for indoor or outdoor applications (4-Station, 6-Station, 8-Station and 12-Station).

Applications

The ESP-TM2 provides flexible scheduling features to accommodate a wide variety of landscape applications. Plus powerful advanced irrigation features that help to meet any type of regional watering restrictions.

Easy to Use

The ESP-TM2 Controller is designed to be an easy to use, program-based controller with the familiar ESP user interface, a large LCD screen and universal icons on both the controller overlay and the LCD.

Easy to Install

The ESP-TM2 Controller requires only two screws for easy wall mounting. For professional installation, it has a guide for 1/2" or 3/4" conduit to run field wires into the unit. A factory installed 6 pigtail offers a plug and play solution out of the box.

Controller Hardware

- Plastic wall-mount cabinet with door
- 4, 6, 8 or 12 station models
- Mounting screws with anchor shields
- Factory installed pigtail

Controller Features

- NEW large backlit LCD display for improved visibility in low-light and direct sunlight conditions
- Familiar, easy to navigate user interface

- Rain sensor input with bypass capability
- Master valve/pump start circuit
- Nonvolatile (100 year) storage memory
- Electronic diagnostic circuit breaker
- Remote accessory port for Rain Bird approved accessory devices

Scheduling Features

- Program based scheduling with 3 individual programs and 4 independent start times per program for 12 total start times
- Watering schedule options: Custom Days of the week, ODD or EVEN calendar days, or Cyclic (every 1 - 30 days)

Advanced Features

- Manual Watering option for all stations, a single station or an individual program
- Seasonal Adjust applied to all programs or an individual program
- Delay Watering up to 14 days (applies only to stations set to obey Rain sensor)
- Permanent Days Off (for Odd, Even or Cyclic programming)
- Sensor bypass for all programs or for individual stations
- Adjustable delay between stations
- Contractor Default™ Program Save and Restore saved program(s)
- Master Valve on/off by station
- Automatic short detect with station specific alarm messages

Operating Specifications

- Station timing: 1 minute to 6 hours
- Seasonal Adjust: 5% to 200%
- Max operating temperature: 149°F (65°C)

Electrical Specifications

- Input required: 120VAC (±10%) @ 60Hz
- Output: 1A at 24VAC
- Master Valve/Pump Start Relay

- External battery back-up not required. Nonvolatile memory permanently saves the current programming and a 10 year life Lithium battery maintains the controller's time and date during power outages.



Certifications

- UL, cUL, FCC Part 15B
- IP24

WaterSense®

- WaterSense® certified with up to 30% water savings when installed with Rain Bird LNK™ WiFi Module and WR2 Rain Sensor. Meets EPA criteria for high-performing, water-efficient products.

Dimensions

- Width: 7.92 in. (20.1 cm)
- Height: 7.86 in. (20.0 cm)
- Depth: 3.51 in. (9.0 cm)

How To Specify:

- ESP-TM2 Models
- TM2-4-120V
- TM2-6-120V
- TM2-8-120V
- TM2-12-120V

1 KING DRAIN SPECIFICATION NOT TO SCALE

2 RAINBIRD CONTROL BOX SPECIFICATION NOT TO SCALE



Atmospheric Vacuum Breaker (AVB)

Features

- Heavy duty brass construction
- Prevents backflow of water into fresh water lines
- Smooth casting quality and full-sized waterways for maximum flow efficiency and minimum pressure loss
- Lightweight, durable plastic float
- High temperature seal ring

Specifications

- Maximum water working pressure: 150 PSI
- UPC Listed
- IAPMO Approved
- Flow range: 5 - 150 GPM

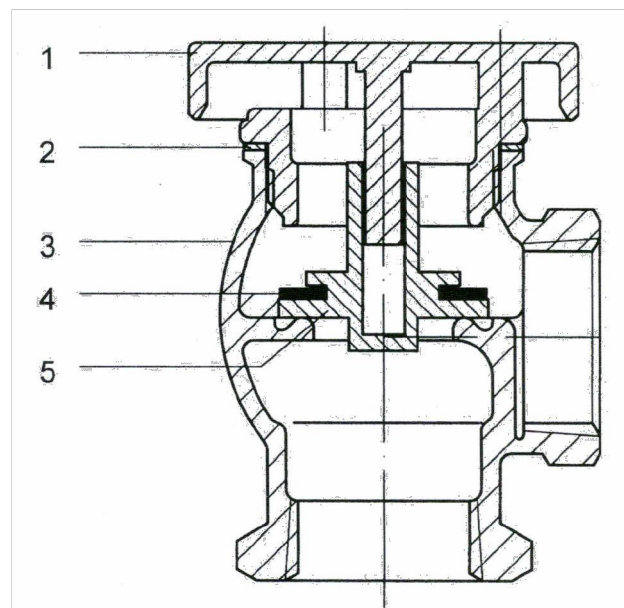
Models

- AVB 3/4" - 2" vacuum breaker less union
- AVBU 3/4" - 2" vacuum breaker with union



MATERIAL SPECIFICATION

No.	Parts	Materials
1	Cap	Brass
2	Cap Gasket	Fiber
3	Body	Brass
4	Float Washer	EPDM
5	Float	PP

