

Date: 4/2/2025

Paul Duran
Senior Planner, Historic Preservation Division
Planning and Land Use Department
City of Santa Fe
P.O. Box 909, Santa Fe, NM 87504

Re: Historic Review Submission for 557 San Antonio Street, Santa Fe, NM 87501

Dear Paul,

On behalf of Clayton and Maggie Miles, the Owners of the above mentioned property, we are submitting this Application for Historic Board Review (Administrative Approval) for the project. Attached is the application packet for Historic Review for the following scope of works:

1. A new 402 s.f. portal to the Main House.
2. A new 240 s.f. addition w/40 sf entry portal to the existing detached Studio Structure.
3. Whole house re-stucco with cementitious stucco. The proposed stucco color will be #114 – **DESERT ROSE.**
4. The proposed exterior door and window color will comprise of:
 - a. Frames – Frost Blue (Pella Enduraclad)
 - b. Sashes – Spice Red (Pella Enduraclad)
5. All exposed exterior wood shall be sealed and stained Natural.
6. New and replaced doors and windows.
7. Clerestory skylights replacement with similar.

Exterior Doors and Windows

Please note that all of the existing exterior doors and windows **except for the kitchen double French doors DO NOT possess divided lites.** Hence we are proposing to replace with door and windows **without divided lites** except for the new kitchen double French doors. The existing “windows” of the studio are not actual windows but a “stage set” version. We will install new windows on the North and West sides of the studio with windows with divided lites as shown as they are new proposed windows seen from San Antonio Street.

Divided lites are not proposed for the additional reasons:

- Budget constraints
- To provide more light entering the house

JUICEKITCHEN DESIGN WORKSHOP LLC

1219 Cerro Gordo Road

Santa Fe, NM 87501

505 920 9128

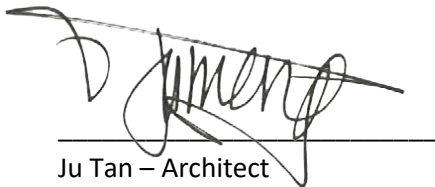
ju@juicekitchendesignworkshop.com

This application packet includes:

1. This proposal letter.
2. Historic Review Application Form.
3. Warranty deed and recorded plat.
4. Drawings including:
 - a. Existing and Proposed site plans
 - b. Existing and Proposed floor plans
 - c. Existing and Proposed exterior elevations
5. Photographs of the exterior of the existing house.
6. Proposed colors for windows and doors.
7. Image of proposed exterior wall sconces and Stucco Color.
8. Inspiration Images for the proposed entry door and driveway gate.
9. PZR approval.

Please feel free to contact me with any further questions. Thank you.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Ju Tan', is written over a horizontal line.

Ju Tan – Architect

Mobile: (505) 920 9128 Email: ju@juicekitchendesignworkshop.com

Cc: Clayton and Maggie Miles (Owners)

GENERAL PROJECT DATA

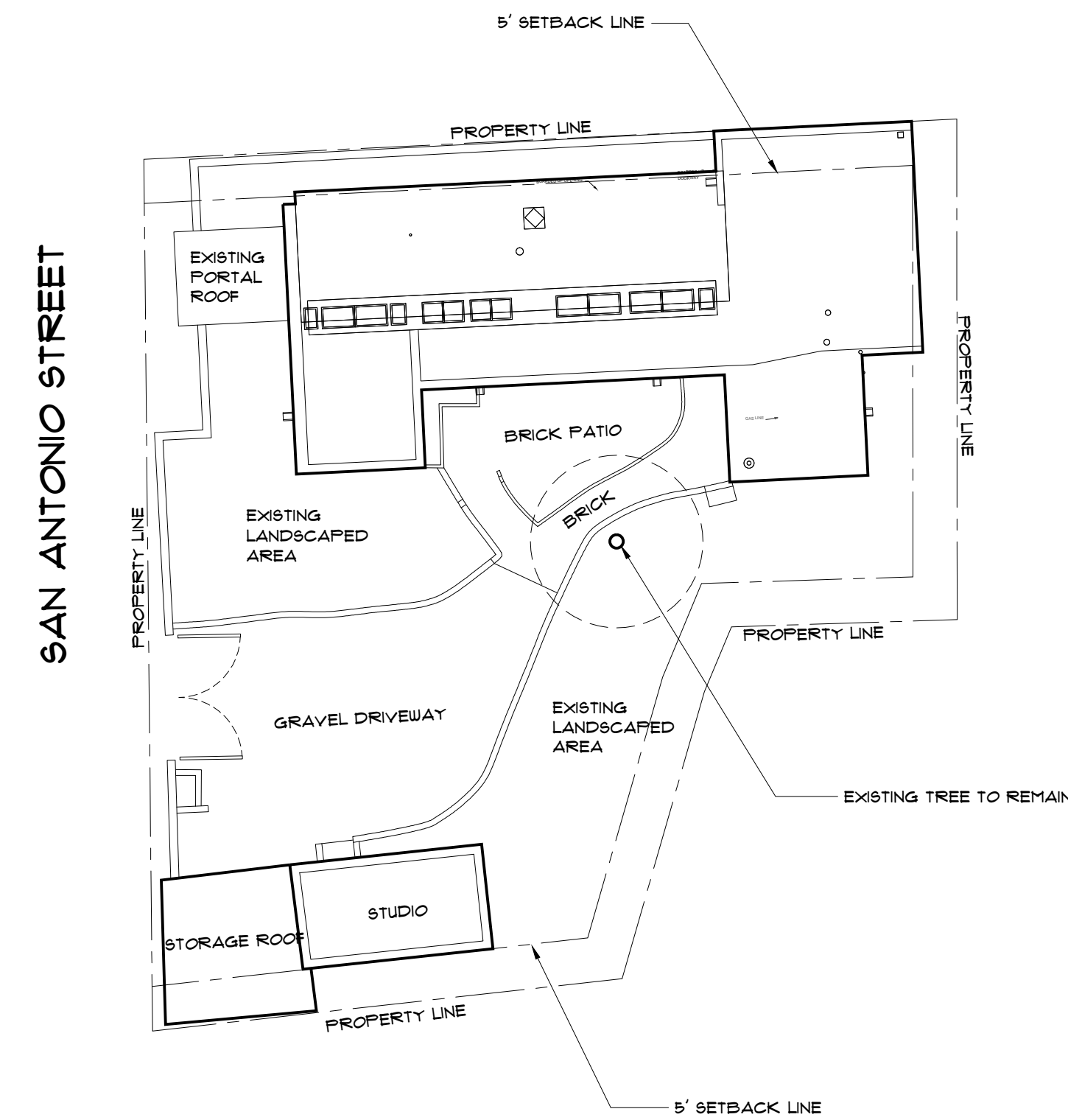
LOT SIZE - APPROX. 1105.9 SQ FT.
TOTAL EXISTING HEATED AREA - 2056 S.F.
MAIN HOUSE - 2056 S.F.
STUDIO - 0 S.F. (CURRENTLY UNHEATED)
TOTAL PROPOSED ADDITIONAL HEATED AREA - 443 S.F.
MAIN HOUSE - 0 S.F.
STUDIO - 443 S.F.
TOTAL HEATED AREA = 2056 + 443 = 2499 S.F.
EXISTING ROOFED AREA - APPROX. 2101 S.F. TOTAL
MAIN HOUSE - APPROX. 2100 S.F.
STUDIO - APPROX. 01 S.F.
PROPOSED NEW ROOFED AREA - 384 S.F.
MAIN HOUSE (NEW PORTAL) - 402 S.F.
STUDIO ADDITION - -18 S.F. (NET AFTER PARTIAL DEMOLITION)
PROPOSED TOTAL ROOFED AREA - APPROX. 3091 S.F.
EXISTING LOT COVERAGE - 35%
PROPOSED LOT COVERAGE - 40%
OPEN SPACE REQUIRED - 50% OF TOTAL GROSS FLOOR AREA = 50% X 2499 S.F. = 1250 S.F.
PRIVATE OPEN SPACES PROVIDED:
#1 - 495 S.F. + #2 - 340 S.F. + #3 - 280 S.F. = 1115 S.F. TOTAL OPEN SPACE PROVIDED
ZONING DISTRICT - RC-8
HISTORIC DISTRICT: DOWNTOWN/EASTSIDE
CODES: INCLUDING BUT NOT LIMITED TO THE 2021 IRC, 2021 IBC,
ALLOWABLE MAX. HT. OF STRUCTURE - 24' OR AS DETERMINED BY THE HISTORIC PRESERVATION BOARD.
MAXIMUM HEIGHT ABOVE GRADE OF PROPOSED STRUCTURES - 11'-6" (STUDIO ADDITION)
REQUIRED SETBACKS PER NM LAND USE CODE TABLE 14-1.2.1 AND SECTION 14-1.2(D):
1. FRONT - 0 FT (PRESENCE OF EXISTING 6' YARD WALL FRONTING SAN ANTONIO ST.)
2. SIDE - 5 FT
3. REAR - 15 FT (NO WALL BUILT)
STORMWATER RETENTION:
PROPOSED ADDITIONAL ROOFED AREA - 384 S.F.
THE PROPOSED PORTAL TO THE MAIN HOUSE SITS ON AN EXISTING IMPERVIOUS BRICK PATIO AND WALKWAYS THAT ARE LARGER THAN THE SIZE OF THE PORTAL. HENCE NO ADDITIONAL STORMWATER RETENTION IS REQUIRED.
THE SIZE OF THE STUDIO ADDITION IS SMALLER THAN THE EXISTING ROOFED AREA AT THE STUDIO TO BE DEMOLISHED. HENCE NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED AND NO STORMWATER RETENTION IS REQUIRED.

GENERAL SCOPE OF WORKS

- PROPOSED NEW 333 SF PORTAL TO THE MAIN HOUSE.
- PROPOSED NEW 191 HEATED ADDITION AND 40 SF ENTRY PORTAL TO THE EXISTING DETACHED STUDIO STRUCTURE TO ADD A 3/4 BATH AND UTILITY/STORAGE CLOSET.
- EXTERIOR DOOR AND WINDOW REPLACEMENTS FOR THE MAIN HOUSE AND DETACHED STUDIO STRUCTURE.
- INTERIOR REMODEL OF THE MAIN HOUSE AT THE WEST KITCHEN/MASTERBEDROOM WING; REMODEL OF THE EXISTING HALL BATHROOM.
- UPGRADED ELECTRICAL AND PLUMBING TO THE MAIN HOUSE AND DETACHED STUDIO AS NECESSARY.
- NEW STRUCTURAL WORKS AS SHOWN.
- WHOLE HOUSE RE-STUCCO.
- NEW SLIDING VEHICULAR ENTRY GATE TO REPLACE EXISTING.

