

City of Santa Fe, New Mexico

Education Retirement Board Planning Commission Attachment E

Applicant Submittals

- 1. Applicant Letter**
- 2. Legal Lot of Record**
- 3. Development Plan Set**
- 4. Infrastructure Drawing Set**



NEW MEXICO
EDUCATIONAL RETIREMENT BOARD

701 Camino de los Marquez
Santa Fe, NM 87505
1-800-663-1919
www.erb.nm.gov



March 14, 2025

Heather L. Lamboy, AICP
City of Santa Fe
Director, Planning & Land Use Department
200 Lincoln Avenue, Box 909
Santa Fe, NM 87501

Dear Ms. Lamboy,

On behalf of the New Mexico Educational Retirement Board (NMERB), I am pleased to submit NMERB's development plan for the construction of a new office headquarters. The 2.999-acre property is located at 5211 Las Soleras Dr. The subject property is zoned C-2 General Commercial District.

The proposed development is a single story and fits the mass and scale of the existing neighborhood, except for the neighboring multi-family housing project. Setbacks and easements meet or exceed the required minimums. Landscaping will comply with the City of Santa Fe's requirements and are designed to be low water use. Lighting meets code requirements and will provide safe access to the property and surrounding area.

This development will have typical business traffic during regular business hours for approximately 85 full-time employees, which should have minimal impact on traffic patterns in the area. Vehicular access to the property is currently restricted to the termination of Las Soleras Drive at the roundabout; however, emergency only access is being planned on the southern end of the property. Pedestrian access is also being modified to accommodate pedestrian needs on the property.

This development meets or exceeds energy code minimums, creating a building that minimizes the demand on public utility infrastructure. The site is designed to detain storm water that can then be discharged into the existing arroyo, maintaining historical volumes without the need for storm sewer infrastructure. The addition of a photovoltaic system, on the roof and on parking canopies, is estimated to offset the annual electrical demand by

150%. Excess energy will be sold back to the electrical utility provider, helping to meet their needs and providing additional revenue that will pay back the investment.

Construction for this state-owned project began in January 2024 and is expected to be completed by April 1, 2025.

If you have any questions or concerns, please contact me at your convenience.

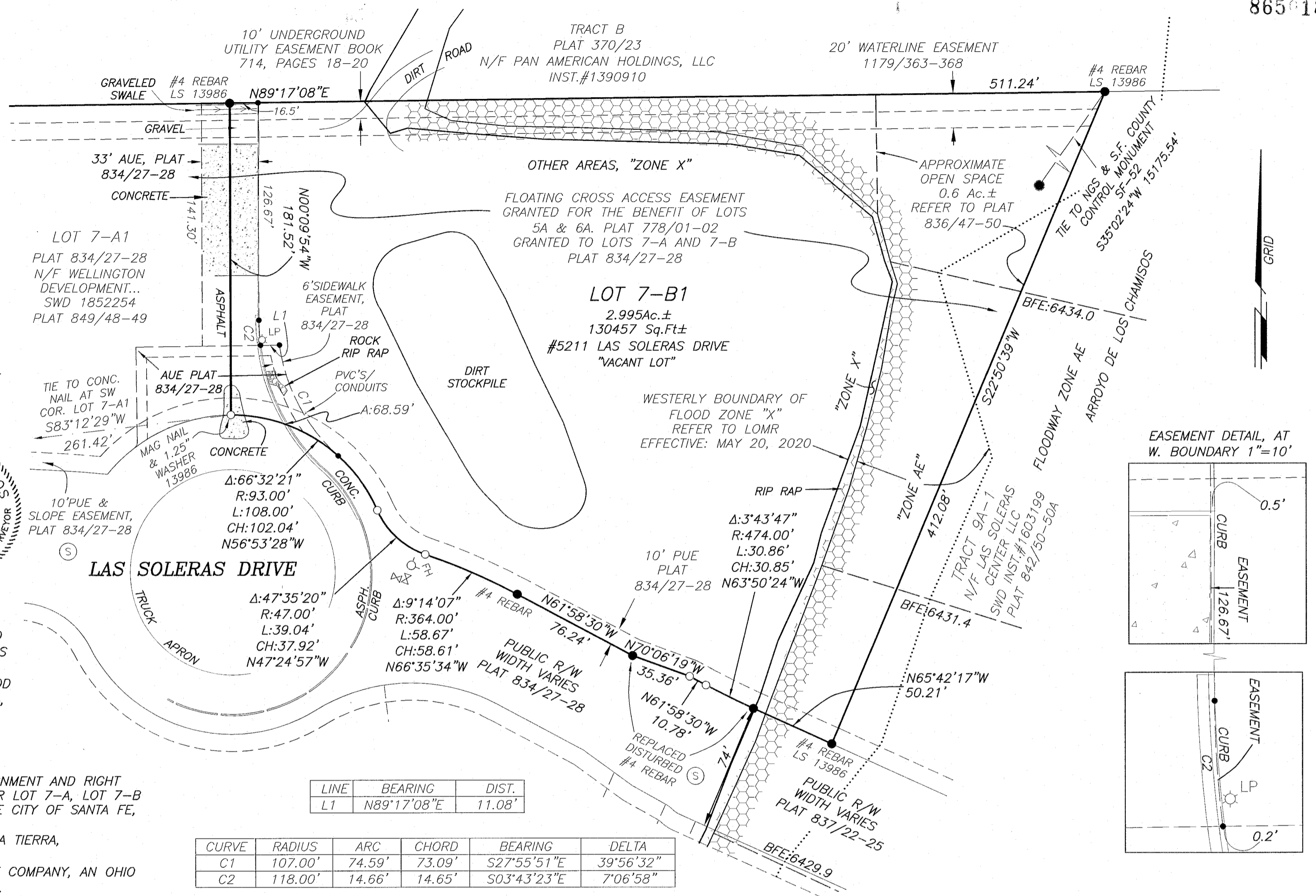
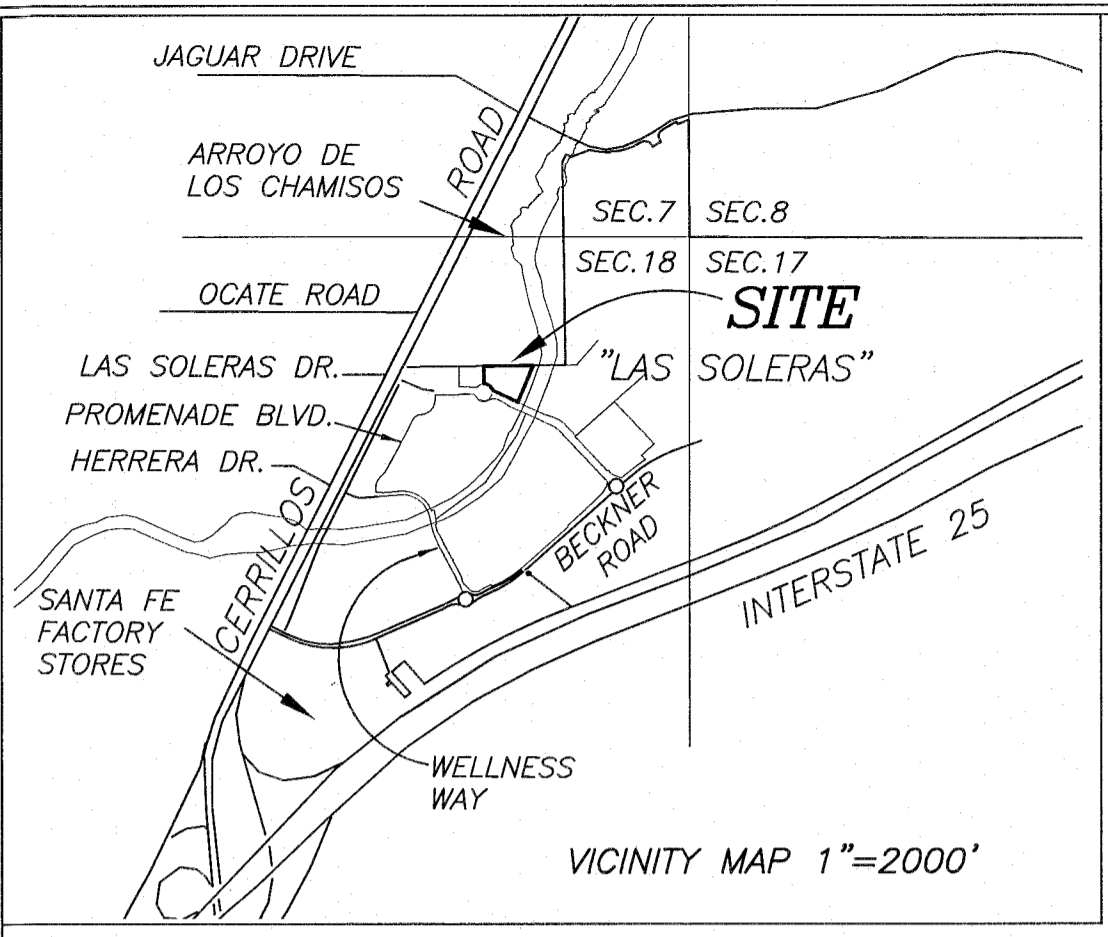
Sincerely,

A handwritten signature in black ink, appearing to read "D. Archuleta". The signature is fluid and cursive, with a prominent initial "D" and a long, sweeping horizontal stroke at the end.

David Archuleta
Executive Director
New Mexico Educational Retirement Board

PUBLIC NOTICE
 THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

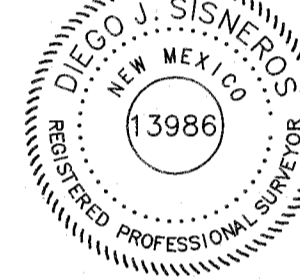
NOTES:
 THIS TRACT/LOT IS SUBJECT TO VALID COVENANTS, RESTRICTIONS CONDITIONS AND EASEMENTS OF RECORD. ALSO REFER TO THE DESIGN STANDARDS AS SHOWN ON PLAT REFERENCE #5.



SURVEYORS CERTIFICATE:

I AM A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR AND HEREBY CERTIFY THAT THE SURVEY WAS CONDUCTED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM RESPONSIBLE FOR THIS SURVEY COMPLETED ON THE 12TH DAY OF MAY, 2020 THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO. FURTHER THAT THIS IS A BOUNDARY SURVEY OF AN EXISTING TRACT, IT IS NOT A SUBDIVISION AS DEFINED BY THE NEW MEXICO SUBDIVISION ACT.

Diego J. Sisneros
 DIEGO J. SISNEROS NMPLS #13986 7/30/2020



FLOOD ZONE:

THE SUBJECT PROPERTY LIES PARTIALLY WITHIN "OTHER AREAS ZONE X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, "OTHER FLOOD AREAS ZONE X" AREAS OF 0.2% ANNUAL CHANCE FLOOD AND WITHIN "ZONE AE", THE 1% ANNUAL CHANCE FLOOD(100 YEAR FLOOD). AREAS AS DEPICTED ON LOMR, CASE #19-06-2643P, EFFECTIVE MAY 20, 2020, REVISION TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAPS (F.I.R.M.) #35049C0507E, MAP REVISED DECEMBER 4, 2012.