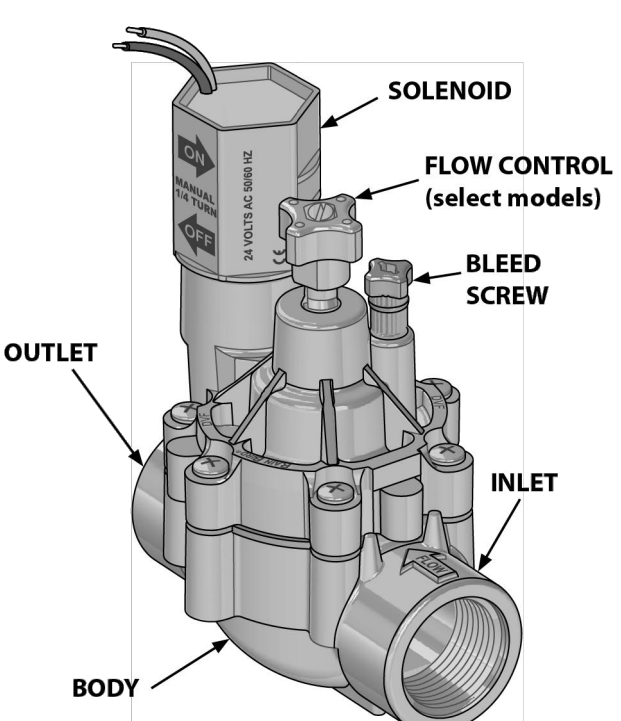


3 AVB SPECIFICATION NOT TO SCALE

English



CP/CPF Series Valve Installation and Operation

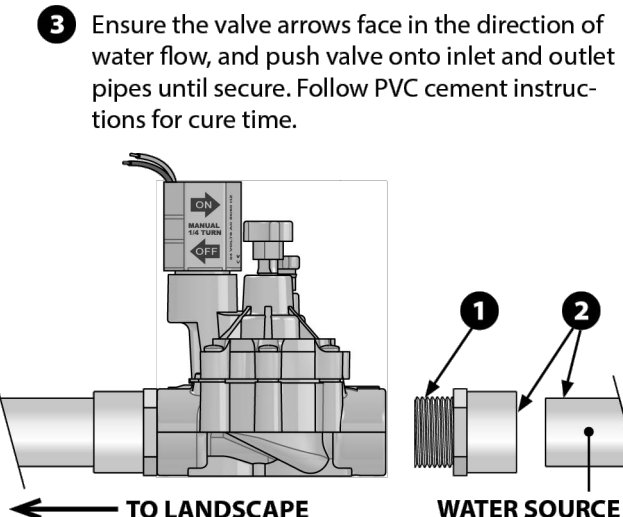


Before Installation

- Install master valves, pressure regulators and backflow preventers as needed.
- A pressure regulator is required if water pressure exceeds 150 PSI (recommended over 80 PSI).
- Inline valves require a separate backflow preventer in the main line. Check local building codes.
- Flush the system thoroughly until water runs clear.
- Shut off the main water supply.

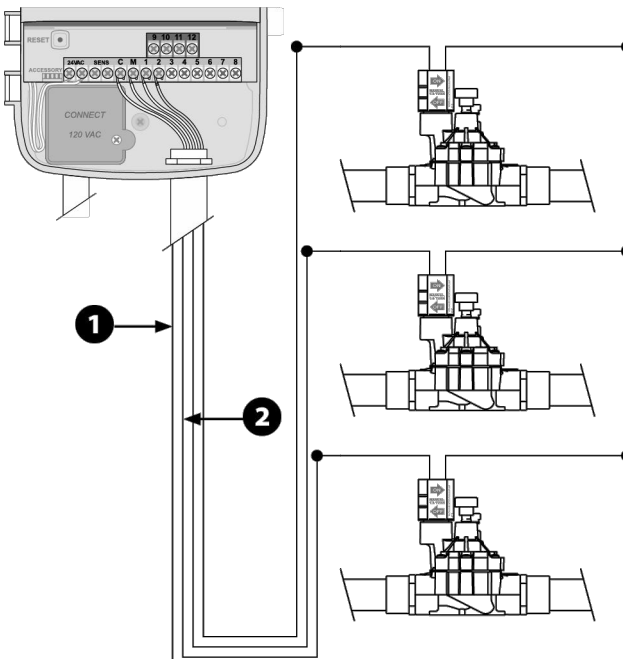
Connect Valve to Pipes

- 1 Apply PTFE thread-seal tape to the male threads on the adapters, screw into the valve and hand-tighten (do not use PVC glue or pipe dope on adapter threads).
- 2 Apply primer and then PVC cement to the ends of the pipe and inside the adapters per manufacturer's instructions.

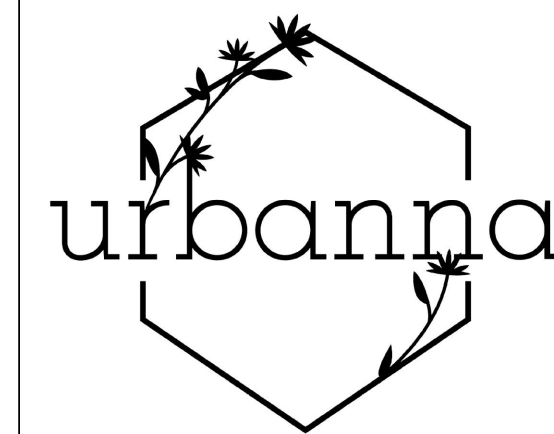


Connect Valve Wires

- NOTE:** Use watertight connectors and direct burial wire for all connections.
- 1 Connect one solenoid wire to a common wire (usually white). All valves can share the same common wire.
 - 2 Connect the second solenoid wire to a power wire (usually colored).



4 RAINBIRD ELECTRIC VALVE SPECIFICATION NOT TO SCALE



URBANNA LANDSCAPING LLC

Tara Josub, Owner 505.919.8222

1 1/29/2025 PLAN FOR SUBMITTAL
NO. DATE ISSUE

DRAWING TITLE
L104
SPECIFICATIONS

PROJECT NO. P-2245 SCALE 1"=10'-0"