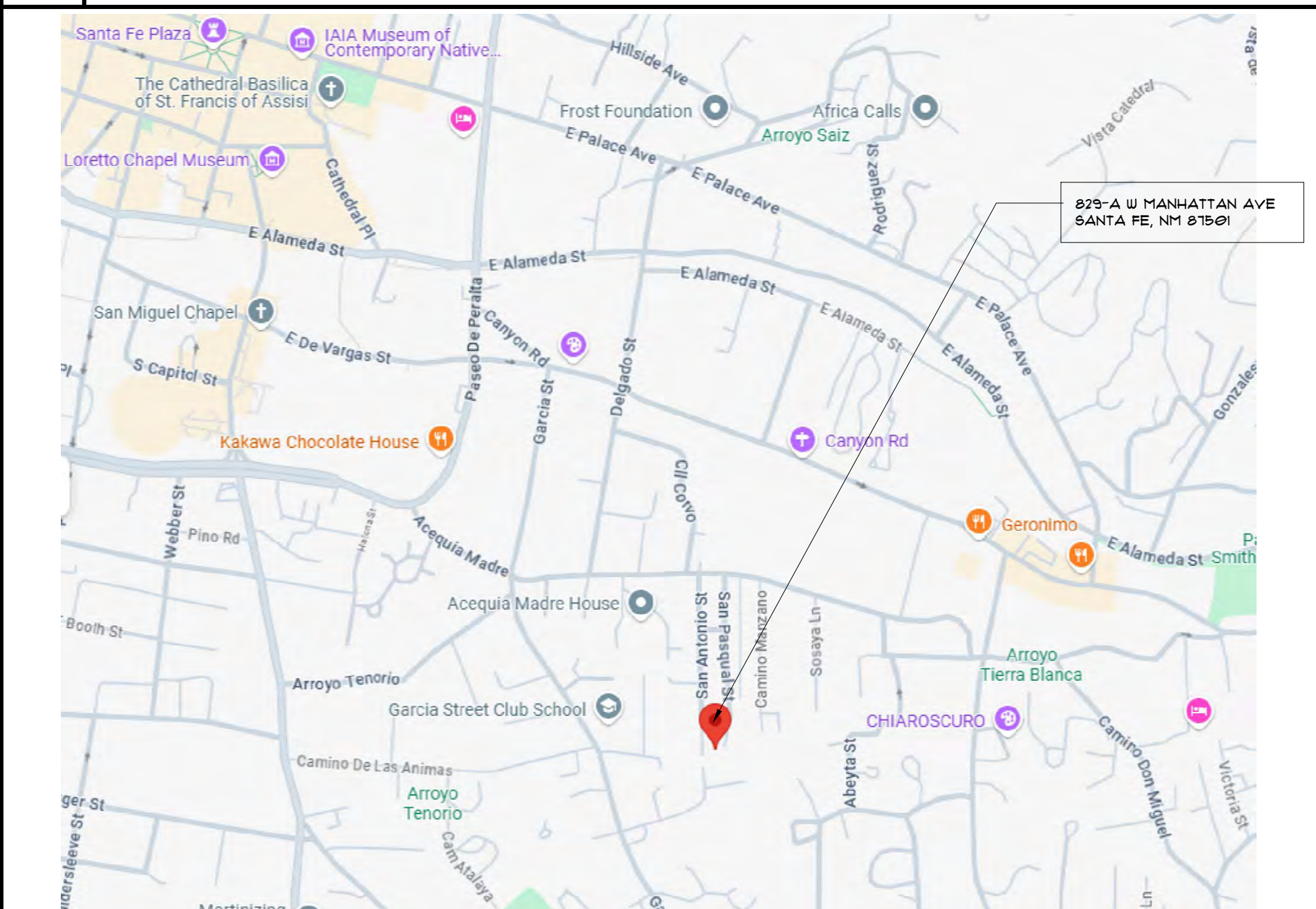
GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF JUICEKITCHEN DESIGN WORKSHOP LLC (JKDW) AND MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF JKDW.
- ALL CONSTRUCTION SHALL CONFORM TO ALL RELEVANT CODES REFERENCED BY SANTA FE COUNTRY, NM, INCLUDING BUT NOT LIMITED TO IBC 2021, IRC 2021.
- IF THERE ARE ANY CONFLICTS WITH THE CODES REFLECTED IN THE DRAWINGS, THE CONTRACTOR IS TO INFORM THE JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR/SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE REPORTED TO JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- CONTRACTORS SHALL MAINTAIN A SAFE AND ORGANIZED WORKING ENVIRONMENT ON THE SITE. DAILY CLEANING, ORGANIZATION AND PROTECTION OF MATERIALS SHALL BE PERFORMED AS NECESSARY. CONTRACTORS SHALL BE RESPONSIBLE FOR MAINTAINING JOB RELATED SAFETY STANDARDS.
- ALL EXISTING STRUCTURAL ELEMENTS OF EXISTING BUILDINGS SHALL NOT BE MODIFIED BEYOND THE SCOPE OF THIS PROJECT WITHOUT THE CONSENT OF THE OWNER, JKDW AND A QUALIFIED STRUCTURAL ENGINEER (IF NEEDED).
- THE CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETINGS WITH ALL SUB CONTRACTORS AS NECESSARY TO CLARIFY THE WORK SCOPE AND EXPECTATIONS PRIOR TO COMMENCEMENT OF ANY WORK.
- REGULAR CONSTRUCTION MEETINGS SHALL BE SCHEDULED (AS NECESSARY) WITH ALL RELEVANT PARTIES INCLUDING BUT NOT LIMITED TO RELEVANT SUB CONTRACTORS.
- A CONSTRUCTION SCHEDULE SHALL BE FURNISHED AND ADHERED TO BY THE CONTRACTOR. ANY PROPOSED CHANGES SHALL BE APPROVED BY THE OWNER AND JKDW.
- FINAL PUNCHLIST - AT SUBSTANTIAL COMPLETION, A FINAL PUNCHLIST SHALL BE MADE UP BY JKDW OR THE OWNER. ALL ITEMS ON THE PUNCHLIST SHALL BE PERFORMED BY THE CONTRACTOR WITHIN AN AGREED PERIOD OF TIME BEFORE HANDOVER TO THE OWNERS.
- FINAL GRADING - ENSURE THAT ALL GRADE SURROUNDING THE NEW ADDITION SLOPES AWAY FROM THE BUILDING A MINIMUM OF 1/4"/FT FOR A MINIMUM OF 48".
- FINAL CLEANING - THE CONTRACTOR SHALL PERFORM FINAL CLEANING TO ALL AFFECTED AREAS TO "MOVE IN" CONDITION BEFORE HANDING OVER TO THE OWNERS.
- MAKE ARRANGEMENTS WITH THE OWNERS REGARDING USE OF TOILET OR PROVIDE A PORTABLE TOILET ON SITE.
- WARRANTY - THE CONTRACTOR SHALL WARRANT ALL WORK FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION.



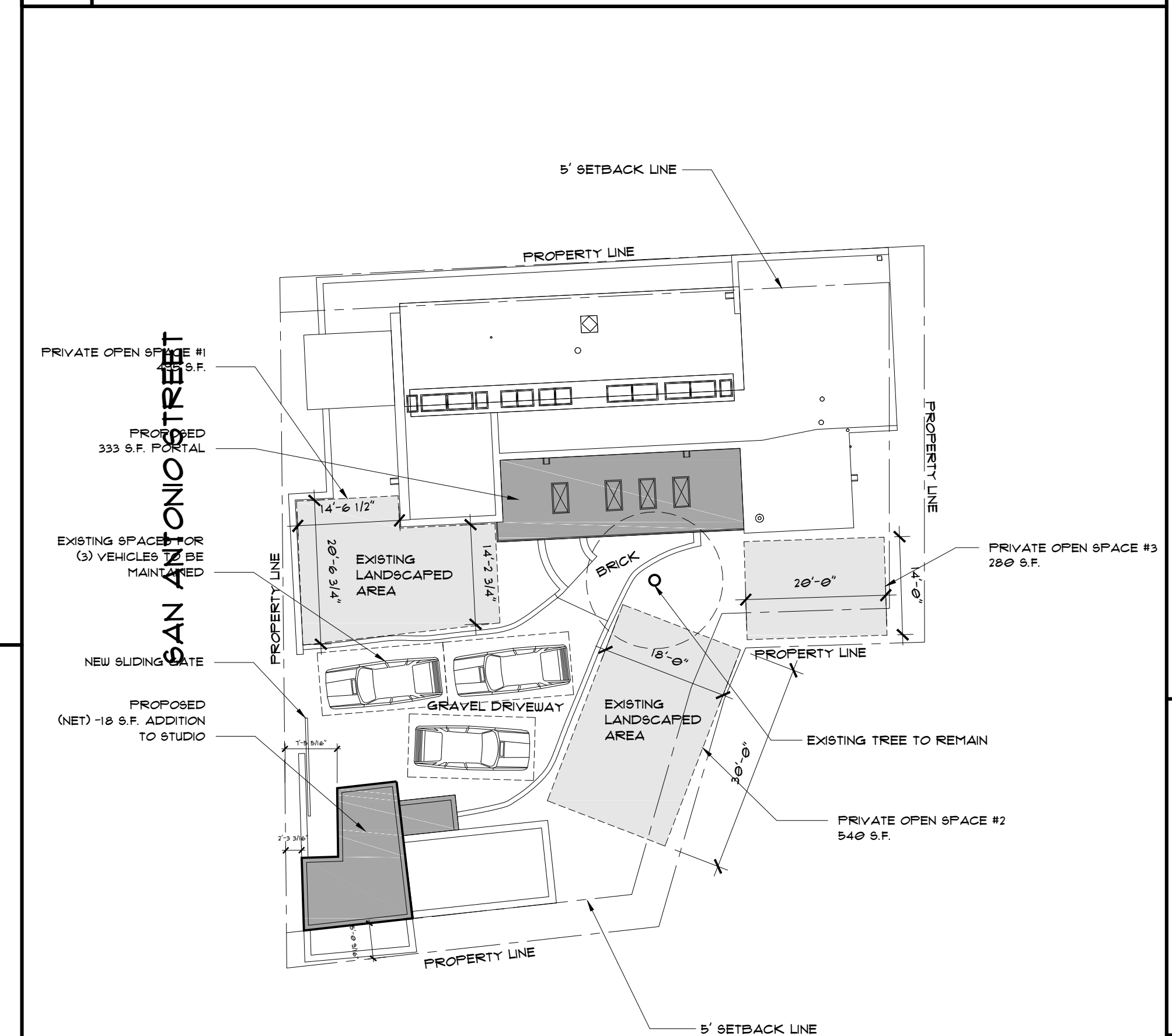
4 PROJECT DATA

3 GENERAL NOTES SCALE: NT9



ADDITIONS & ALTERATIONS TO THE MILES RESIDENCE
557 SAN ANTONIO ST.
SANTA FE, NM 87501
HISTORIC REVIEW SUBMISSION
PROGRESS SET
3/27/2025

1 EXISTING SITE PLAN SCALE: 1/16" = 1'-0"



5 LOCATION MAP

COMMON ABBREVIATIONS

• A.F.F. - ABOVE FINISHED FLOOR	• MIN. - MINIMUM
• B.O. - BOTTOM OF	• TYP. - TYPICAL
• T.O. - TOP OF	• OPENG. - OPENING
• B.O.W. - BOTTOM OF WALL	• R.O. - ROUGH OPENING
• T.O.W. - TOP OF WALL	• FIN. FLR. - FINISHED FLOOR
• T.O.P. - TOP OF FARAPET	• N.T.S. - NOT TO SCALE
• V.I.F. - VERIFY IN FIELD	• G.W.B. - GYPSUM WALL BOARD
• S.F. - SQUARE FEET	• G.C.B. - GYPSUM CEILING BOARD
• C.F. - CUBIC FEET	• G.D. - WOOD GRAIN DIRECTION
• GAL. - GALLONS	• R.S. - ROUGH SAUN WOOD
• P.S.F. - PER SQUARE FEET	• D.S. - DOWNSPOUT
• EL. - ELEVATION	• C.B. - CATCH BASIN
• EQ. - EQUAL (USED IN EQUALLY SPACED DIMENSIONS)	• T.O.C. - TOP OF CONCRETE
• W. H (HT.) - WIDTH, HEIGHT	• T.O.G. - TOP OF GRADE
• O.C. - CENTER TO CENTER DIMENSIONS	
• DIMS. - DIMENSIONS	
• C.L. - CENTERLINE	
• P.L. - PROPERTY LINE	
• L.O. - LINE OF	
• MAX. - MAXIMUM	

MATERIAL ABBREVIATIONS

• TL - TILE
• WD - WOOD
• DF - DOUGLAS FIR
• PL - PLASTER
• PTD - PAINTED
• ST - STAINED

NUMBER	DESCRIPTION	SCALE
A100	EXISTING & PROPOSED SITE PLAN	1/8" = 1'-0"
A101	EXISTING & PROPOSED FLOOR PLANS (MAIN HOUSE)	1/4" = 1'-0"
A102	EXISTING & PROPOSED ROOF PLANS (MAIN HOUSE)	1/4" = 1'-0"
A111	EXISTING & PROPOSED FLOOR PLANS (STUDIO)	1/4" = 1'-0"
A112	EXISTING & PROPOSED ROOF PLANS (STUDIO)	1/4" = 1'-0"
A200	EXISTING & PROPOSED EXTERIOR ELEVATIONS (MAIN HOUSE)	1/4" = 1'-0"
A201	EXISTING & PROPOSED EXTERIOR ELEVATIONS (MAIN HOUSE)	1/4" = 1'-0"
A202	EXISTING & PROPOSED EXTERIOR ELEVATIONS (MAIN HOUSE)	1/4" = 1'-0"
A203	EXISTING & PROPOSED EXTERIOR ELEVATIONS (MAIN HOUSE)	1/4" = 1'-0"
A204	EXISTING & PROPOSED EXTERIOR ELEVATIONS (STUDIO)	1/4" = 1'-0"
A205	EXISTING & PROPOSED EXTERIOR ELEVATIONS (STUDIO)	1/4" = 1'-0"