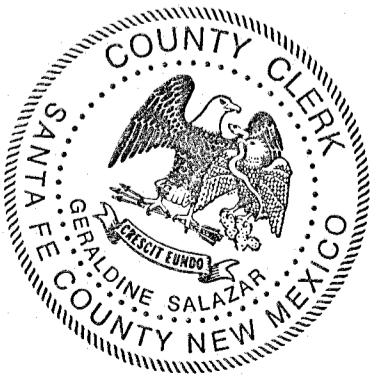
REFERENCE DOCUMENTS:

1. LOT LINE ADJUSTMENT AND ROAD DEDICATION PLAT SHOWING THE REALIGNMENT AND RIGHT OF WAY DEDICATION OF PORTIONS OF LAS SOLERAS DRIVE FROM FORMER LOT 7-A, LOT 7-B AND LOT 4B-1 PREPARED FOR LAS SOLERAS OESTE, LTD., CO. AND THE CITY OF SANTA FE, RECORDED AS INST.#1857823 IN BOOK 834 PAGE 27-28.
2. SPECIAL WARRANTY DEED, BECKNER RD. EQUITIES, INC. TO AMIGOS DE LA TIERRA, INST.#1835415
3. ALTA/NSPS SURVEY PREPARED FOR THE OHIO NATIONAL LIFE INSURANCE COMPANY, AN OHIO CORPORATION, RECORDED AS INST.#1887483 IN BOOK 849 PAGE 48-49.
4. SUBDIVISION PLAT TRACT 9-A-1A, LAS SOLERAS PREPARED FOR LAS SOLERAS CENTER, LLC, RECORDED AS INST.#1874720 IN BOOK 842 PAGES 50-50A
5. LOT SPLIT AND ROAD DEDICATION PLAT SHOWING TRACT 7 AND A PORTION OF LAS SOLERAS DRIVE... RECORDED AS INST.#1832842 IN BOOK 822 PAGES 44-45.
6. COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO.. 19-0248 DATED APR. 8, 2019, 8:00 am., PROVIDED BY PRIMA TITLE, LLC.

ALL OTHER REFERENCE DOCUMENTS AS SHOWN ON THIS OR SUBSEQUENT SHEETS.

COUNTY OF SANTA FE
 STATE OF NEW MEXICO } SS 1923554
 I hereby certify that this instrument was filed for record on the 31 day of July, 2020 A.D. at 10:53 o'clock AM, and was duly recorded in book 625, page(s) 018 of the records of Santa Fe County.

Witness my Hand and Seal of office
 Geraldine Salazar
 County Clerk, Santa Fe County, N.M.
Geraldine Salazar
 Deputy



LINE	BEARING	DIST.
L1	N89°17'08"E	11.08'

CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
C1	107.00'	74.59'	73.09'	S27°55'51"E	39°56'32"
C2	118.00'	14.66'	14.65'	S03°43'23"E	7°06'58"

CONTROL SUMMARY:

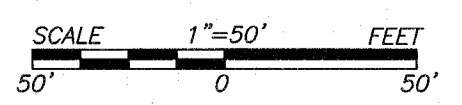
-BEARINGS ARE GRID, REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD83(1992), CENTRAL ZONE.
 -DISTANCES ARE REFERRED TO 6800 AMSL.
 -DATUM DERIVED FROM DAWSON2 GPS BASE STATION N=1,687,626.870 E=1,708,833.475 ELE=6572.376', ESTABLISHED FROM SANTA FE COUNTY CONTROL STATIONS USING DATA FROM THE 1992 BLUEBOOK REPORT FOR NGS AND S.F. CO..

LEGEND

- SET #4 REBAR LS 13986 OR AS NOTED
- CALCULATED POINT, NOT SET
- FOUND #4 REBAR LS 13986 OR AS SHOWN
- SWD SPECIAL WARRANTY DEED
- PUE PUBLIC UTILITY EASEMENT
- AUE ACCESS & UTILITY EASEMENT
- FH FIRE HYDRANT
- W WATER VALVE
- LP LIGHT POLE
- SANITARY SEWER MANHOLE
- BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

"TITLE AND INDEXING INFORMATION FOR COUNTY CLERK"

BOUNDARY SURVEY
 PREPARED FOR
 NEW MEXICO EDUCATIONAL RETIREMENT BOARD
 SHOWING
 LOT 7-B1 LAS SOLERAS
 RECORDED AS PLAT BOOK 834 PAGES 27-28
 CURRENT OWNER OF RECORD: AMIGOS DE LA TIERRA LTD. CO
 LOT 7-B1 UPC#: 1-049-094-348-384.
 PLSS DESIGNATION: SECTION 18, T16N, R9E, NMPM,
 CITY & COUNTY: SANTA FE
 STATE: NEW MEXICO



DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2502 A CAMINO ENTRADA
 SANTA FE, N.M., 87507
 FILE#10486BDY DATE:7/30/2020

WARRANTY DEED

Prima Title, LLC
file# 20-0463

Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company, for consideration paid, grants to New Mexico Educational Retirement Board whose address is 701 Camino de los Marquez, P.O. Box 26129, Santa Fe, NM 87502, the following described real estate in Santa Fe County, New Mexico:

Lot 7-B1, Las Soleras, as shown and delineated on plat of survey entitled "Boundary Survey prepared for New Mexico Educational Retirement Board showing Lot 7-B1 Las Soleras... Section 18, T16N, R9E, NMPM, City & County: Santa Fe State: New Mexico", recorded July 31, 2020, in Plat Book 865, Page 018, as # 1923554, records of Santa Fe County, New Mexico.

SUBJECT TO: See Exhibit "A" attached hereto and made a part thereof
with warranty covenants.

Witness my hand and seal this January 6, 2021.

Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company



(Seal)

By: Kurt A. Sommer, Manager

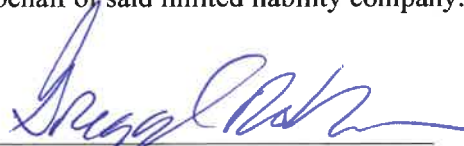
RECEIVED
JAN 15 2021
NM Educational Retirement Board
Santa Fe Office

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO

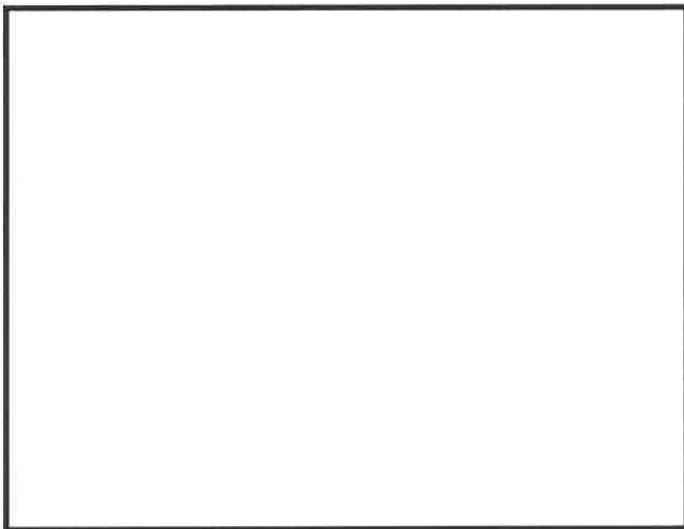
COUNTY OF SANTA FE

This Instrument was Acknowledged before me on January 6, 2021 by Kurt A. Sommer, Manager of Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company on behalf of said limited liability company.



Notary Public

My Commission Expires: _____



Recorded Electronically
ID 1939816
County Santa Fe
Date 1-8-21 Time 9:18:16am
CSC eRecording 855-200-1150



OFFICIAL SEAL
GREGG S. ROBINSON
NOTARY PUBLIC - STATE OF NEW MEXICO

My commission expires: 07-02-24

EXHIBIT "A"

Taxes and assessments for the year 2021 and thereafter, not yet due and payable.

Sewer maintenance and garbage disposal assessments not yet due and payable.

Reservations and exceptions contained in Patent from the United States of America to Amos W. Beckner, recorded February 17, 1941 in Patent Book C, Page 14, records of Santa Fe County, New Mexico.

Terms and conditions contained in Annexation Agreement, recorded March 4, 2010 as Instrument #1592456, records of Santa Fe County, New Mexico.

Terms and conditions contained in City of Santa Fe Ordinance, recorded March 19, 2010 as Instrument #1593744, records of Santa Fe County, New Mexico

Terms and conditions contained in City of Santa Fe Ordinance, recorded March 19, 2010 as Instrument #1593745, records of Santa Fe County, New Mexico

Terms and conditions contained in Declaration of Cross Access Easements, Maintenance Covenants and Restrictions (Lots 5A, 6 and 7), recorded December 22, 2011 as Instrument # 1655234, records of Santa Fe County, New Mexico.

Easements and rights incident thereto, notes, conditions and restrictions, as shown and delineated on this plat of survey entitled "Las Soleras Annexation, General Plan Amendment, Rezoning to Multiple Zoning Districts", recorded March 4, 2010 in Plat Book 714, Pages 014-026, # 1592455, records of Santa Fe County, New Mexico.

Notes, conditions and restrictions, as shown and delineated on plat of survey entitled "Lot Line Adjustment and Road Realignment Plat Showing Tracts 4A, 4B, 5A, 6, 7, a Portion of Las Soleras Drive...", recorded August 5, 2011 in Plat Book 735, Pages 009-010, # 1642009, records of Santa Fe County, New Mexico.

Notes, restrictions and conditions, as shown and delineated on plat of survey entitled "Las Soleras Amended Master Plan Township 16N, Range 9E, Sections 7, 8, 17 & 18.", recorded January 4, 2017 in Plat Book 812, Pages 037-046, # 1814047 and recorded July 17, 2018 in Plat Book 836, Pages 047-050D, # 1862707, records of Santa Fe County, New Mexico.

Easements and rights incident thereto, notes, conditions, dedication and restrictions, as shown and delineated on plat of survey entitled "Lot Split and Road Dedication Plat showing Tract 7 and a portion of Las Soleras Drive...prepared for Las Soleras Oeste Ltd. Co. within Section 18, T.16N., R.9E., N.M.P.M. City & County of Santa Fe, N.M.", recorded August 3, 2017 in Plat Book 822, Page 044, # 1832842, records of Santa Fe County, New Mexico.

Easements and rights incident thereto, dedication, notes, conditions and restrictions, as shown and delineated on plat of survey entitled "Lot Line Adjustment and Road Dedication Plat Showing the Realignment and Right of Way Dedication of Portions of Las Soleras Drive from Former Lot 7-A, Lot 7-B and Lot 4B-1, Prepared for Las Soleras Oeste, Ltd, Co. and the City Of Santa Fe", recorded May 17, 2018 in Plat Book 834, Pages 027-028, Inst # 1857823 as amended by Ratification and Acceptance of Plat, executed by Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company, recorded May 14, 2020, as Instrument # 1916292, records of Santa Fe County, New Mexico.

Easements, encroachment of rip rap onto easements, rights of others in and to all aforementioned and notes, as shown and delineated on plat of survey entitled "Boundary Survey prepared for New Mexico Educational Retirement Board showing Lot 7-B1 Las Soleras... Section 18, T16N, R9E, NMPM, City & County: Santa Fe State: New Mexico", recorded July 31, 2020, in Plat Book 865, Page 018, as # 1923554, records of Santa Fe County, New Mexico.

SITE DEVELOPMENT PLAN

NMERB New Office Building

Santa Fe, NM | Section 18, Township 16 North & Range 9 East

CITY APPROVALS

Approval by Santa Fe Planning Commission at their meeting of _____, 20____, as Case No. _____.

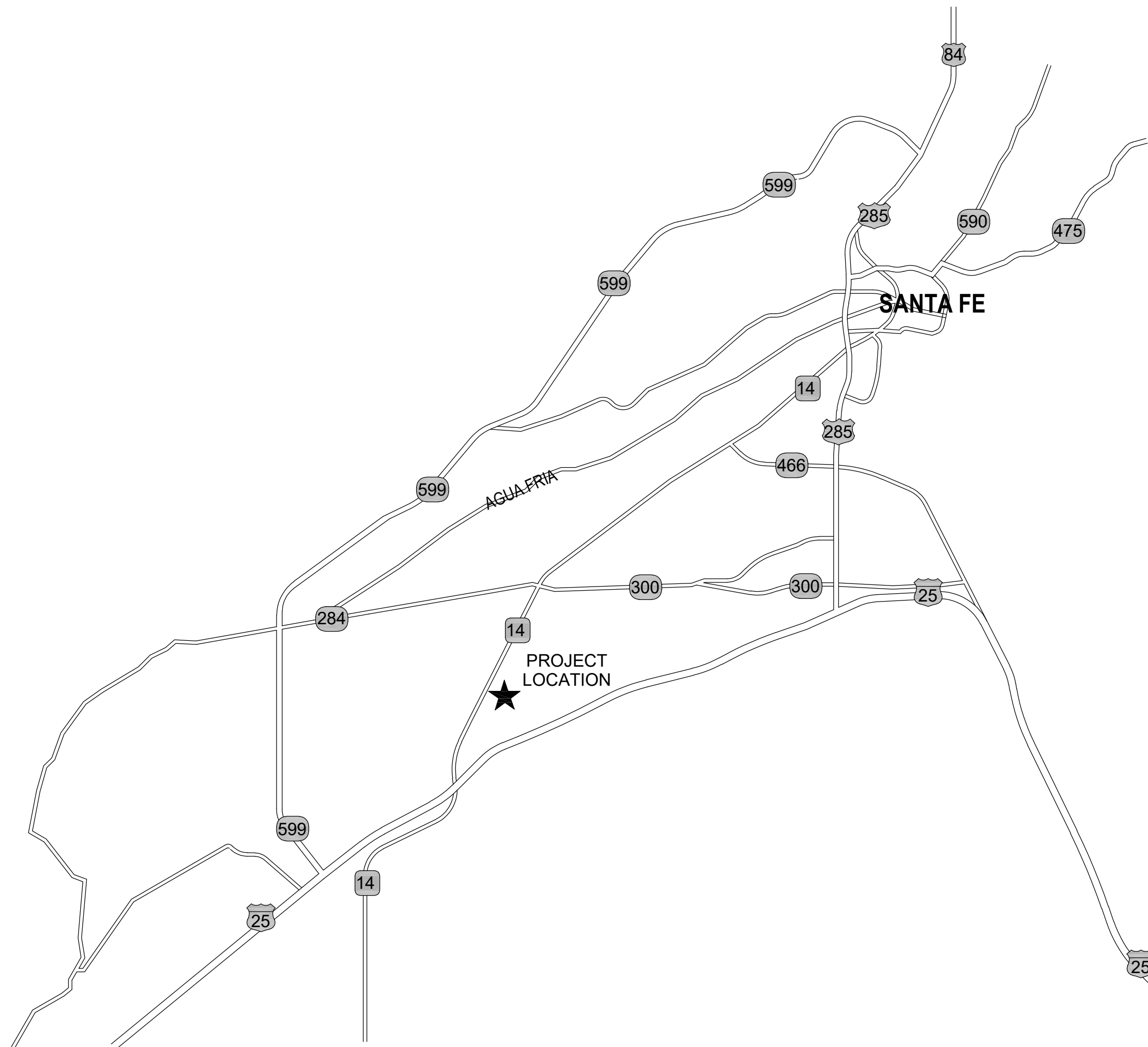
Planning Commission Chairperson _____
Date _____

Planning Commission Secretary _____
Date _____

Approved by the City of Santa Fe Land Use Department:

City Planner _____
Date _____

City Engineer of Land Use _____
Date _____

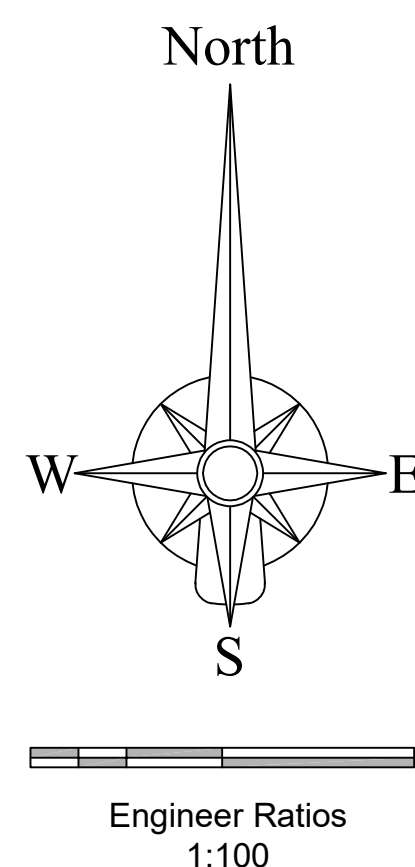


CONDITIONS OF APPROVALS

- The First Condition of Approval is to provide Development Plan as described in City of Santa Fe Municipal Code Chapter 14-3.8 and as provided to applicant in detailed letter on March 5, 2025.
- The Second Condition of Approval is to provide Photometric Analysis Plan.
- The Third Condition of Approval is the area has been previously cleared by archaeology from Lone Mountain in 2006.
- The Fourth Condition of Approval is it shall comply with IFC 2021.
- The Fifth Condition of Approval is it shall provide solution for encroachment of parking structure into fire lane. Shall verify location of FDC in relation to hot box and building.
- The Sixth Condition of Approval is the connection of access road at property to Las Soleras shall be completed the time of "At the time of development" of Las Soleras.
- The Seventh Condition of Approval is the City sewer service for this project may be obtained by connection to an 8-inch public PVC sewer line located in front of the proposed building site. The connection of a 4-inch service line may be connected directly to the sewer line. A 6-inch service line shall require connection directly to a sewer manhole.
- The Eighth Condition of Approval is an approved Water Plan will be required for all new public water infrastructure and fire services.
- The Ninth Condition of Approval is an approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.
- The Tenth Condition of Approval is a separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.
- The Eleventh Condition of Approval is any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.
- The Twelfth Condition of Approval is an approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.
- The Thirteenth Condition of Approval is an Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.
- The Fourteenth Condition of Approval is each lot shall be served by separate water service at the time of development.
- The Fifteenth Condition of Approval is an agreement for metered service (AMS) will be required to install new services, including water offset fees.

NOTES

- Development Construction Plan drawings (such as Elevations, Lighting, Civil, Engineering Plans, etc...) are filed in the map room with the City of Santa Fe Case #: _____.
- City of Santa Fe Drainage:
 - Subject to the approval of City of Santa Fe Permit and Development Review Division staff, storm drainage and erosion sediment control improvements shall be executed in conjunction with the construction of each segment of roads and utilities. These improvements shall be completed and inspected prior to the issuance of building permits.
 - Maintenance of private drainage easements and drainage facilities is the responsibility of the owner. The City of Santa Fe is hereby granted the right to access and inspect these easements and drainage facilities at the discretion of the City. The owner agrees to indemnify and to hold harmless from all damage to persons of property resulting from the City's reasonable exercise to their access and inspection right.



<p>ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION</p> <p>I, THE UNDERSIGNED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE RECORD INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND VISUAL INSPECTIONS PERFORMED BY MYSELF OR UNDER MY DIRECTION SUPERVISION. I FURTHER CERTIFY THAT THE RECORD CONDITION AS OF _____ IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN PREPARED BY _____, DATED _____.</p> <p>SIGNATURE _____ NMPE# _____ DATE _____</p>	<p>COUNTY OF SANTA FE } SS STATE OF NEW MEXICO }</p> <p>I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AND RECORDED ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M, AND WAS DULY RECORDED IN BOOK _____ PAGE _____ OF THE RECORDS OF SANTA FE COUNTY.</p> <p>WITNESS MY HAND AND SEAL OF OFFICE KATHARINE E. CLARK COUNTY CLERK, SANTA FE COUNTY</p> <p>_____ DEPUTY</p>	<p>AFFIDAVIT</p> <p>KNOWW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.</p> <p>[OWNER] THE FOREGOING WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY _____ THIS _____ DAY OF _____, 20____.</p> <p>_____ NOTARY PUBLIC</p> <p>MY COMMISSION EXPIRES _____</p>
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Owner: New Mexico Educational Retirement Board 701 Camino de los Marquez Santa Fe, NM 87502 TEL: (505) 827-8030	
Applicant: New Mexico Educational Retirement Board 701 Camino de los Marquez Santa Fe, NM 87502 TEL: (505) 827-8030	
Project Name: Educational Retirement Board	Project Address: 5211 Las Soleras Drive
Case #: 2025-010094-PLBD	Sheet Name: COVER SHEET
Sheet #: SP-0	

EXISTING CONDITIONS PLAN

NMERB New Office Building

Santa Fe, NM | Section 18, Township 16 North & Range 9 East

PROPERTY INFORMATION

ZONING: C-2 (General Commercial; Las Soleras Subdivision)