6 GENERAL NOTES

7 COMMON ABBREVIATIONS

2 PROPOSED SITE PLAN SCALE: 1/16" = 1'-0"

JUICEKITCHEN DESIGN WORKSHOP
1219 CERRO GORDO RD. SANTA FE, NM 87501
505.920.9128
JU@JUICEKITCHENDESIGNWORKSHOP.COM

REV #1 - 20231025 - PERMIT REVISIONS

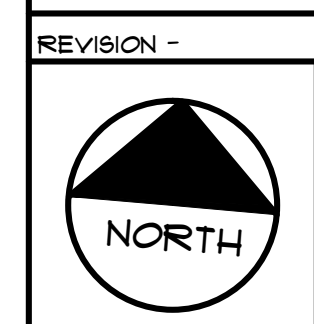


SCALE - AS NOTED
DATE - 3/27/2025

COVER SHEET / SITE PLAN

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501





REVISION -

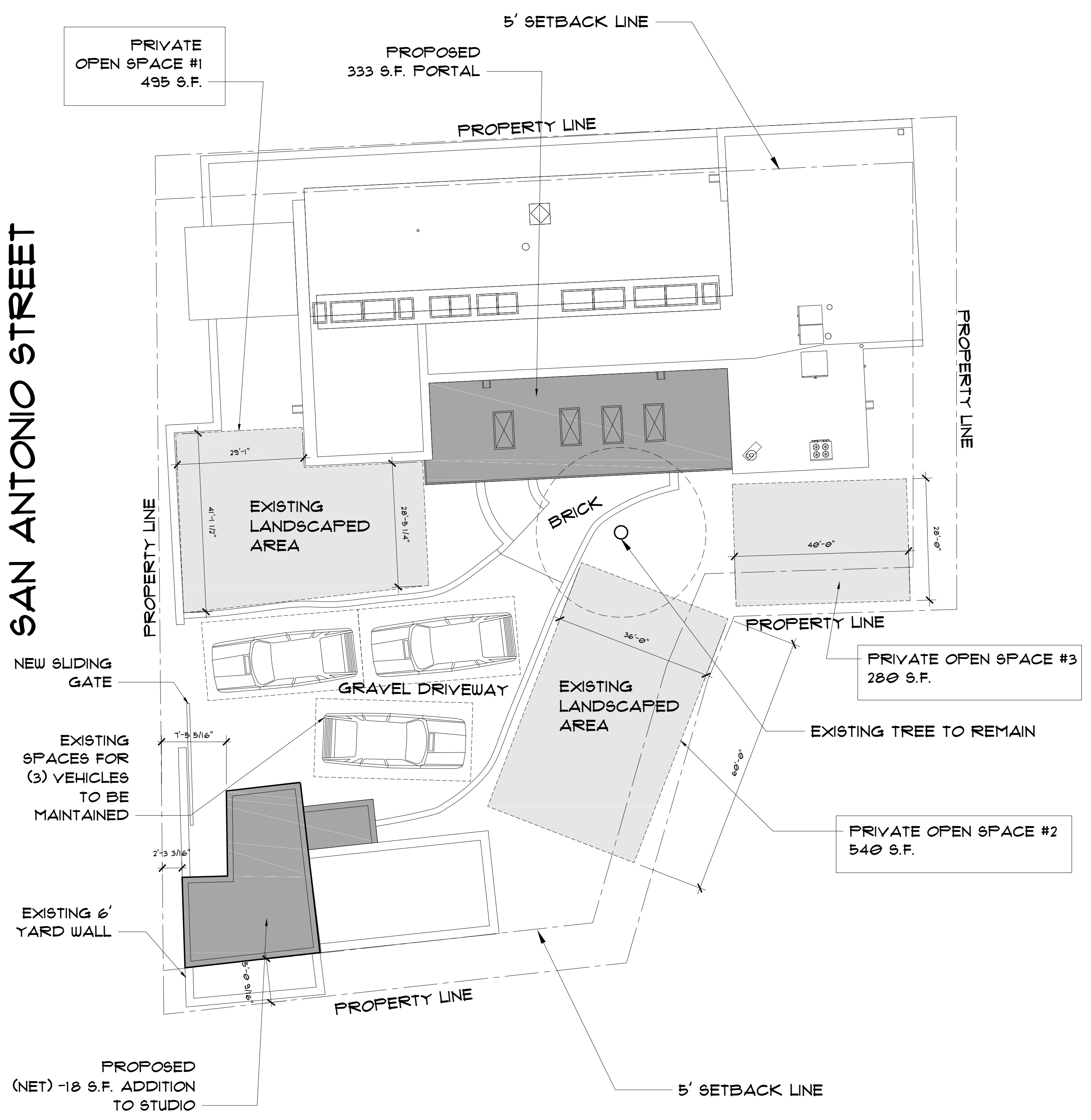
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EXISTING & PROPOSED SITE PLANS

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501

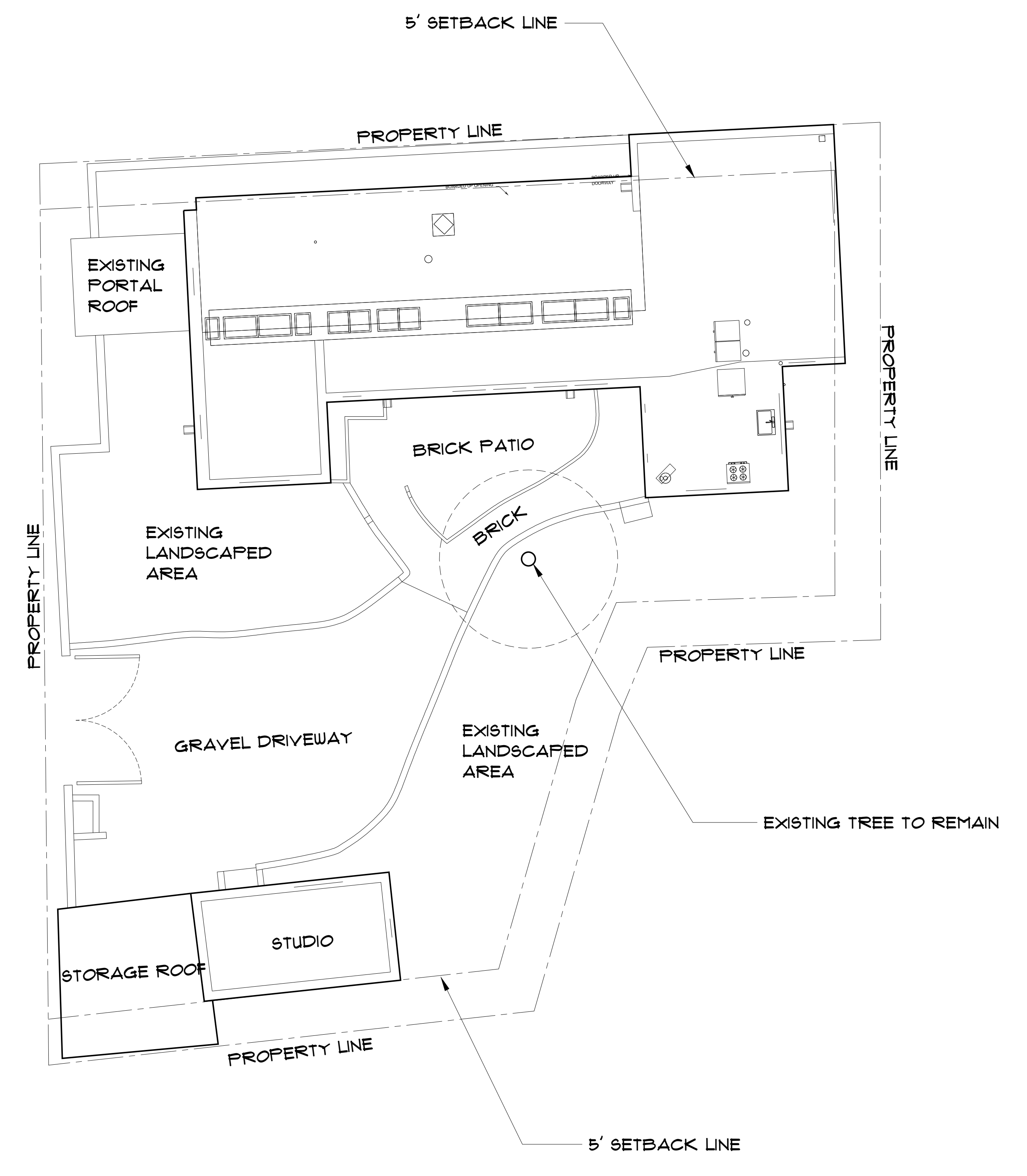
A100

SAN ANTONIO STREET



2 PROPOSED SITE PLAN SCALE: 1/8" - 1'-0"

SAN ANTONIO STREET



1 EXISTING SITE PLAN SCALE: 1/8" - 1'-0"

REVISION -



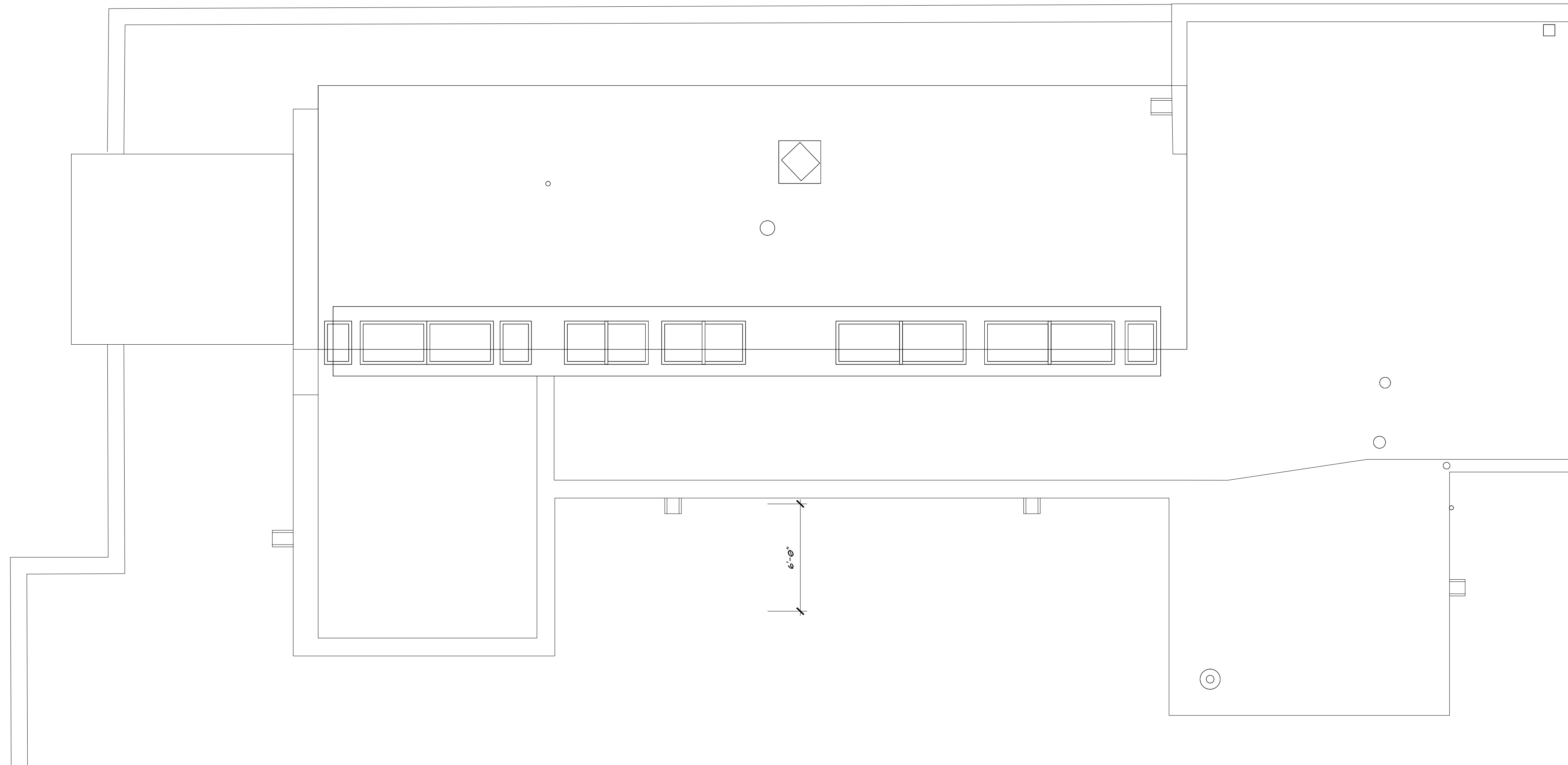
SCALE - 1/4" = 1'-0"

DATE - 3/27/2025

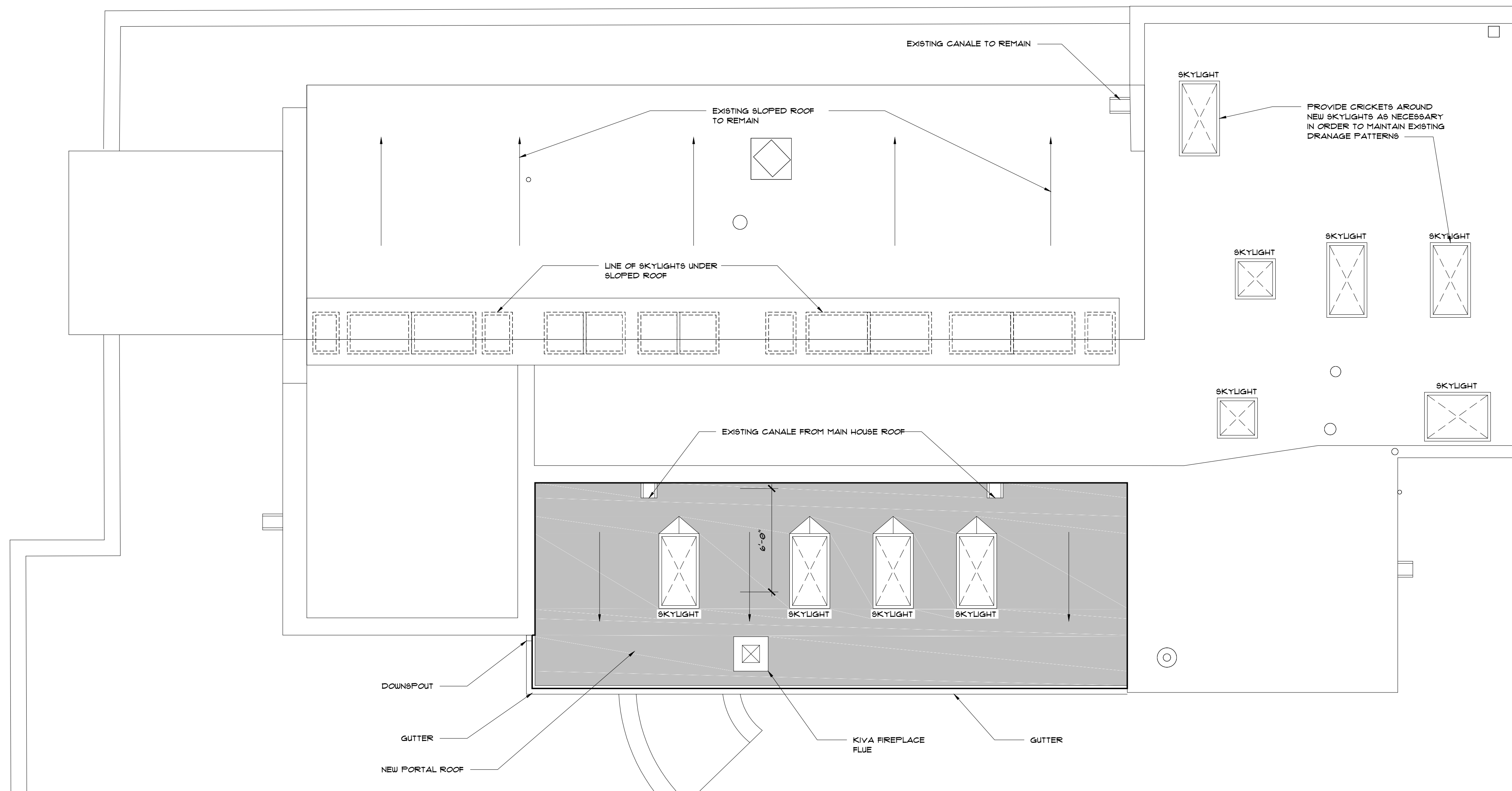
**EXISTING & PROPOSED
MAIN HOUSE ROOF PLANS**