OVERLAYS: Suburban Archaeological Review District

HISTORIC STATUS: NONE

NATIONAL REGISTRY: N/A

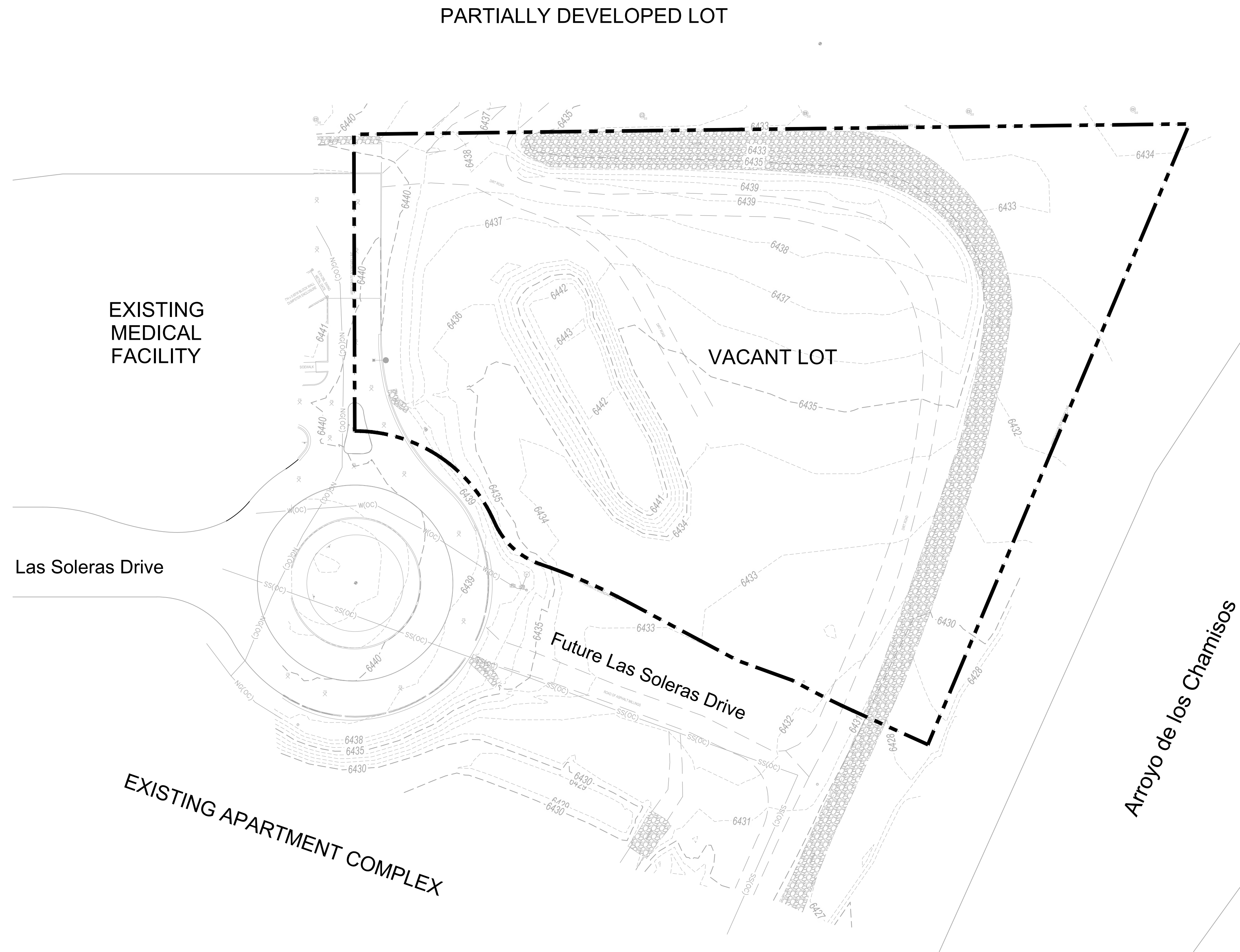
EXISTING STRUCTURE SQ. FT.: N/A

EXISTING UTILITIES: CONNECTIONS TO EXISTING PUBLIC WATER AND SANITARY SEWER LINES IN LAS SOLERAS DRIVE

FLOOD ZONE: "Zone AE" Square Feet: 22,788 sf
"Zone X" Square Feet: 12,053 sf

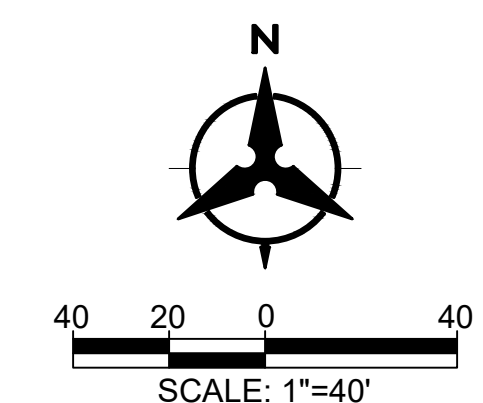
LEGAL LOT INFORMATION

LOT 7-B1 LAS SOLERAS, S18 T16N R9E
UPC#1-049-094-348-384



LEGEND

--- PROPERTY LINE



Owner:
New Mexico Educational Retirement Board
701 Camino de los Marquez
Santa Fe, NM 87502
TEL: (505) 827-8030

Applicant:
New Mexico Educational Retirement Board
701 Camino de los Marquez
Santa Fe, NM 87502
TEL: (505) 827-8030

Project Name:
Education Retirement Board

Project Address:
5211 Las Soleras Drive

Case #:
2025-010094-PLBD

Sheet Name:
EXISTING CONDITIONS PLAN

Sheet #:

EC-1

SITE DEVELOPMENT PLAN

NMERB New Office Building

Santa Fe, NM | Section 18, Township 16 North & Range 9 East

PROJECT DATA

PROJECT SITE:

Acerage: 2.995 acres (130,457 sqft.)
 Flood Plain: Regulatory Floodway - Arroyo de los Chamisos
 Flood Way "Zone AE" Square Feet: 22,788 sf
 Flood Way "Zone X" Square Feet: 12,053 sf
 Net Acreage: 2.195 acres (95,616 sqft.)
 Zoning: C-2 (General Commercial; Las Soleras Subdivision)

OVERLAY ZONING:

Suburban Archaeological Review District

BUILDINGS:

Building Area: 19,443 Sq.Ft.

HEIGHT:

Non-Residential District C-2 Maximum Height: 45'
 Building Height Actual: 23'

LOT COVERAGE:

Non-Residential District C-2 Maximum Lot Coverage: 60%
 Lot Coverage Actual: 44%

BUILDING PLACEMENT:

Front required yard equal to the average depth of existing front yards on the block.

SETBACK:

Non-Residential District C-2
 Street: 15' Required
 Side: 0' (No Requirement)
 Rear: 10' Required

OPEN SPACE:

Non-Residential District: No less than 25% of the lot area
 Required: 32,614 sf (25%)
 Provided: +/- 62,162 sf

LANDSCAPE:

Landscape treatment required in yards and open space. Street trees and landscape treatment required if planting strip exists. Asphalt or concrete pavement prohibited in planting strip.

HEIGHT OF WALLS AND FENCES:

Non-Residential District: Maximum 8'

PLACEMENT OF OFF STREET AUTOMOBILE PARKING:

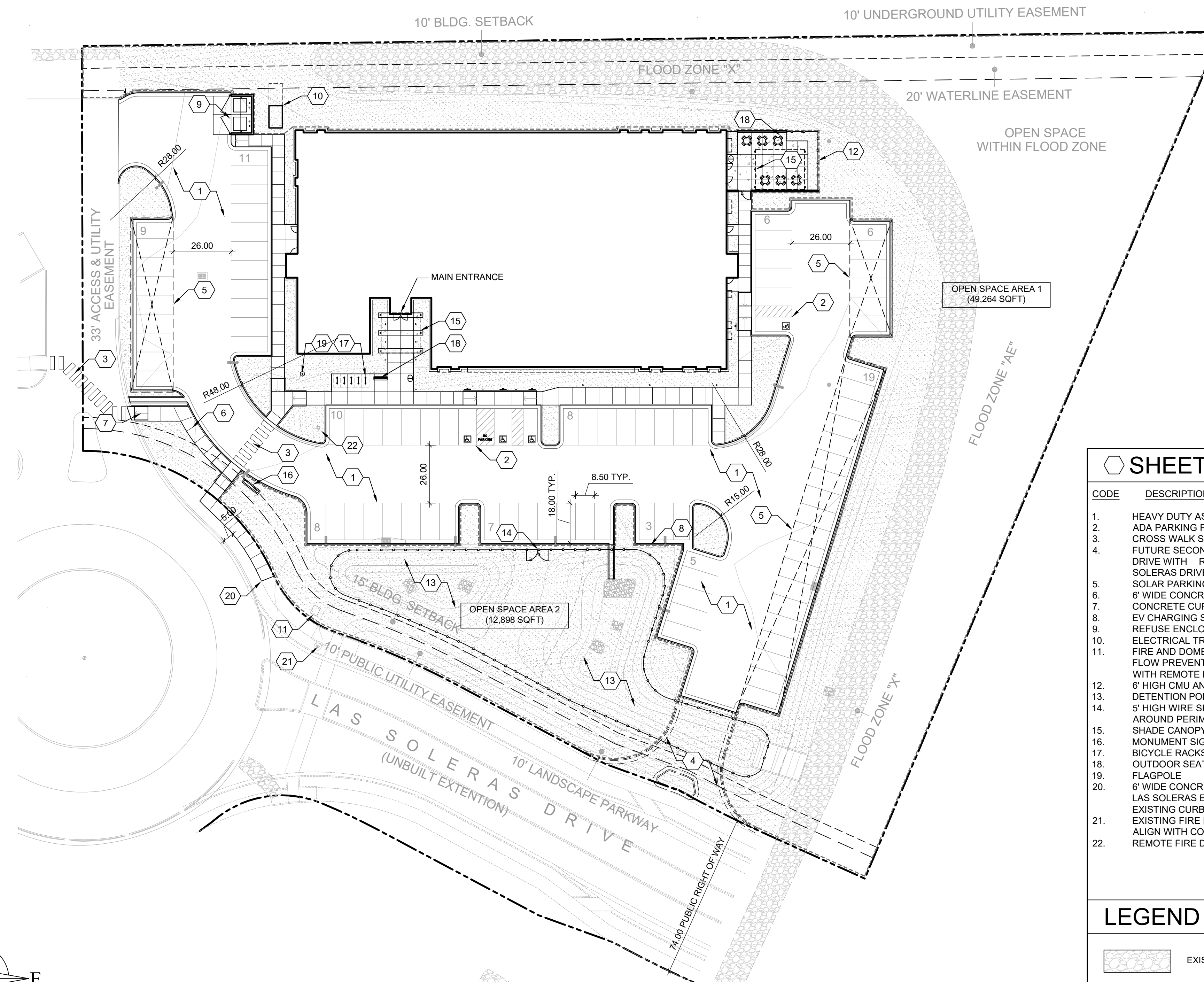
Parking set to the front and sides of the property
 Required parking for Commercial Use (Office): 500:1
 19,443 gross square feet
 Required Parking = 39 Parking Spaces
 Provided Parking = 92 Parking Spaces
 ADA Parking Spaces = 4 ADA Parking Spaces
 ADA Van Accessible = 3 Parking Spaces

PLACEMENT OF OFF STREET BICYCLE PARKING:

Bicycle parking set within fifty (50) feet of the main entrance
 Automobile Parking Spaces Required: 39
 Required Bicycle Parking = 8 Parking Spaces
 Provided Bicycle Parking = 10 Parking Spaces

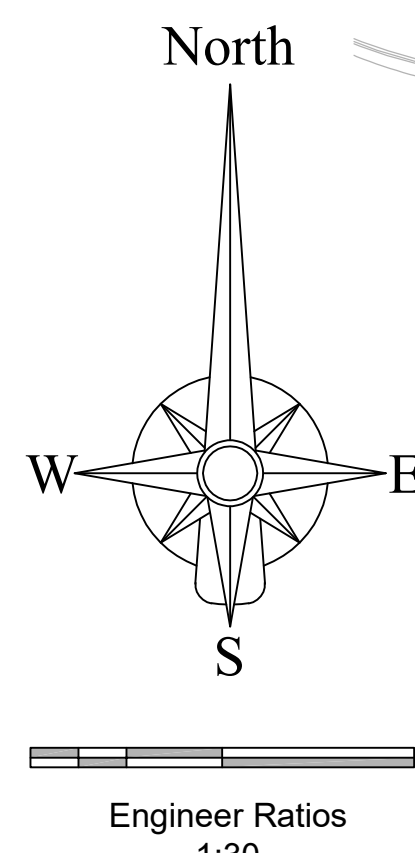
PORTALS IN THE ROW:

None



SHEET KEYNOTES	
CODE	DESCRIPTION
1.	HEAVY DUTY ASPHALT PAVEMENT
2.	ADA PARKING PAVEMENT MARKING, ACCESS AISLE AND SIGN
3.	CROSS WALK STRIPING
4.	FUTURE SECOND DRIVEWAY ACCESS AND ASSOCIATED DRIVE WITH RIGHT-IN/RIGHT-OUT INTERSECTION FOR LAS SOLERAS DRIVE ROAD CONNECTION
5.	SOLAR PARKING CANOPY
6.	6' WIDE CONCRETE SIDEWALK
7.	CONCRETE CURB RAMP
8.	EV CHARGING STATION
9.	REFUSE ENCLOSURE
10.	ELECTRICAL TRANSFORMER
11.	FIRE AND DOMESTIC WATER REDUCED PRESSURE BACK FLOW PREVENTERS WITH SINGLE HEATED ENCLOSURE WITH REMOTE FIRE DEPARTMENT CONNECTION (FDC)
12.	6' HIGH CMU AND WIRE FENCE SCREEN WALL
13.	DETENTION POND
14.	5' HIGH WIRE SECURITY FENCE AND MAINTENANCE GATE AROUND PERIMETER OF DETENTION POND
15.	SHADE CANOPY
16.	MONUMENT SIGN
17.	BICYCLE RACKS
18.	OUTDOOR SEATING
19.	FLAGPOLE
20.	6' WIDE CONCRETE SIDEWALK FOR CONNECTION TO FUTURE LAS SOLERAS EXTENSION SIDEWALK TO EXTEND TO EXISTING CURB CUT
21.	EXISTING FIRE HYDRANT TO BE REPLACED WITH NEW TO ALIGN WITH COSF WATER DIVISION STANDARD
22.	REMOTE FIRE DEPARTMENT CONNECTION (FDC)

LEGEND	
	EXISTING DRAINAGE SWALE TO REMAIN
	LANDSCAPE AREA
	LIGHT POLE. SEE ELECTRICAL
	OPEN SPACE BOUNDARY
	PROPERTY LINE
	15' BUILDING SETBACK
	10' PUBLIC UTILITY EASEMENT



Owner:
 New Mexico Educational Retirement Board
 701 Camino de los Marquez
 Santa Fe, NM 87502
 TEL: (505) 827-8030

Applicant:
 New Mexico Educational Retirement Board
 701 Camino de los Marquez
 Santa Fe, NM 87502
 TEL: (505) 827-8030

Project Name:
Educational Retirement Board

Project Address:
5211 Las Soleras Drive

Case #:
2025-010094-PLBD

Sheet Name:
PROPOSED SITE PLAN

Sheet #:

SP-1

SITE INFRASTRUCTURE PLANS

NMERB New Office Building

Santa Fe, NM | Section 18, Township 16 North & Range 9 East

DEKKER
PERICH
SABATINI

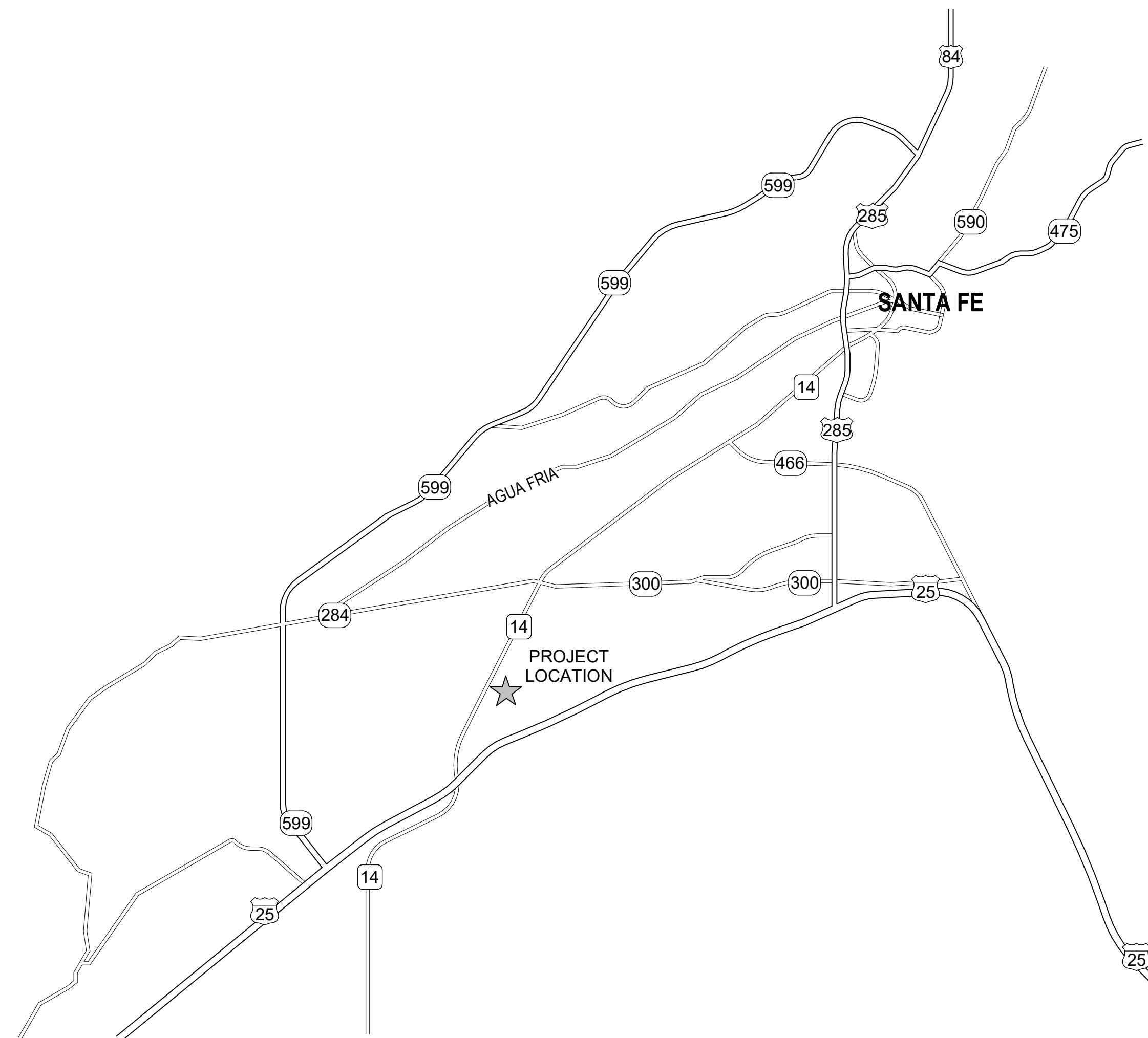
APPROVED BY THE CITY OF SANTA FE LAND USE DEPARTMENT

CITY ENGINEER FOR LAND USE _____

DATE _____

ARCHITECT

PROJECT



NORTH
VICINITY MAP
1" = 100'

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NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

NMERB NEW OFFICE BUILDING

PROJECT TEAM

OWNER

NEW MEXICO EDUCATIONAL
RETIREMENT BOARD
701 CAMINO DE LOS MARQUEZ
SANTA FE, NM 87502
TEL: 505.827.8030

ARCHITECT

DEKKER/PERICH/SABATINI
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ALBUQUERQUE, NM 87109
TEL: 505.761.9700

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DEKKER/PERICH/SABATINI
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CIVIL ENGINEER

BOHANNAN HUSTON, INC.
7500 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
TEL: 505.823.1000

MECHANICAL ENGINEER

BRIDGERS & PAXTON
4600-C MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109
TEL: 505.883.4111

ELECTRICAL ENGINEER

BRIDGERS & PAXTON
4600-C MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109
TEL: 505.883.4111

DATE 12/21/2022

PROJECT NO: 20-0371.001

ISSUE PURPOSE

COVER

SEAL

PROJECT

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUE FOR PERMIT

REVISIONS



DRAWN BY	BO
REVIEWED BY	GSB
DATE	12/21/2022
PROJECT NO	20-0371.001

DRAWING NAME
**CIVIL
GENERAL NOTES**

SHEET NO

C001

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 48" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER NMAPWA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.






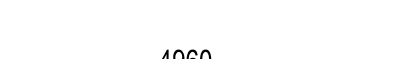
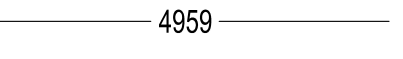
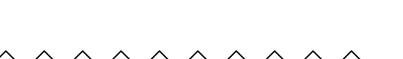







GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, NEW MEXICO PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

KEYED NOTES

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 12" WIDE CONCRETE RUNDOWN FOR POND OVERFLOW PER 7/C300.
3. INSTALL NYLOPLAST DRAIN BASIN WITH SOLID COVER.
4. INSTALL 6" STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
5. CONSTRUCT 24" WIDE CONCRETE RIBBON CHANNEL PER 5/C300.
6. INSTALL LIGHT DUTY ASPHALT PAVEMENT PER 1/C300.
7. CONSTRUCT TYPE 'D' SINGLE GRATE STORM DRAIN INLET.
8. CONSTRUCT TYPE 'C' SINGLE GRATE STORM DRAIN INLET.
9. INSTALL RIP-RAP PAD PER 6/C300. SEE PLAN FOR SIZE.
10. INSTALL CMP END SECTION.
11. INSTALL HEAVY DUTY CONCRETE PAVEMENT SECTION PER 8/C300.
12. INSTALL TRAFFIC RATED NYLOPLAST DRAIN BASIN WITH SOLID COVER AND CONCRETE COLLAR.
13. INSTALL SEDIMENT MEASUREMENT POST PER 10/C300.






LEGEND

-  HEAVY DUTY ASPHALT PAVEMENT PER DETAIL 2/C300
-  PROPOSED SPOT ELEVATION
-  TA=TOP OF ASPHALT
-  TC=TOP OF CURB
-  FL=FLOW LINE
-  TOC=TOP OF CONCRETE
-  TS=TOP OF SIDEWALK
-  TG=TOP OF GRATE
-  FG=FINISHED GRADE
-  4960 EXISTING INDEX CONTOUR
-  4959 EXISTING INTERMEDIATE CONTOUR
-  4960 PROPOSED INDEX CONTOUR
-  4959 PROPOSED INTERMEDIATE CONTOUR
-  DIRECTION OF FLOW
-  WATER BLOCK / GRADE BREAK

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

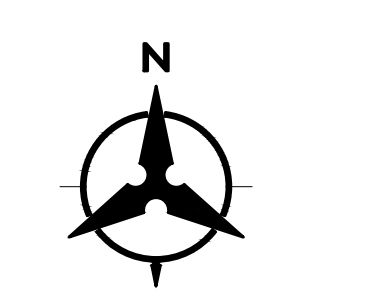
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REVISIONS	
	08/06/2024 ASI-005
	
	
	
	