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501

A102



1 EXISTING ROOF PLAN (MAIN HOUSE)



2 PROPOSED ROOF PLAN (MAIN HOUSE)



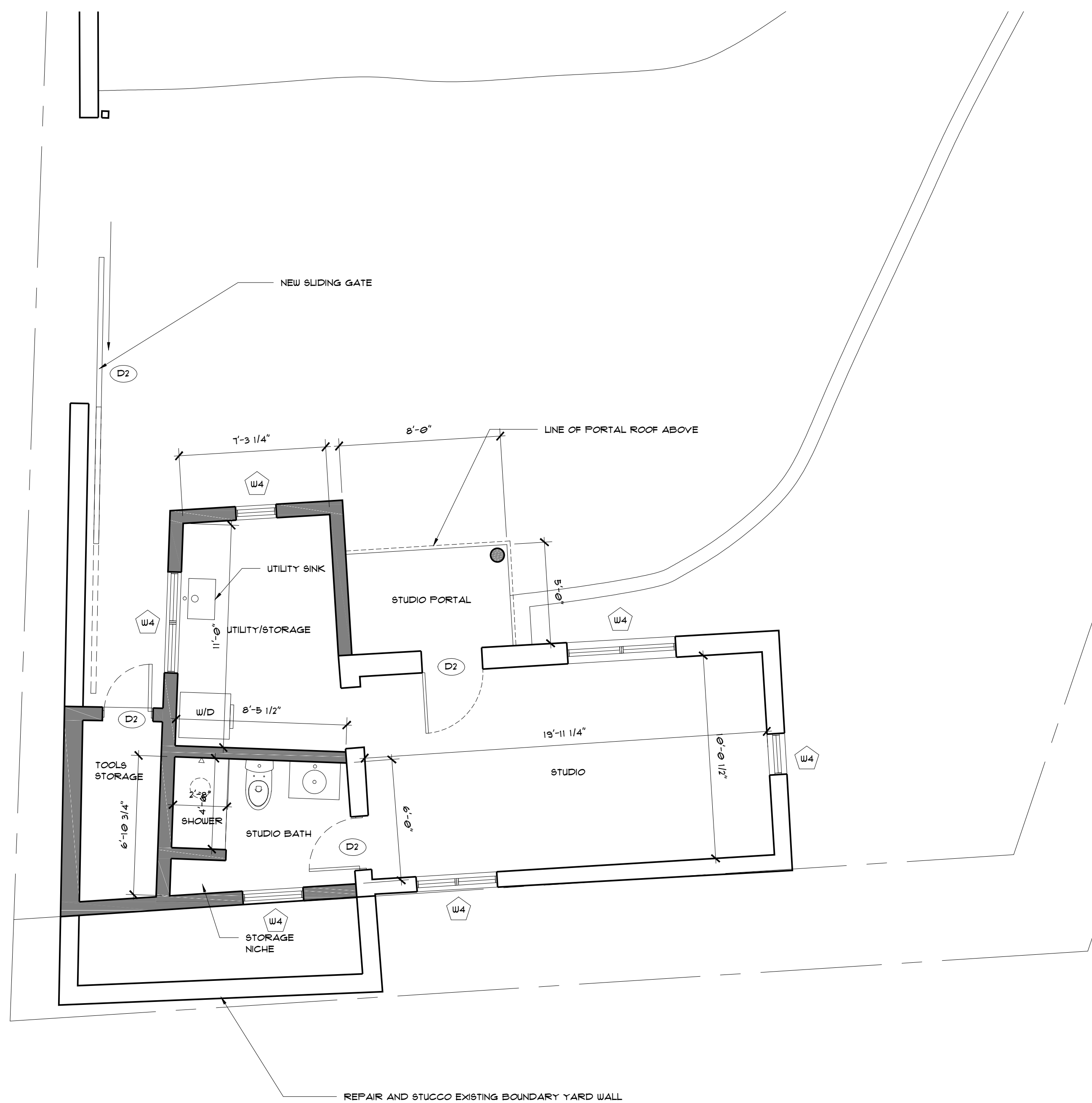
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DATE - 3/27/2025

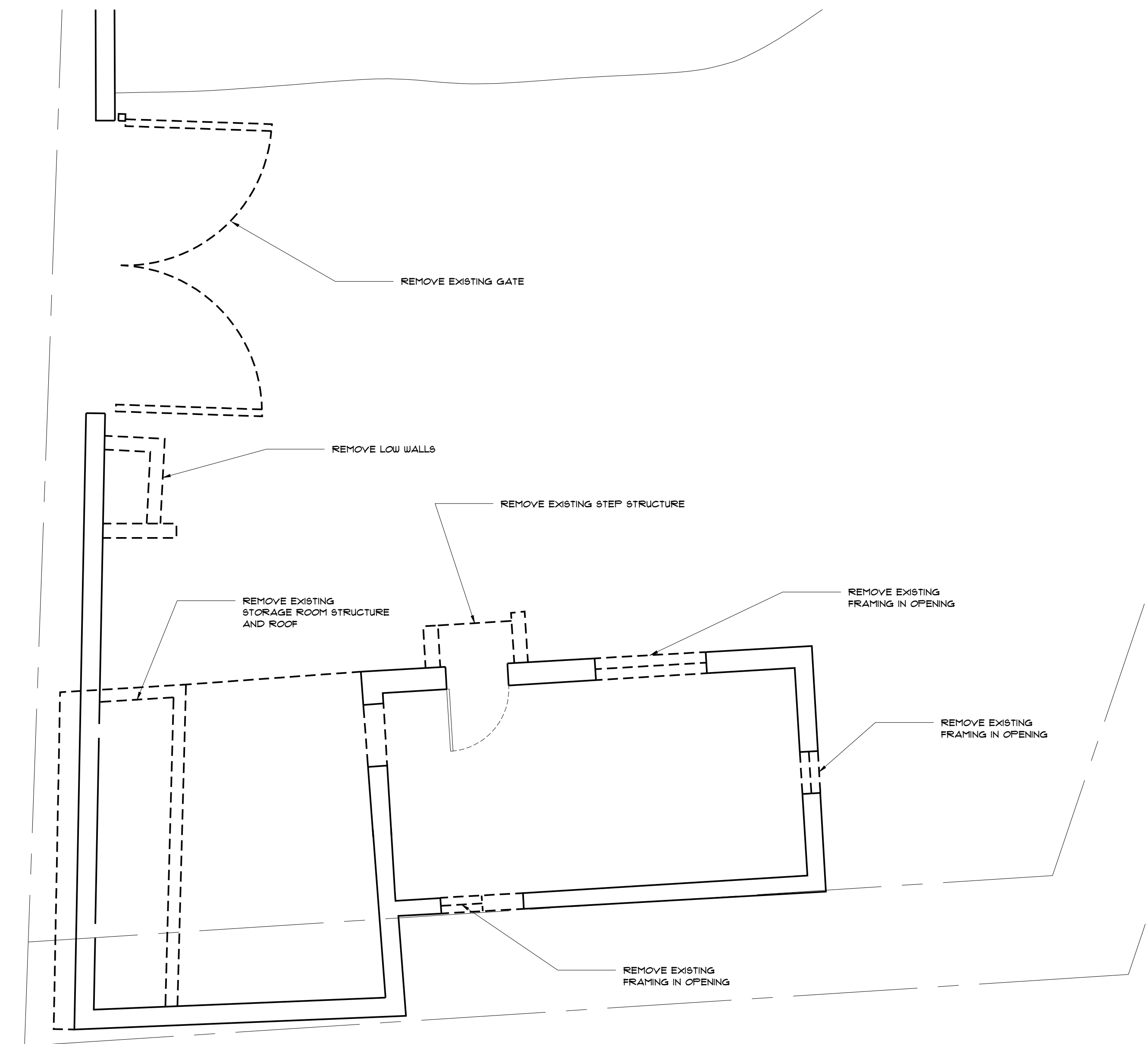
**EXISTING & PROPOSED
STUDIO FLOOR PLANS**

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501

A111

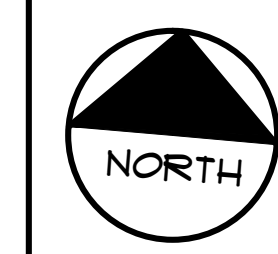


2 PROPOSED STUDIO FLOOR PLAN



1 EXISTING STUDIO (DEMOLITION) FLOOR PLAN

REVISION -



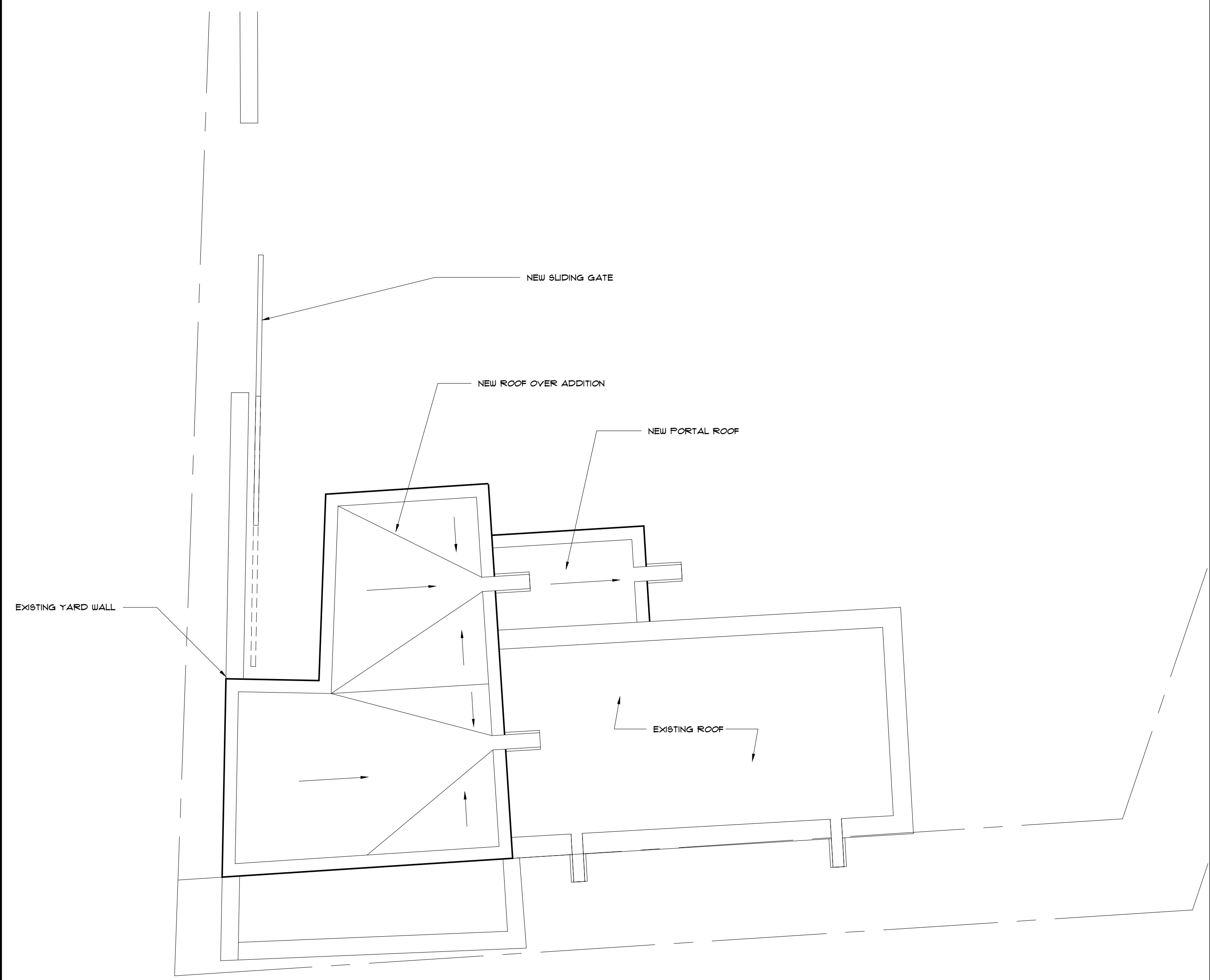
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DATE - 3/27/2025