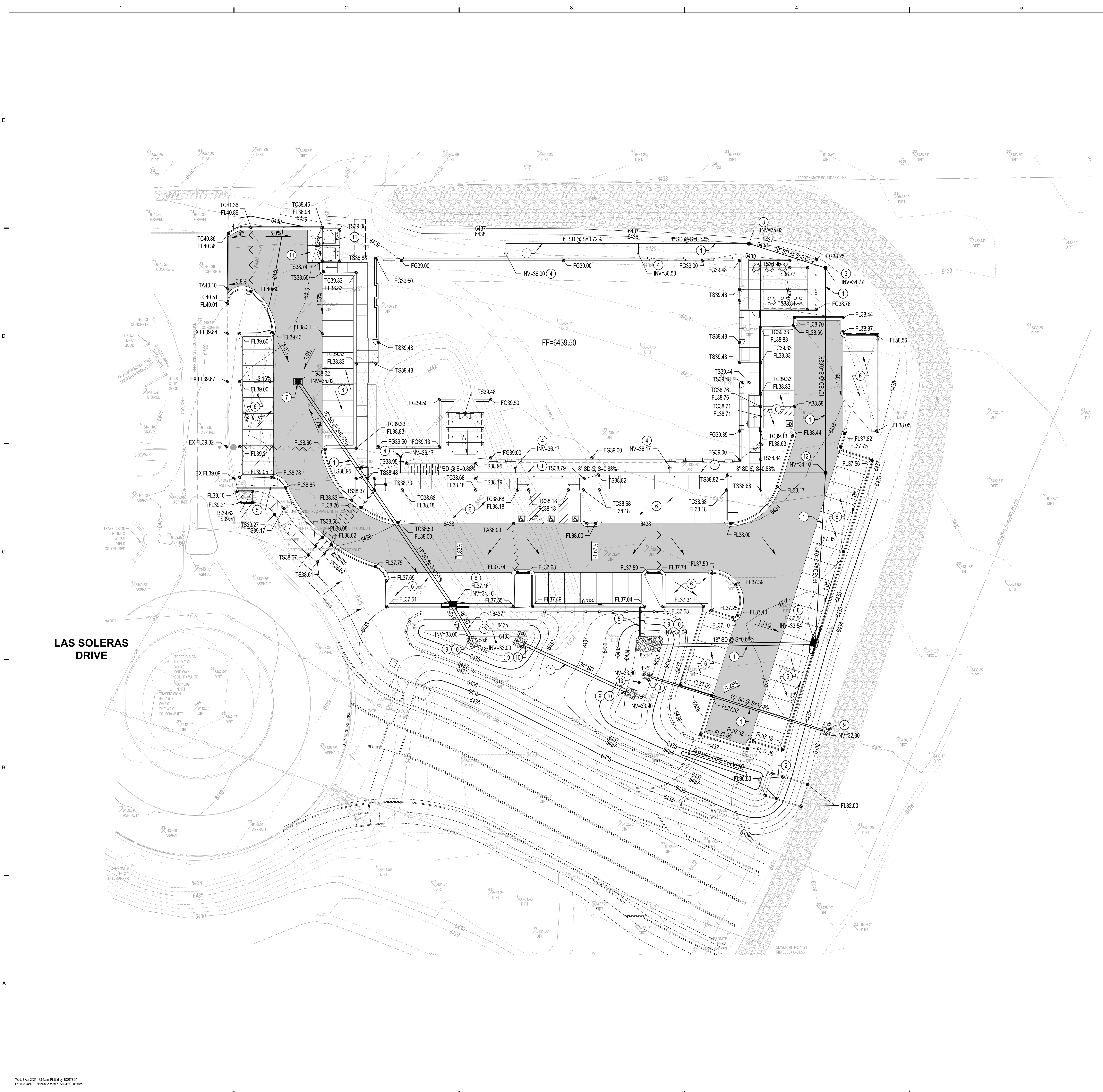
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REVIEWED BY	GSB
DATE	12/21/2022
PROJECT NO	20-0371.001

DRAWING NAME
GRADING PLAN

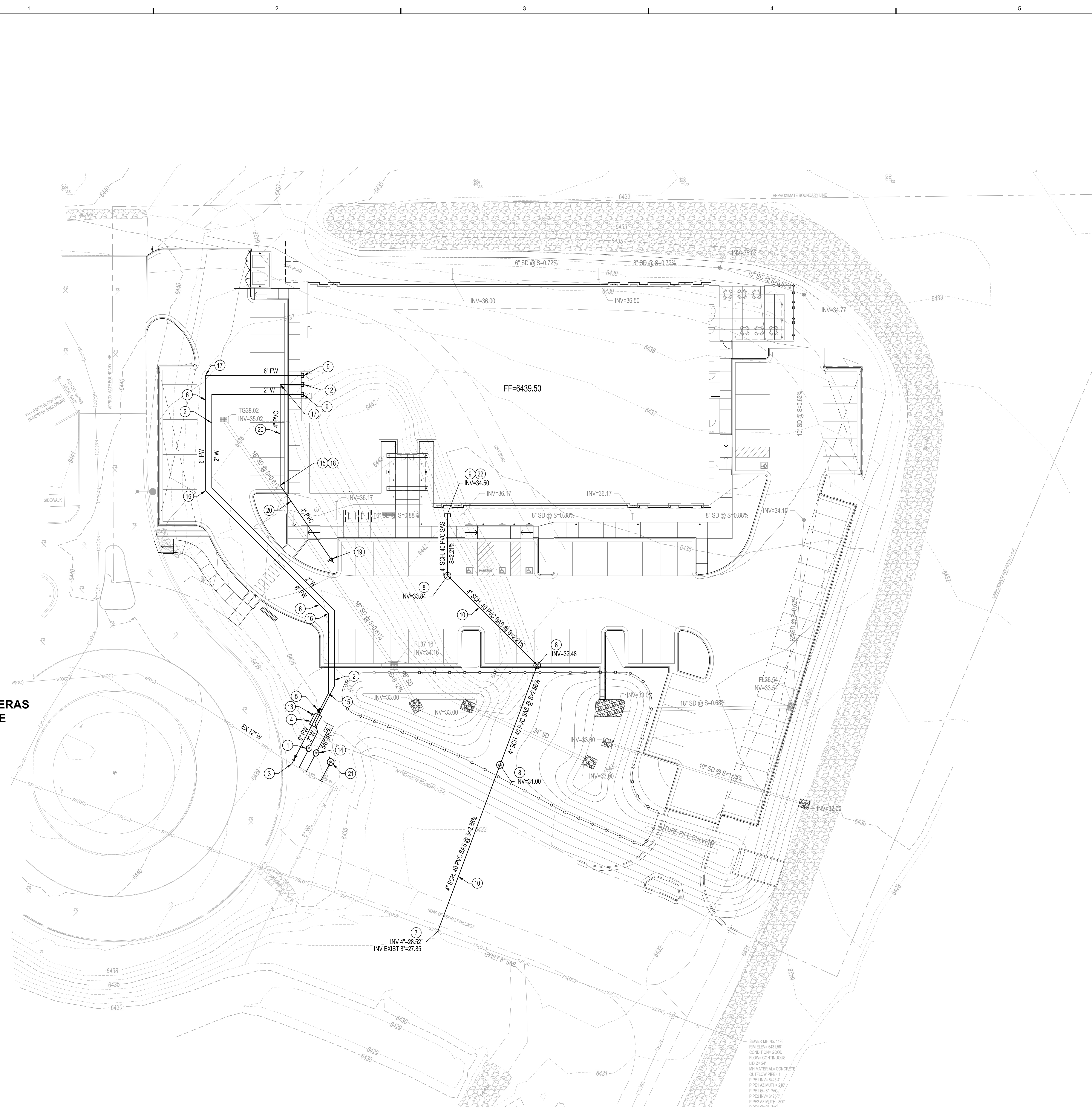
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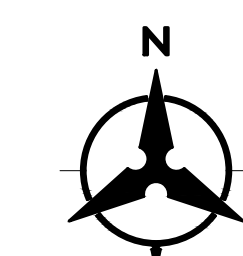
KEYED NOTES

- DOMESTIC WATER METER SERVICE CONNECTION TO BE INSTALLED WITH PUBLIC WATER PLAN, SEE SHEET C201.
- INSTALL 2" DOMESTIC WATER SERVICE LINE.
- CONNECT TO EXISTING EXISTING WATER LINE. SEE PUBLIC WATER PLAN, SHEET C201, FOR DETAILS.
- INSTALL 6" FIRE WATER REDUCED PRESSURE BACKFLOW PREVENTER & 2" DOMESTIC WATER REDUCED PRESSURE BACKFLOW PREVENTER IN SINGLE HEATED ENCLOSURE.
- INSTALL 6" GATE VALVE WITH POST INDICATOR (PIV) PER DETAIL 3/C300.
- INSTALL 6" C900 DR18 PVC FIRE WATER SERVICE LINE.
- CONNECT TO EXISTING SANITARY SEWER LINE PER NMAPWA STD DWG 2125.
- INSTALL SANITARY SEWER CLEAN OUT PER DETAIL 4/C300.
- INSTALL SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 4" SANITARY SEWER SERVICE LINE. SEE PLAN FOR PIPE MATERIAL AND SLOPE.
- EXISTING FIRE HYDRANT TO REMAIN.
- COORDINATE EXACT LOCATION OF FDC LINE WITH FIRE PROTECTION / PLUMBING EXACT.
- REMOTE FIRE DEPARTMENT CONNECTION (FDC) AND CHECK VALVE TO BE INSTALLED DOWNSTREAM OF THE 6" REDUCED PRESSURE BACKFLOW PREVENTION DEVICE AND MOUNTED TO THE HEATED ENCLOSURE. FDC SHALL HAVE CLEAR ACCESS TO THE ADJACENT FIRE HYDRANT.
- IRRIGATION WATER METER SERVICE CONNECTION TO BE INSTALLED WITH PUBLIC WATER PLAN, SEE SHEET C201.
- INSTALL 22.5° BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
- INSTALL 45° BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
- INSTALL 90° BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
- INSTALL 11.25° BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION (FDC) PER DETAIL 9/C300.
- INSTALL 4" C900 DR18 PVC PIPE TO REMOTE FDC.
- FIRE HYDRANT TO BE INSTALL WITH PUBLIC WATER PLAN, SEE SHEET C201.
- INSTALL 2'-45" VERTICAL BENDS AT BUILDING CONNECTION TO LOWER SAS SERVICE BELOW 6" STORM DRAIN.

LEGEND

	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING GAS LINE
	EXISTING GAS LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER VALVE
	PROPOSED WATER METER
	PROPOSED CLEAN OUT
	PROPOSED CAP

LAS SOLERAS DRIVE

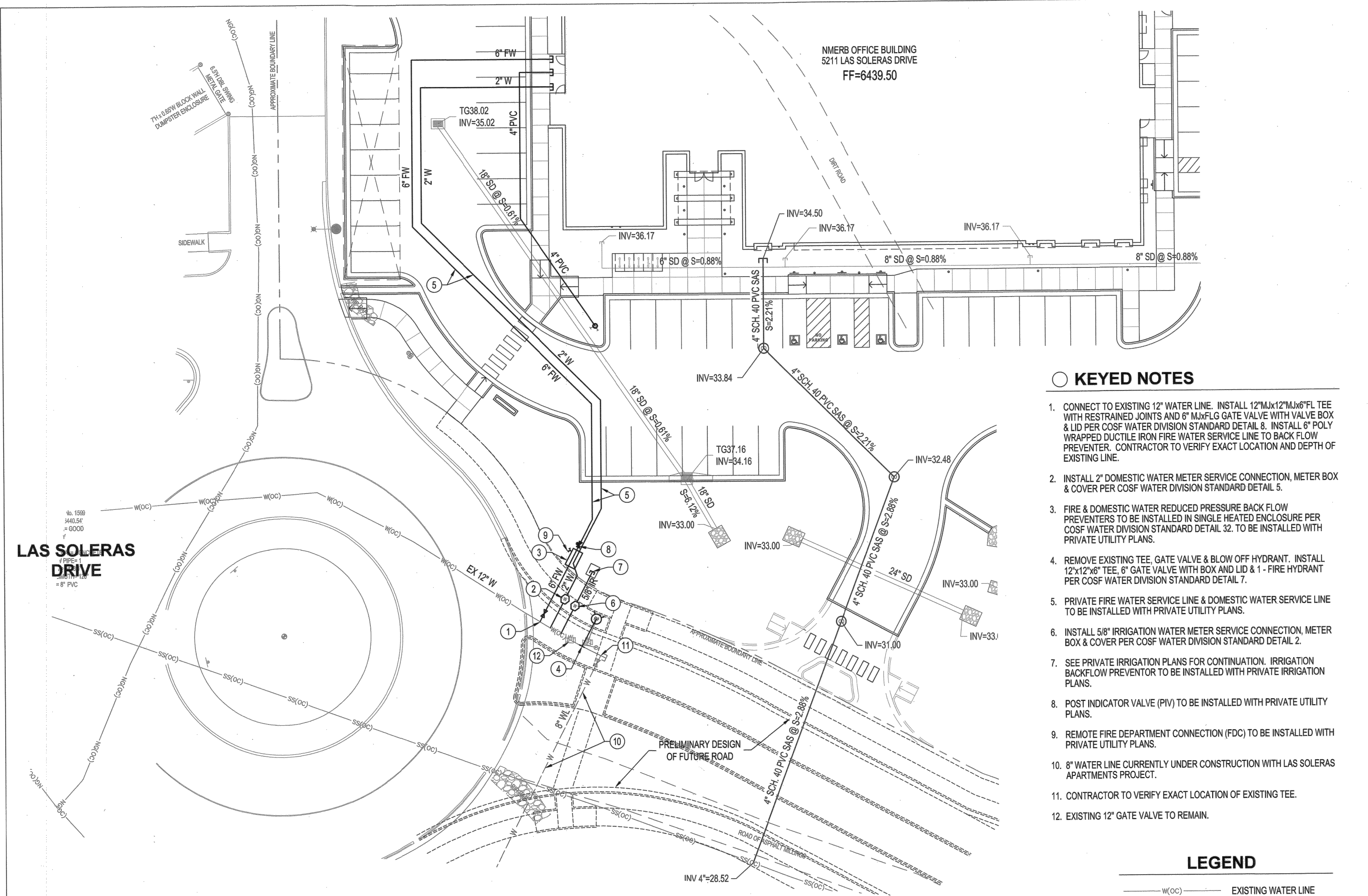
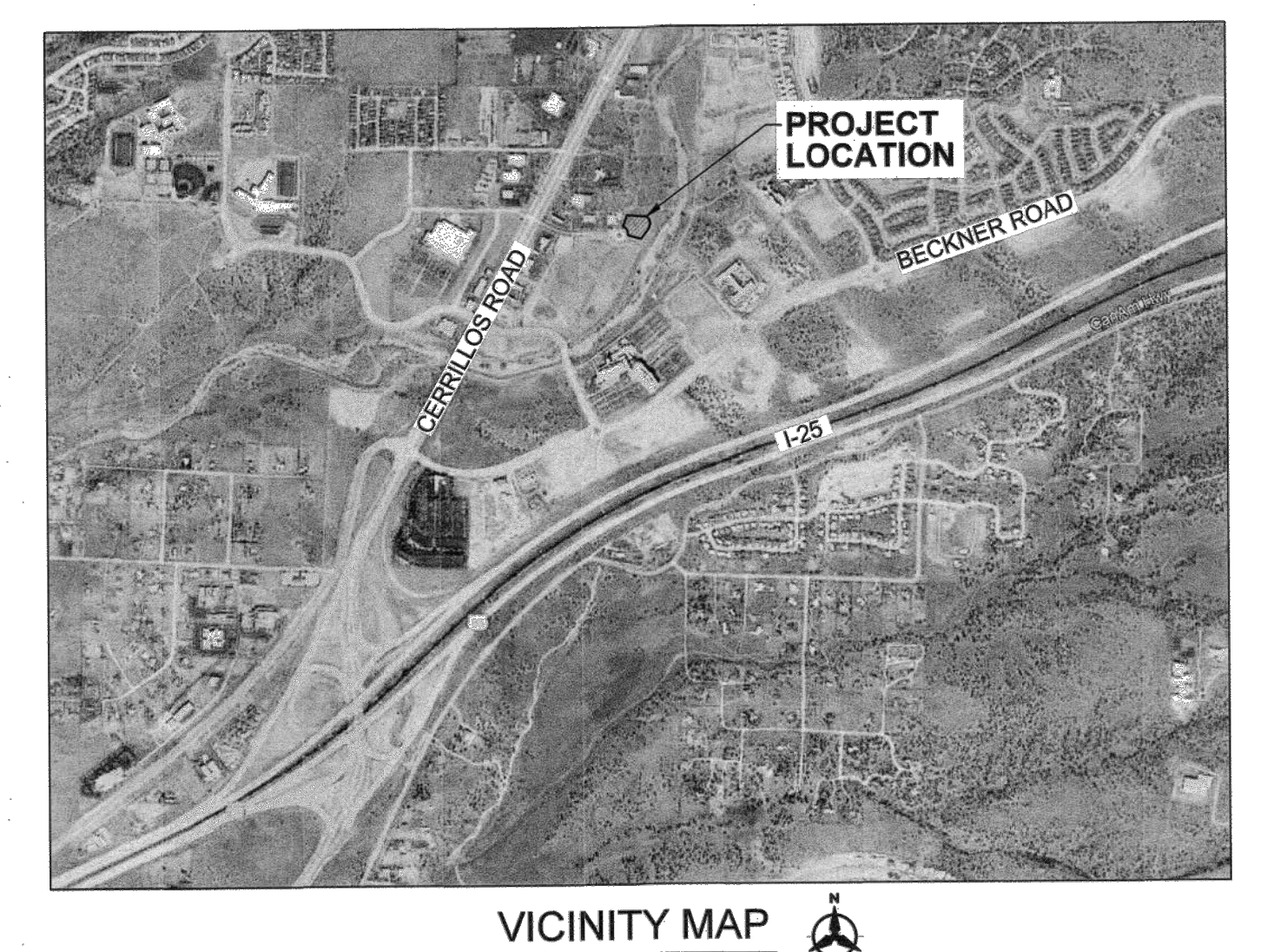


SCALE: 1"=20'

REVISIONS

	08/06/2024 ASI-005

DRAWN BY	BO
REVIEWED BY	GSB
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PROJECT NO	20-0371.001



KEYED NOTES

- CONNECT TO EXISTING 12" WATER LINE. INSTALL 12" M&M 12" M&M 90° FL TEE WITH RESTRAINED JOINTS AND 8" M&M 90° FL GATE VALVE WITH VALVE BOX & LID PER COSFW WATER DIVISION STANDARD DETAIL 8. INSTALL 8" POLY WRAPPED DUCTILE IRON FIRE WATER SERVICE LINE TO BACKFLOW PREVENTER. CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING LINE.
- INSTALL 2" DOMESTIC WATER METER SERVICE CONNECTION, METER BOX & COVER PER COSFW WATER DIVISION STANDARD DETAIL 5.
- FIRE & DOMESTIC WATER REDUCED PRESSURE BACKFLOW PREVENTERS TO BE INSTALLED IN SINGLE HEATED ENCLOSURE PER COSFW WATER DIVISION STANDARD DETAIL 32. TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- REMOVE EXISTING TEE. GATE VALVE & BLOW OFF HYDRANT. INSTALL 12"x12"x6" TEE, 6" GATE VALVE WITH BOX AND LID & 1" FIRE HYDRANT PER COSFW WATER DIVISION STANDARD DETAIL 7.
- PRIVATE FIRE WATER SERVICE LINE & DOMESTIC WATER SERVICE LINE TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- INSTALL 5/8" IRRIGATION WATER METER SERVICE CONNECTION, METER BOX & COVER PER COSFW WATER DIVISION STANDARD DETAIL 2.
- SEE PRIVATE IRRIGATION PLANS FOR CONTINUATION. IRRIGATION BACKFLOW PREVENTOR TO BE INSTALLED WITH PRIVATE IRRIGATION PLANS.
- POST INDICATOR VALVE (PIV) TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- REMOTE FIRE DEPARTMENT CONNECTION (FDC) TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- 8" WATER LINE CURRENTLY UNDER CONSTRUCTION WITH LAS SOLERAS APARTMENTS PROJECT.
- CONTRACTOR TO VERIFY EXACT LOCATION OF EXISTING TEE.
- EXISTING 12" GATE VALVE TO REMAIN.

LEGEND

- W(OC) EXISTING WATER LINE
- NG(OC) EXISTING GAS LINE
- SS(OC) EXISTING SAS LINE
- 2" W PROPOSED WATER LINE
- 6" FW PROPOSED FIRE LINE
- W PROPOSED WATER VALVE
- M PROPOSED WATER METER

GENERAL NOTES

- CONTRACTOR SHALL NOTIFY THE CITY OF SANTA FE WATER DIVISION (CoSFWD) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
- CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CoSFWD CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
- ALL STREETS SHALL BE CUT TO WITHIN ±6" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
- LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED, IN WRITING, BY CoSFWD.
- CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAKING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MAPS, SIGNED PLATS AND CoSFWD DRAWINGS.
- MATERIAL SUBMITTALS SHALL BE APPROVED BY CoSFWD PRIOR TO CONSTRUCTION.
- CONTACT NEW MEXICO ONE CALL AT 811 TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
- PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
- 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
- CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING, BUT NOT LIMITED TO: FITTING-TO-FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC.) AND POTABILITY RESULTS.
- ALL VALVE BOXES SHALL BE BROUGHT UP TO GRADE OF THE FINAL PAVING MATERIAL SO THAT THE CONCRETE IS EXPOSED.
- FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE CoSFWD FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE ROAD. PRIOR TO INSTALLING NUMBERS, FIRE HYDRANTS SHALL BE PAINTED.
- A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY CoSFWD.
- ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND CoSFWD.
- WORK ON CoSFWD FACILITIES SHALL NOT BEGIN UNTIL CoSFWD HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.
- ANY AND ALL EASEMENTS FOR CITY-OWNED INFRASTRUCTURE SHALL BE OBTAINED/VERIFIED AND RECORDED BY DEVELOPER BEFORE PROJECT COMMENCEMENT. CONTRACTOR SHALL VERIFY THE EASEMENT IS IN PLACE BEFORE INSTALLING ANY INFRASTRUCTURE.