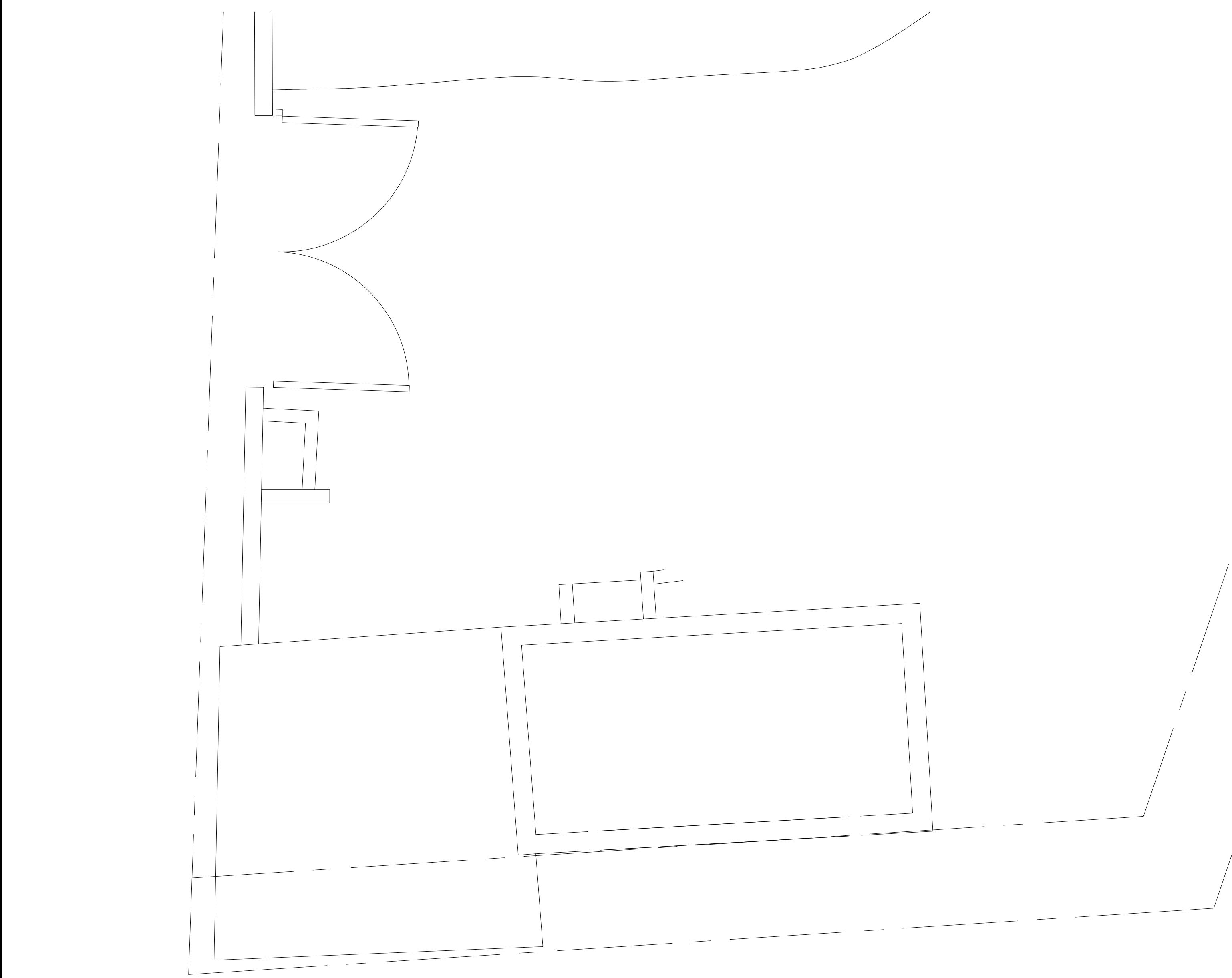
**EXISTING & PROPOSED
STUDIO ROOF PLANS**

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501

A112



2 PROPOSED STUDIO FLOOR PLAN



1 EXISTING STUDIO (DEMOLITION) FLOOR PLAN

REVISION -

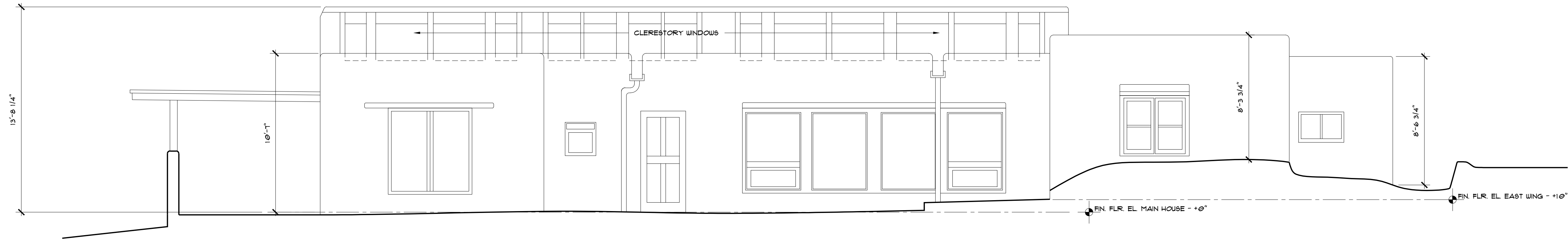
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DATE - 3/27/2025

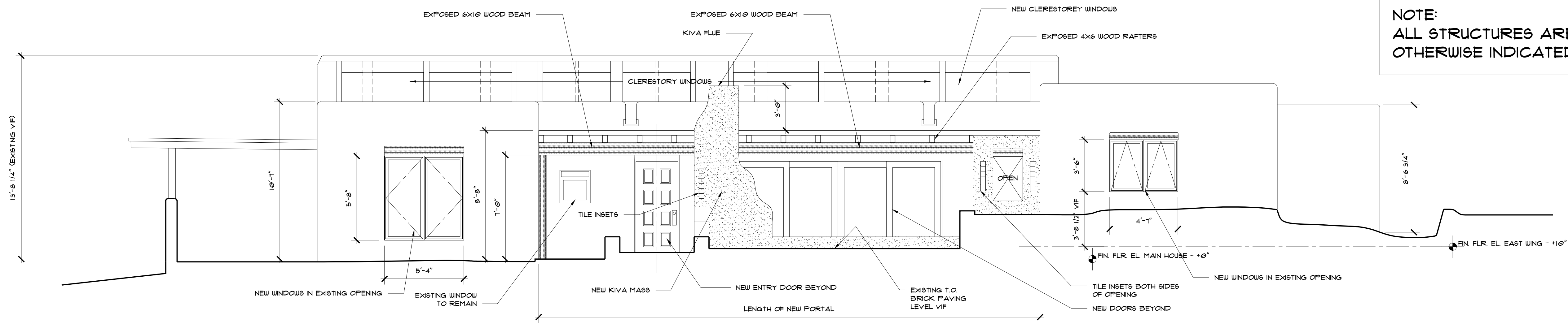
**EXISTING & PROPOSED
MAIN HOUSE EXTERIOR ELEVATIONS**

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501

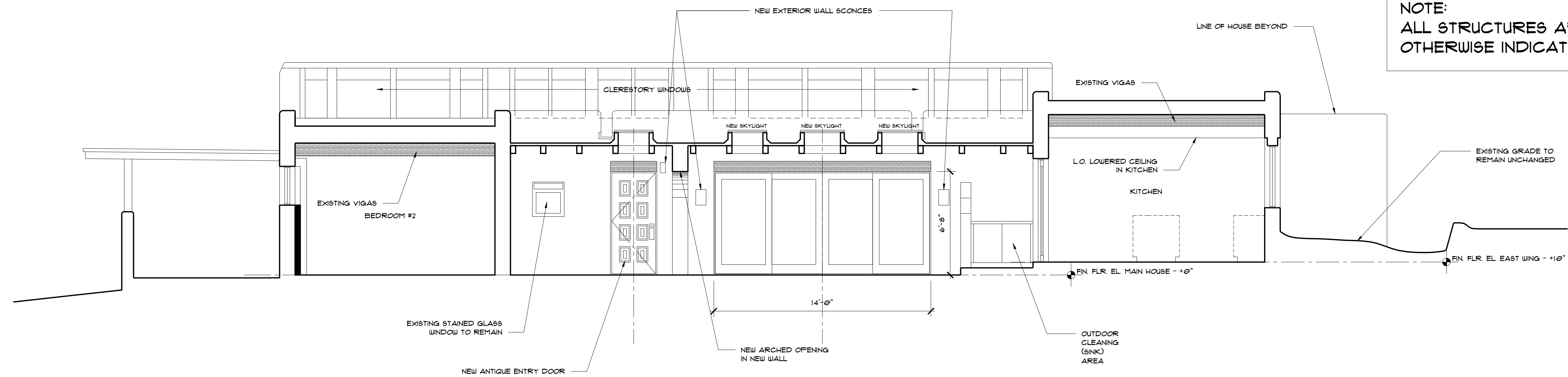
A200



1 EXISTING SOUTH ELEVATION



2 PROPOSED SOUTH ELEVATION



3 PROPOSED SOUTH ELEVATION (UNDER PORTAL)

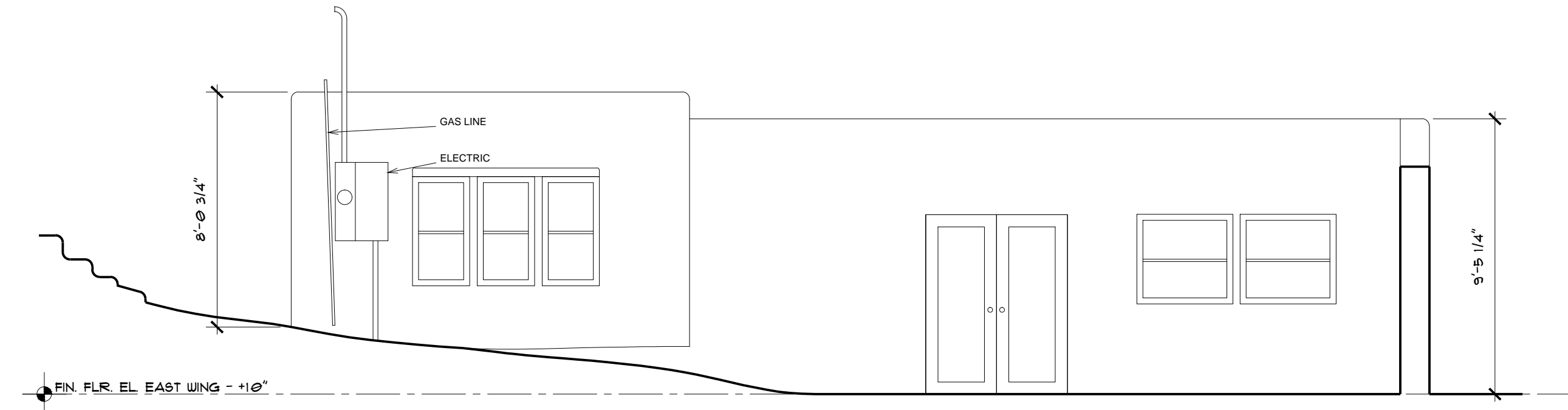
REVISION -

SCALE - 1/4" = 1'-0"
DATE - 3/27/2025

**EXISTING & PROPOSED
MAIN HOUSE EXTERIOR ELEVATIONS**

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501

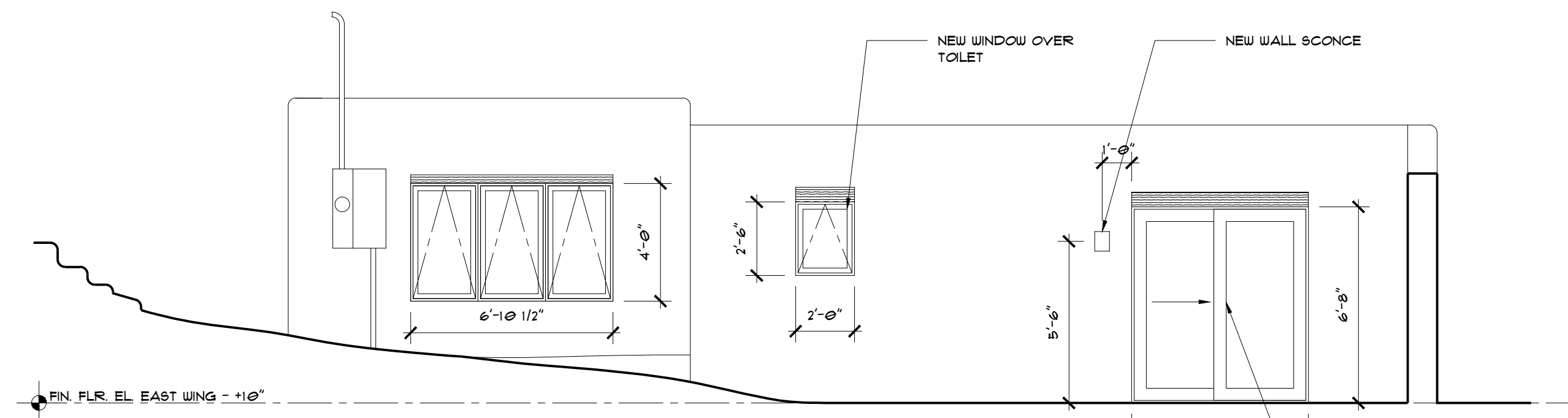
A202



EAST ELEVATION

1 EXISTING EAST ELEVATION

NOTE:
ALL STRUCTURES ARE EXISTING UNLESS
OTHERWISE INDICATED.

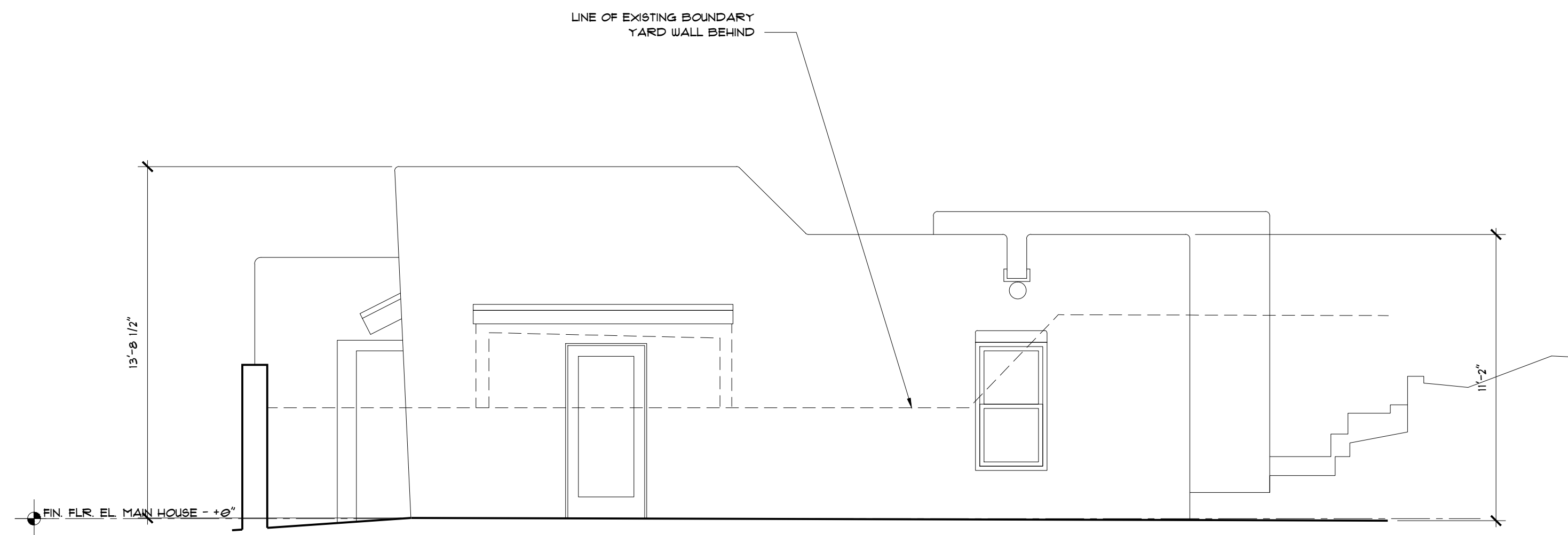


EAST ELEVATION

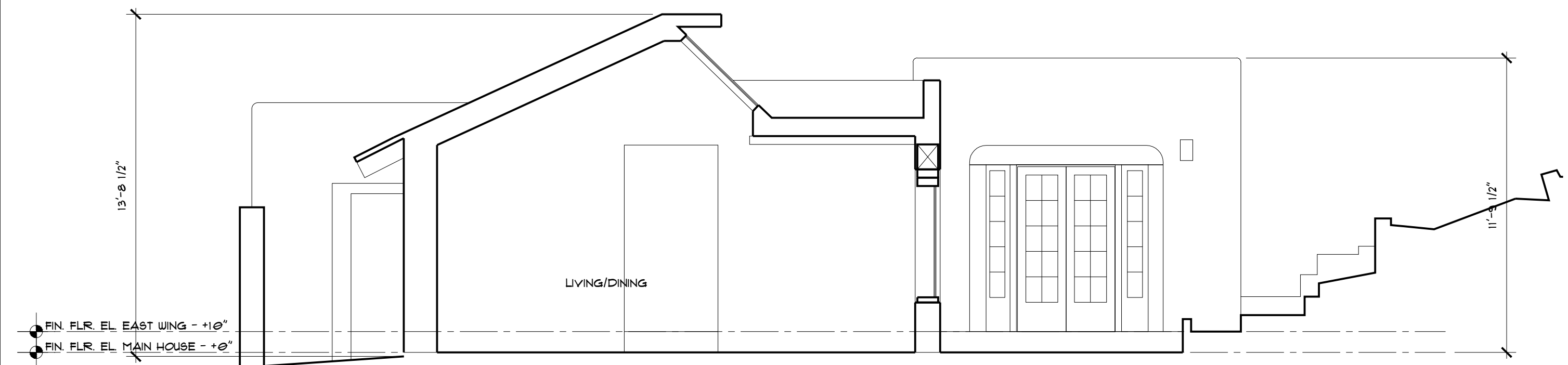
2 PROPOSED EAST ELEVATION

3

4



WEST ELEVATION

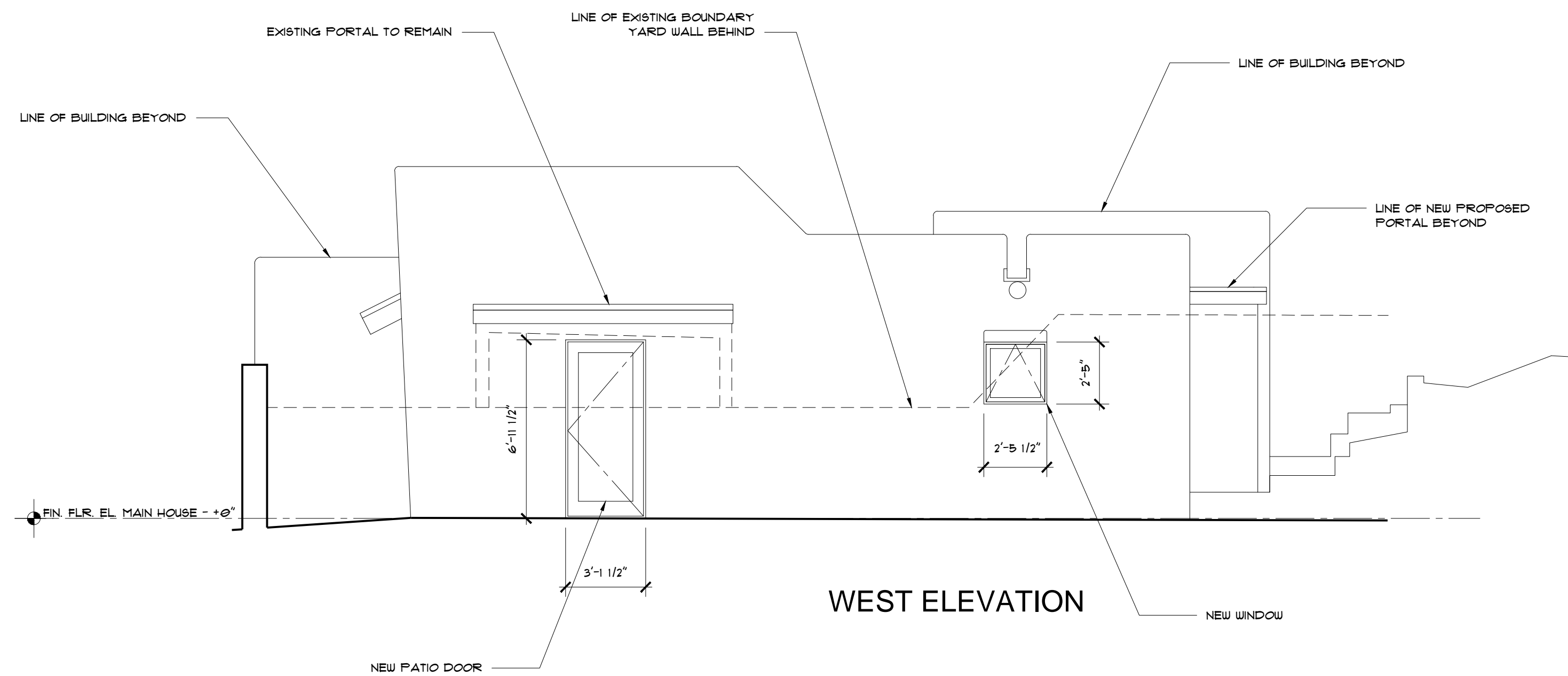


WEST ELEVATION

3 EXISTING WEST ELEVATION

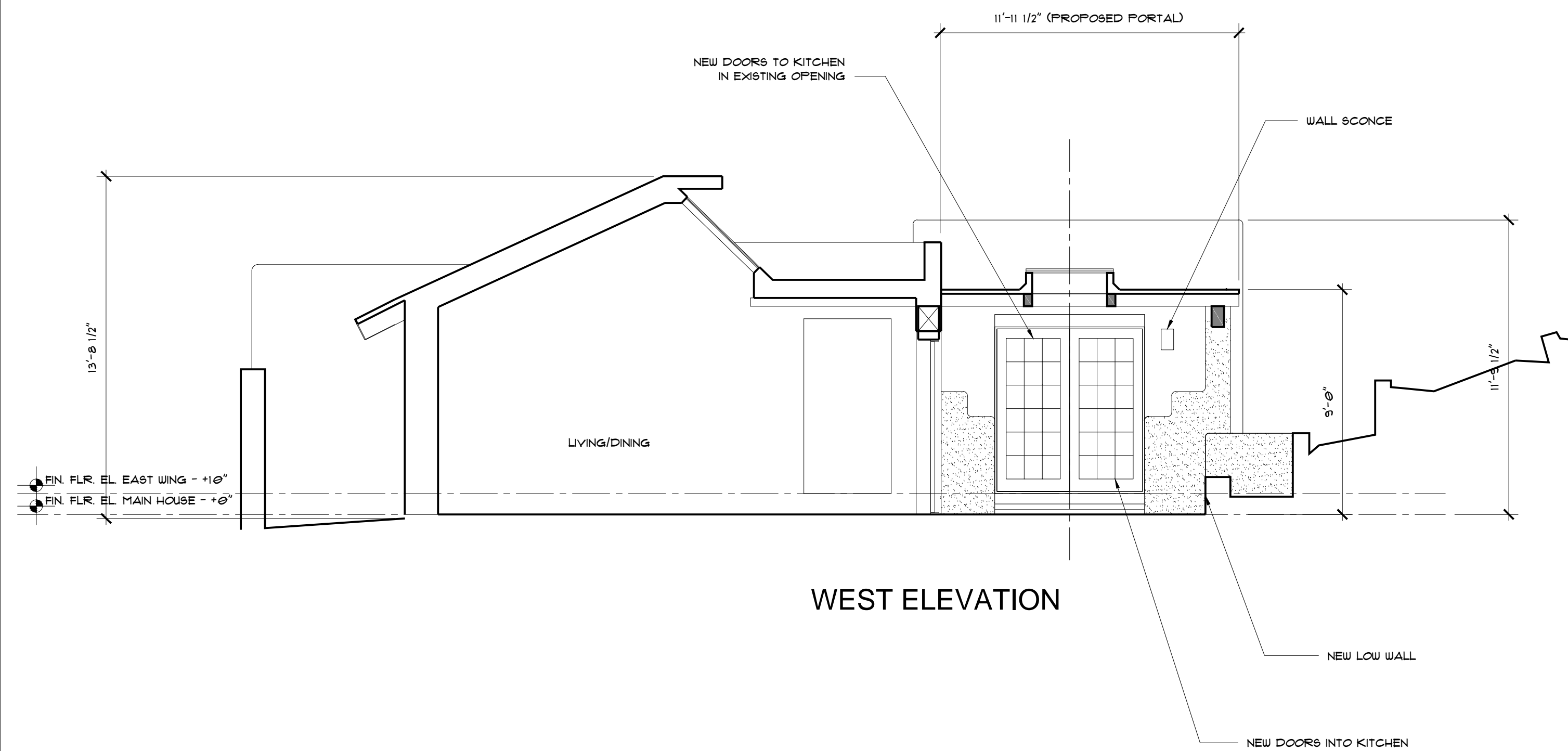
1 EXISTING WEST ELEVATION (FROM COURTYARD)

NOTE:
ALL STRUCTURES ARE EXISTING UNLESS
OTHERWISE INDICATED.



WEST ELEVATION

NOTE:
ALL STRUCTURES ARE EXISTING UNLESS
OTHERWISE INDICATED.



WEST ELEVATION

4 PROPOSED WEST ELEVATION

2 PROPOSED WEST ELEVATION (FROM COURTYARD/PORTAL)

REVISION -	
SCALE - 1/4" = 1'-0"	DATE - 3/27/2025

**EXISTING & PROPOSED
MAIN HOUSE EXTERIOR ELEVATIONS**

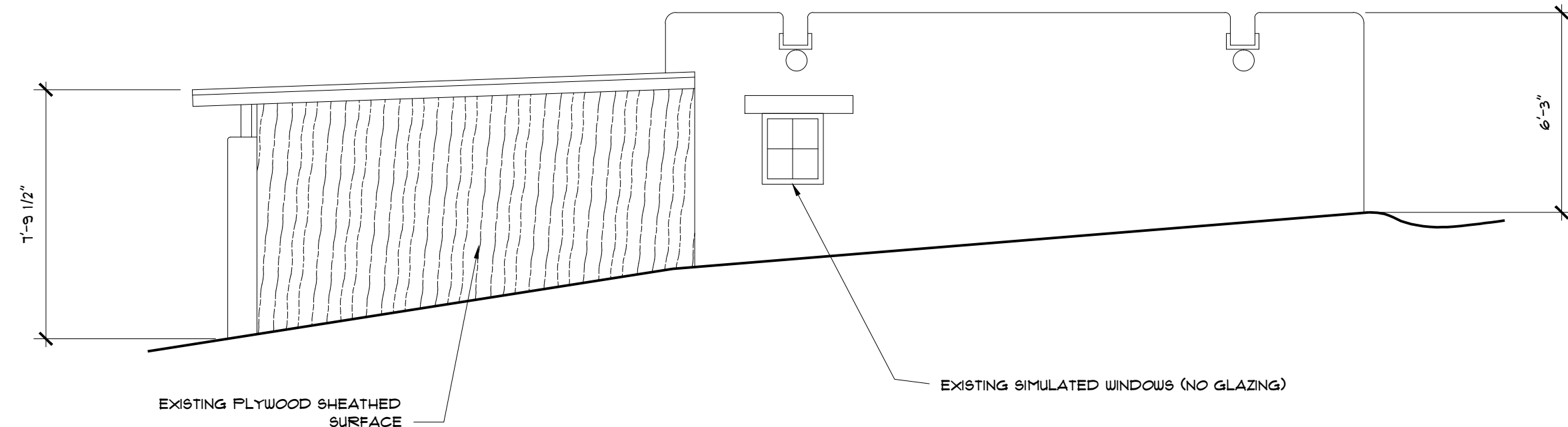
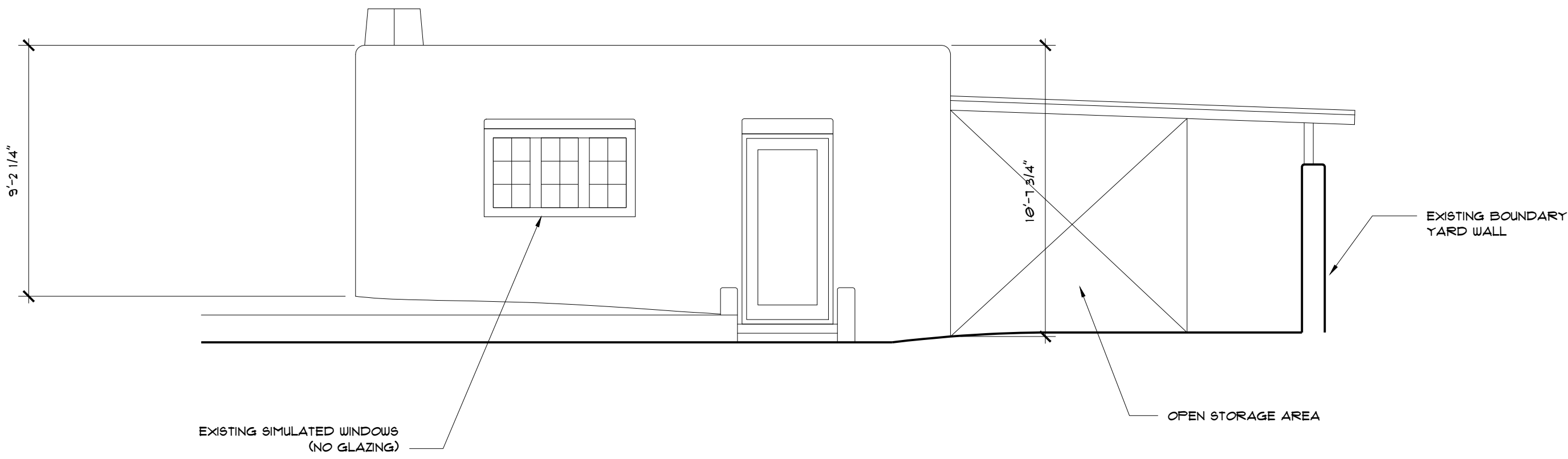
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REVISION -

SCALE - 1/4" = 1'-0"
DATE - 3/27/2025

**EXISTING & PROPOSED
STUDIO EXTERIOR ELEVATIONS**

MILES RESIDENCE
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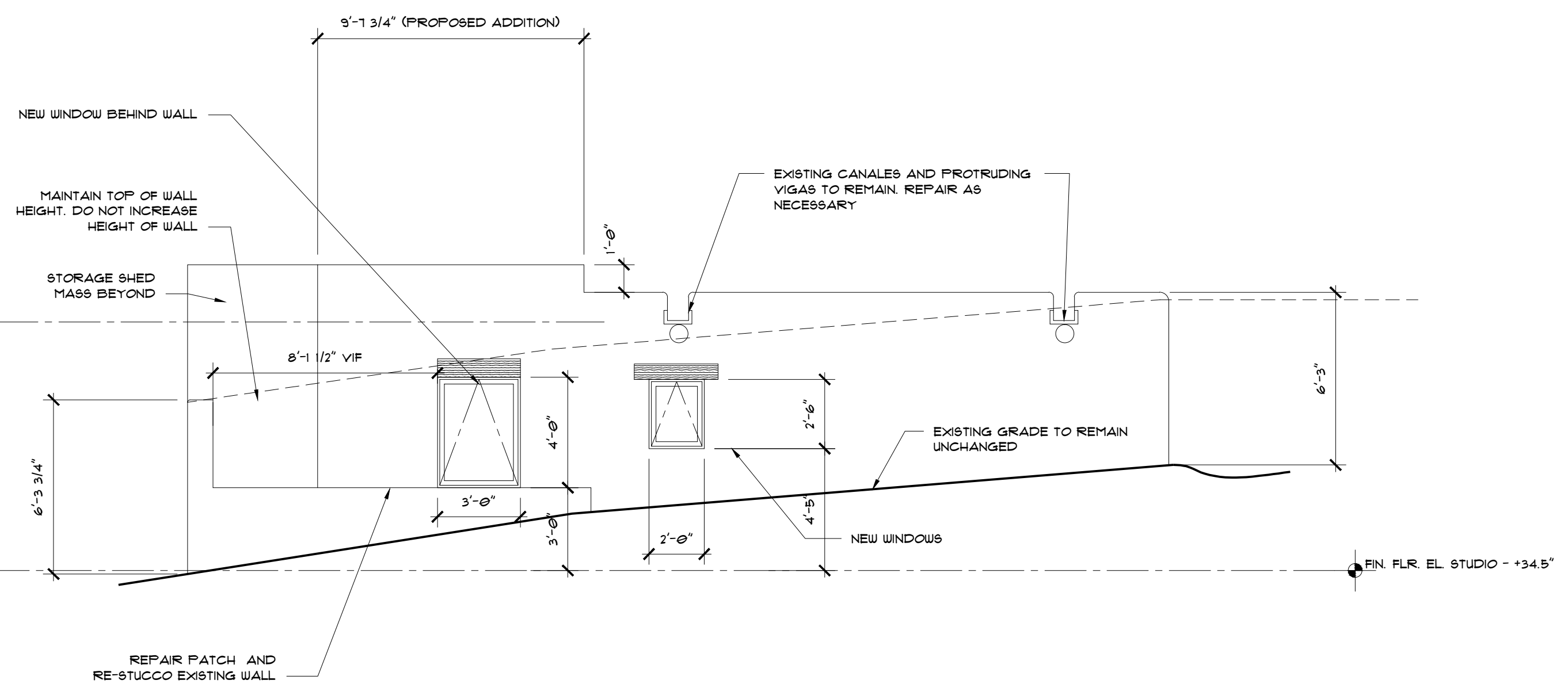
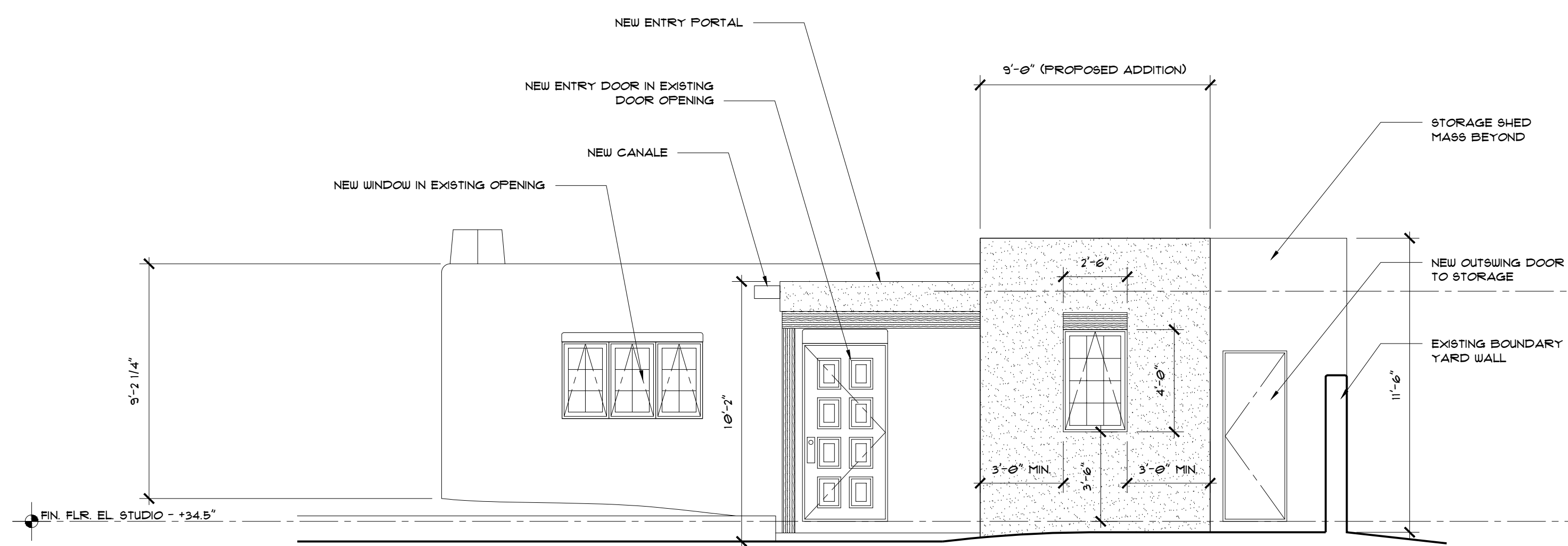


1 EXISTING STUDIO NORTH ELEVATION

2 EXISTING STUDIO SOUTH ELEVATION

NOTE:
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OTHERWISE INDICATED.

NOTE:
ALL STRUCTURES ARE EXISTING UNLESS
OTHERWISE INDICATED.



3 PROPOSED STUDIO NORTH ELEVATION

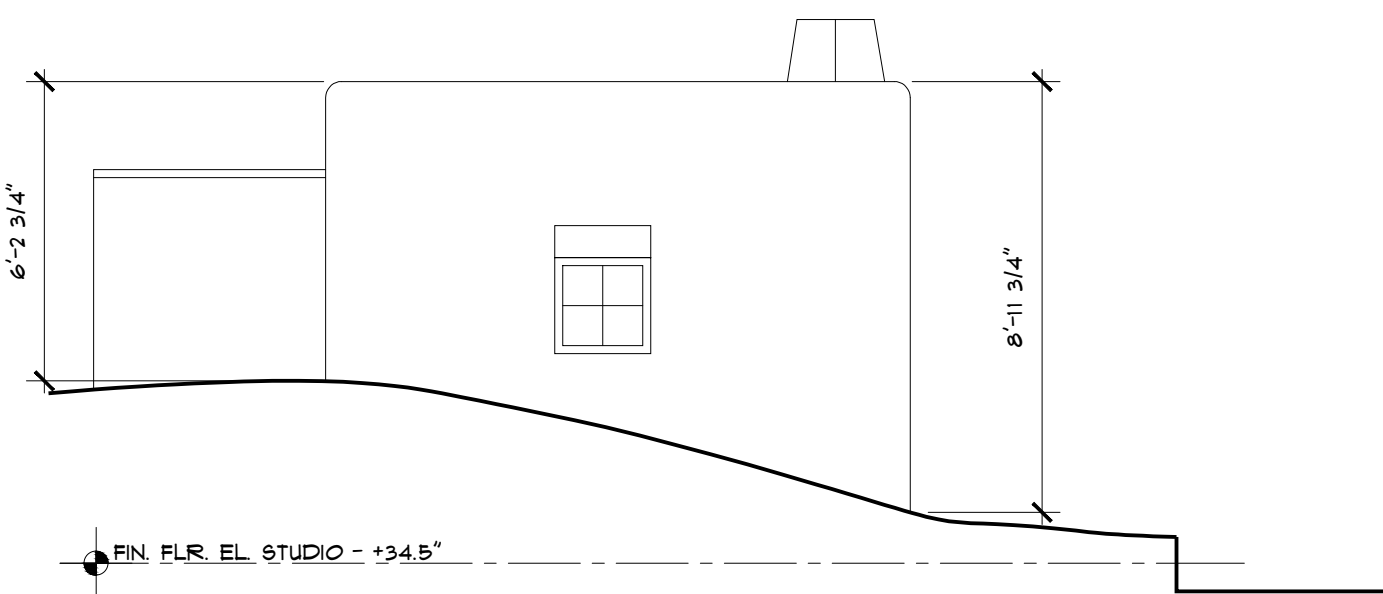
4 PROPOSED STUDIO SOUTH ELEVATION

REVISION -

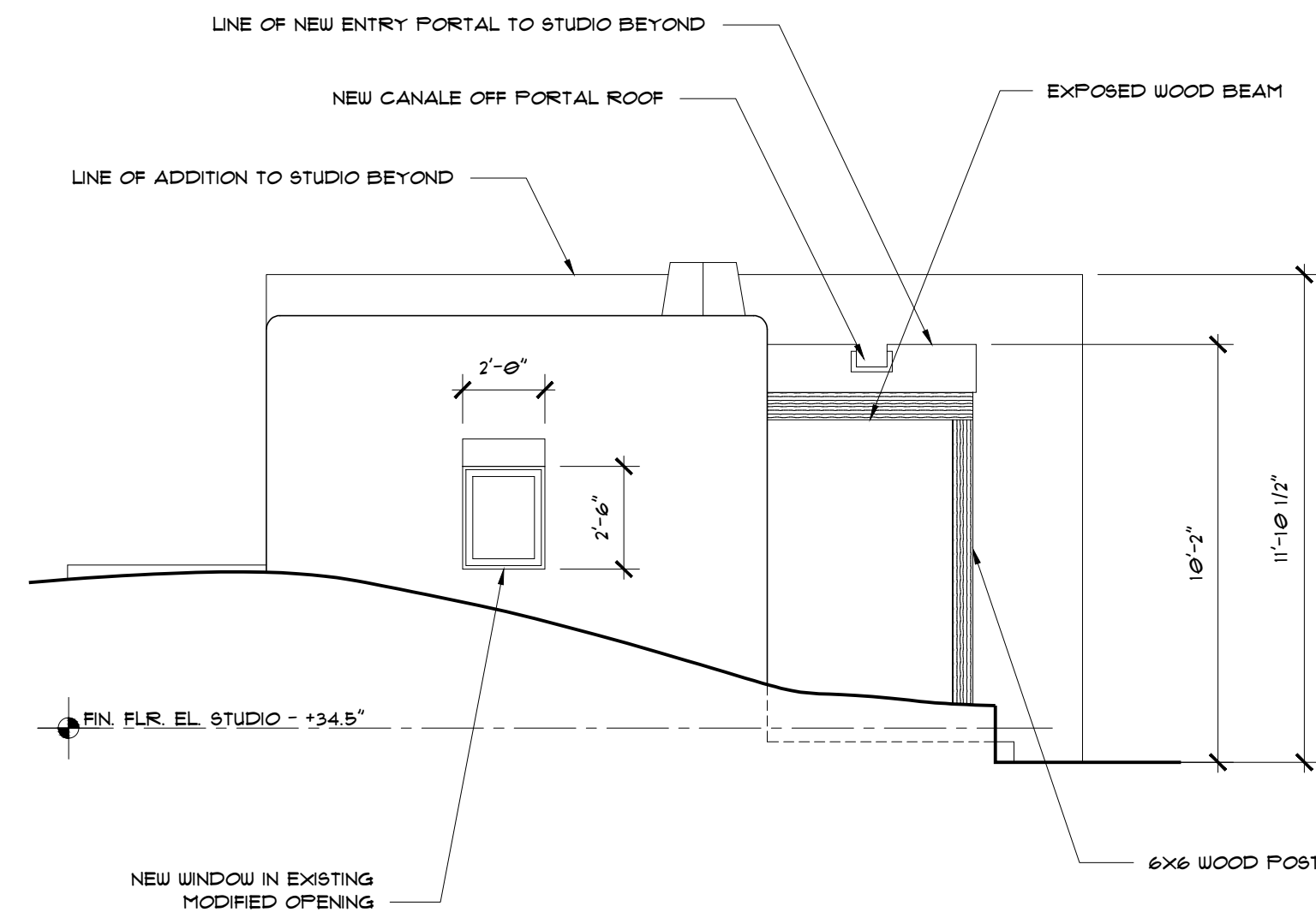
SCALE - 1/4" = 1'-0"
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**EXISTING & PROPOSED
STUDIO EXTERIOR ELEVATIONS**

MILES RESIDENCE
557 SAN ANTONIO ST., SANTA FE, NM 87501

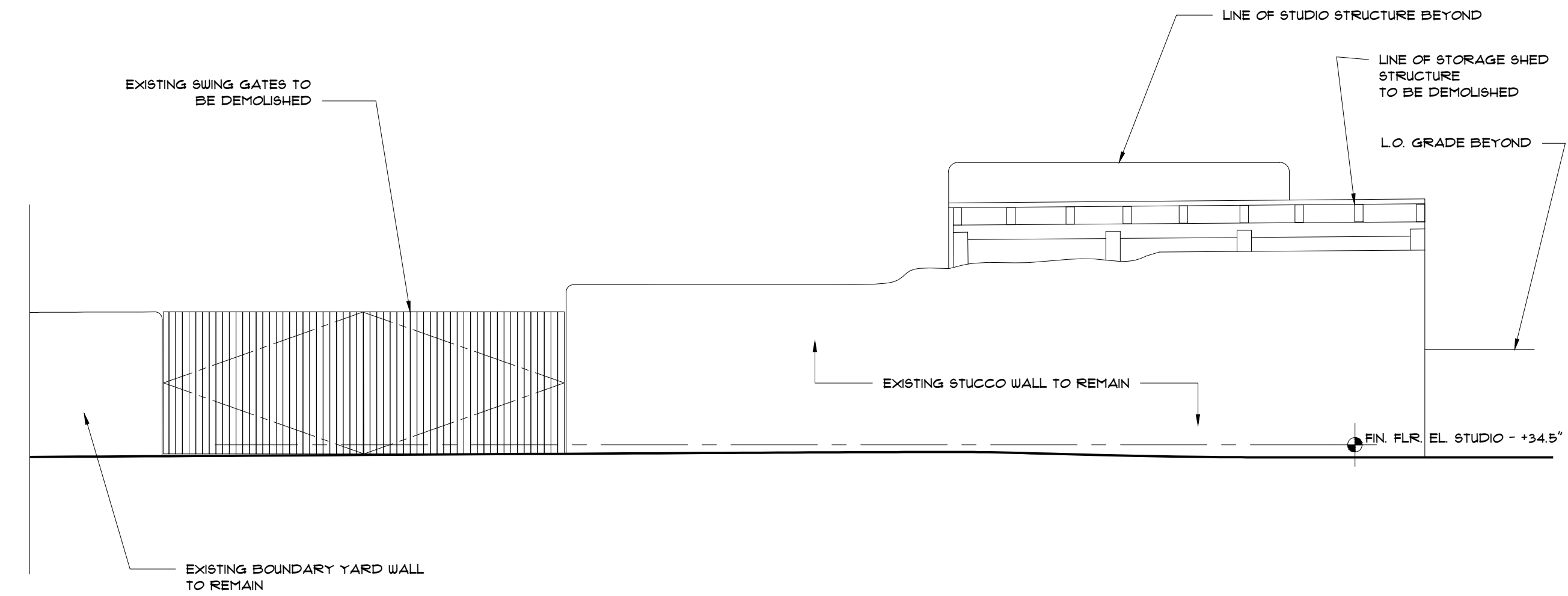


4 EXISTING STUDIO EAST ELEVATION



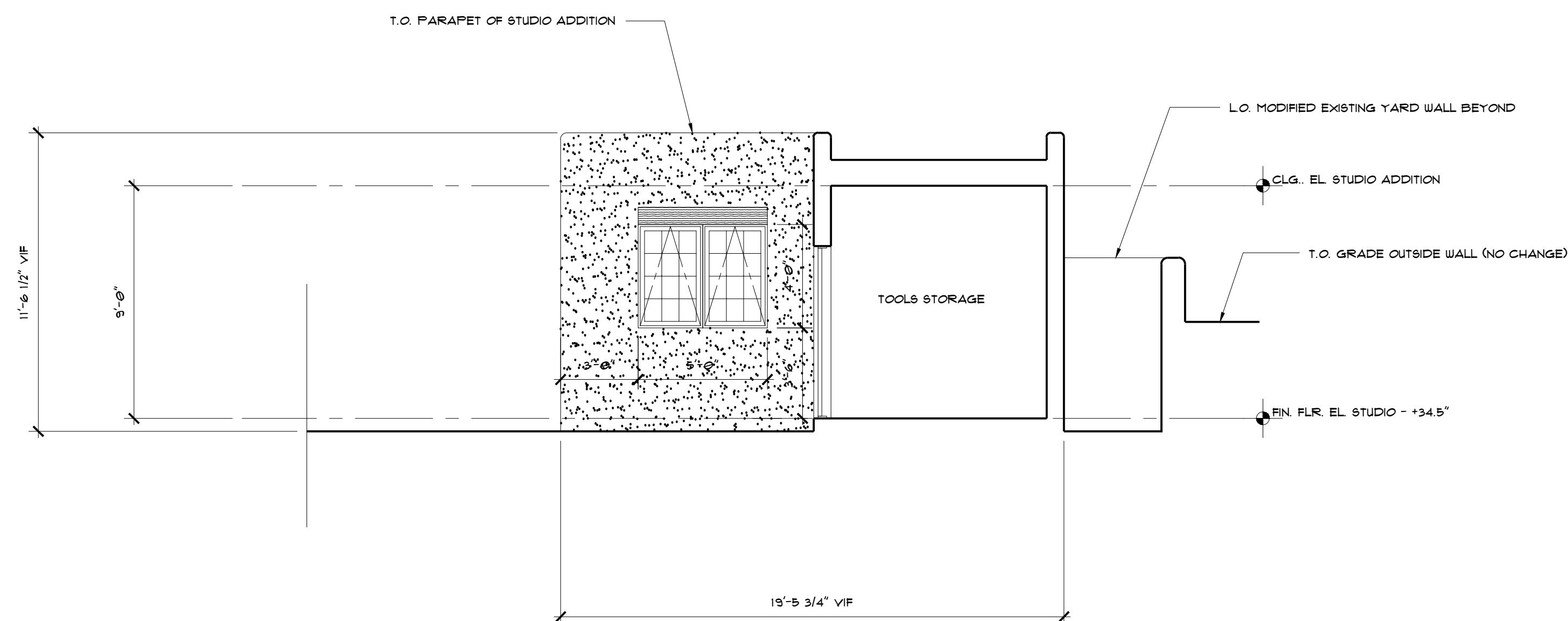
4 PROPOSED STUDIO EAST ELEVATION

NOTE:
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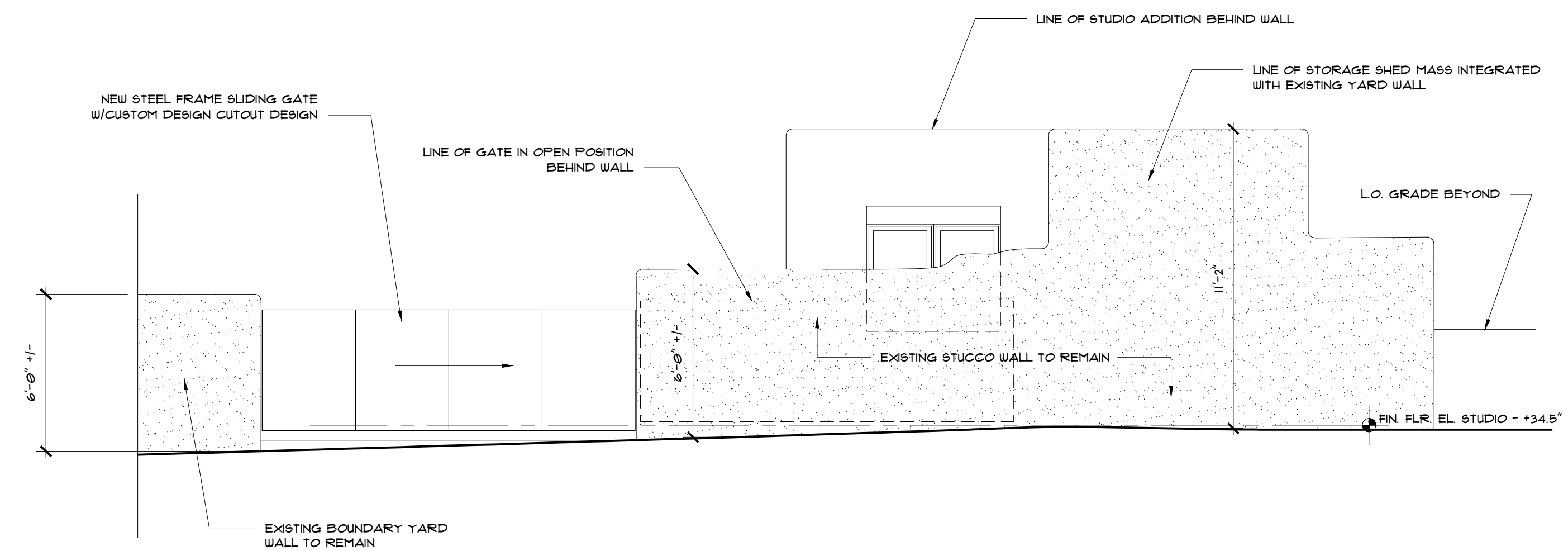
1 EXISTING STUDIO WEST ELEVATION (FROM STREET)

NOTE:
ALL STRUCTURES ARE EXISTING UNLESS OTHERWISE INDICATED.



5 PROPOSED STUDIO WEST ELEVATION (FROM INSIDE WALL)

NOTE:
ALL STRUCTURES ARE EXISTING UNLESS OTHERWISE INDICATED.



3 PROPOSED STUDIO WEST ELEVATION (FROM STREET)