**CITY OF SANTA FE WATER DIVISION
SANTA FE, NEW MEXICO**

GENERAL NOTES
01

UTILITY CONTACT INFORMATION

NEW MEXICO GAS COMPANY
STEVE LARRANAGA
505-412-2904
CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES - WATER DIVISION:
JOHN DEL MAR 505-955-4231
CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES - WASTE WATER DIVISION:
DOUG FLORES 505-955-4650

DOMESTIC & IRRIGATION WATER SERVICE TABLE

SERVICE ADDRESS	STREET NAME	SERVICE SIZE & TYPE (DS OR IR)
5211	LAS SOLERAS DRIVE	2" DS
5211	LAS SOLERAS DRIVE	5/8" IR

FIRE SERVICE DESIGN TABLE

SERVICE SIZE	REQD FLOW* GPM	RESIDUAL PRESSURE* PSI	BUILDING(S) SERVED
6"	250	75	5211 LAS SOLERAS DRIVE

A FIRE SERVICE IS DEDICATED FOR AUTOMATIC FIRE SPRINKLER SYSTEMS. ALL FIRE SERVICES MUST BE EQUIPPED WITH A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH DETECTOR ASSEMBLY (RPDA). THE BACKFLOW PREVENTER MUST BE LOCATED WITHIN 30' OF THE CONNECTION TO THE WATER MAIN. BACKFLOW PREVENTERS MUST BE LISTED AS APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH. *PEAK FLOW IS IN GALLONS PER MINUTE.

*RESIDUAL PRESSURE IN POUNDS PER SQUARE INCH AT THE LISTED FIRE FLOW AT THE POINT OF CONNECTION TO MAIN.

NOTE: PIPE JOINTS SHALL BE MECHANICALLY RESTRAINED PER UPDATED COSFW WATER DIVISION DETAIL 10A. SEE COSFW WATER DIVISION STANDARD DETAIL 10B FOR DIAGRAMATIC REPRESENTATION OF JOINT RESTRAINT LENGTHS.

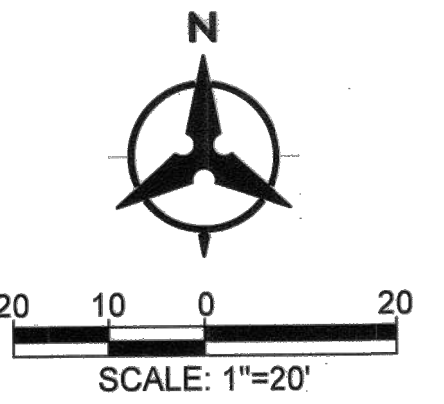
THIS RECORD DRAWING HAS BEEN COMPLETED ON A COPY OF THE SEALED ENGINEERING DRAWING FOR THIS PROJECT. THE INFORMATION SHOWN HEREON IS BELIEVED TO BE ACCURATE BASED ON LIMITED FIELD OBSERVATION DURING CONSTRUCTION, AS WELL AS DATA FURNISHED BY THE INSTALLER.

ENGINEER _____ PE _____ DATE _____

RECORD MAPPING

	INITIALS	DATE
AS BUILT	_____	____/____/____
VALVE MAPS	_____	____/____/____
GIS (MAPPING)	_____	____/____/____
Inspector Approved	_____	____/____/____

EXISTING UTILITIES AND APPURTENANCES SHOWN ON THE CONSTRUCTION DOCUMENTS ARE APPROXIMATE. ACCURACY, LOCATION, AND COMPLETENESS OF UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE VERIFIED, BY ANY MEANS NECESSARY, PRIOR TO THE INITIATION OF CONSTRUCTION. EXISTING UTILITIES NOT SHOWN ON THE DOCUMENTS ARE LIKELY TO EXIST.



Bohannon & Huston
www.bhinc.com 800.877.5332

NMERB NEW OFFICE BUILDING

PUBLIC WATER PLAN

APPROVED
[Signature] 3/9/23
CITY OF SANTA FE WATER DIVISION
DATE

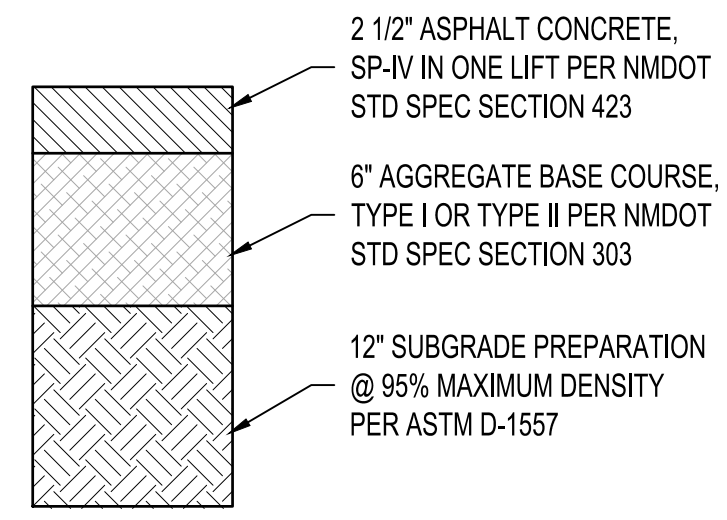
INSPECTOR
[Signature] 3/9/23
SANTA FE FIRE DEPARTMENT
DATE

30
(1 of 1)

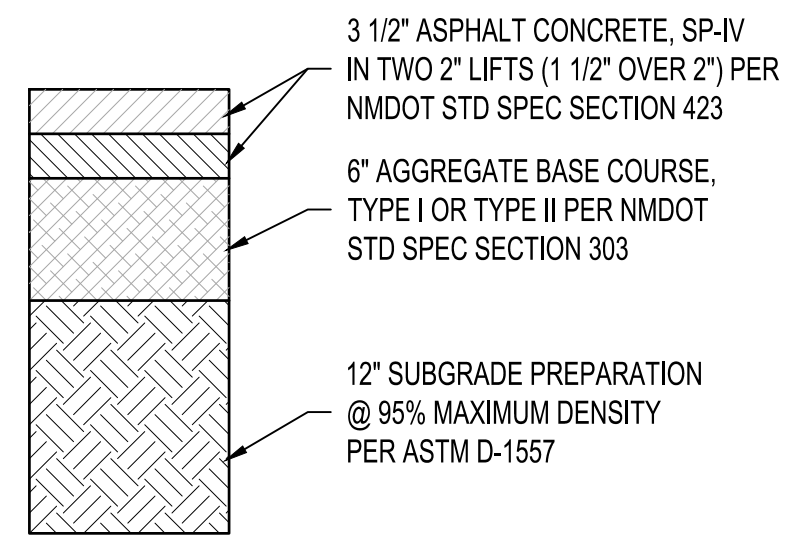
PLAT RECORDING INFORMATION
BOOK _____
PAGE _____
FILE DATE _____

AERIAL	TOWNSHIP RANGE SECTION	WORK ORDER NO.
N14	16N-9E-18	

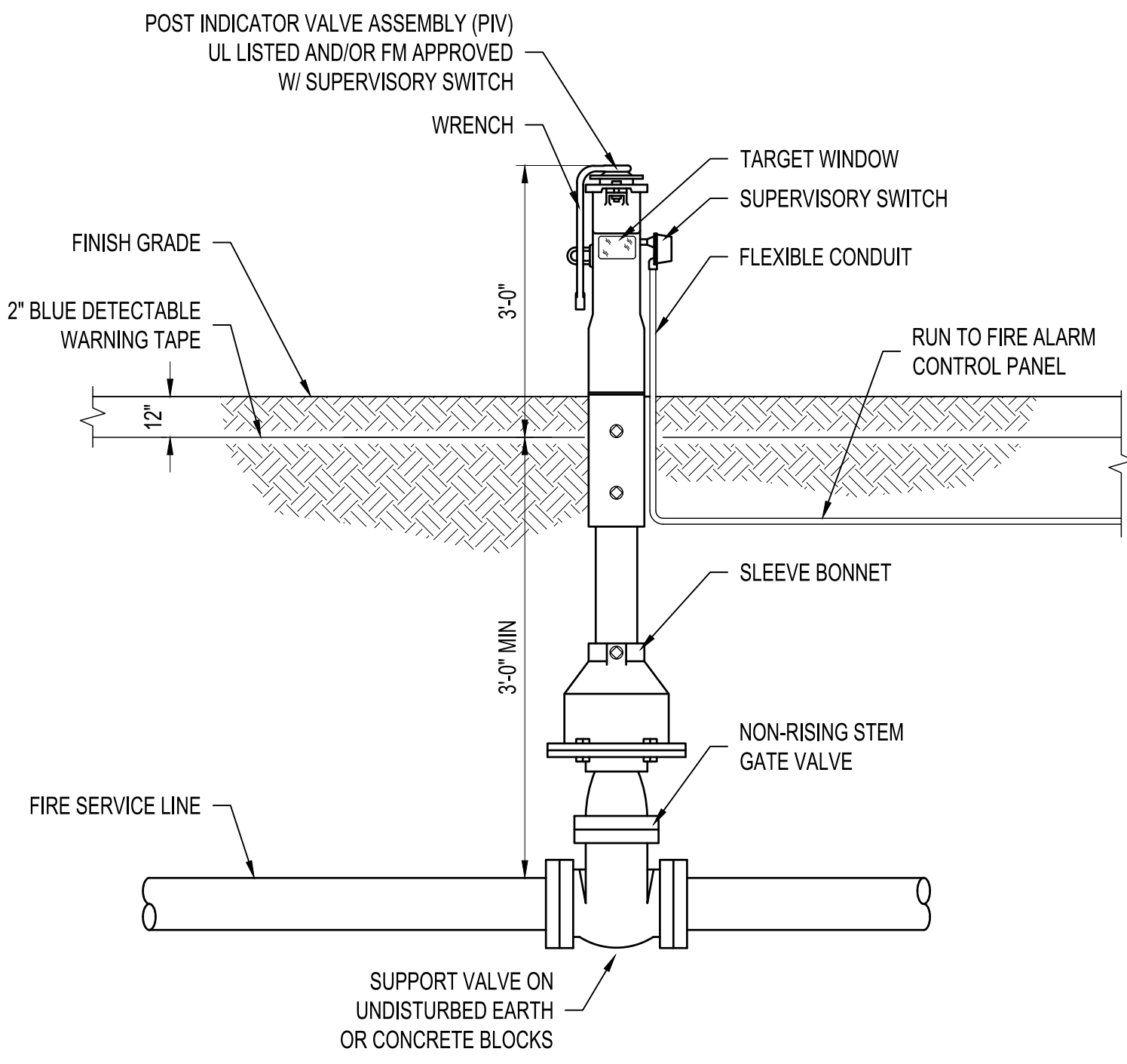
NOTE: THIS PUBLIC WATERLINE IMPROVEMENT PLAN IS FOR BIDDING PURPOSES ONLY. PRIOR TO CONSTRUCTION AN AGREEMENT TO CONSTRUCT AND DEDICATE PUBLIC IMPROVEMENTS (ACD) MUST BE EXECUTED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER TO PREPARE AND SUBMIT THE ACD TO THE CITY OF SANTA FE PUBLIC UTILITIES WATER DIVISION.



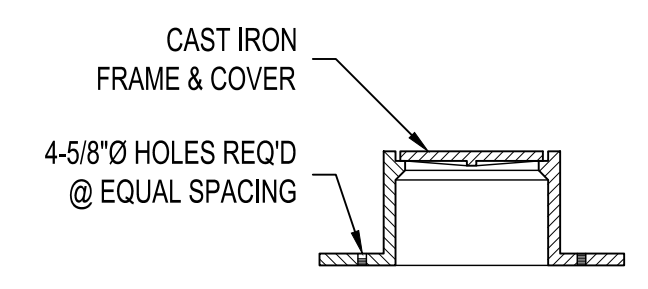
1 LIGHT DUTY ASPHALT PAVEMENT SECTION
NTS



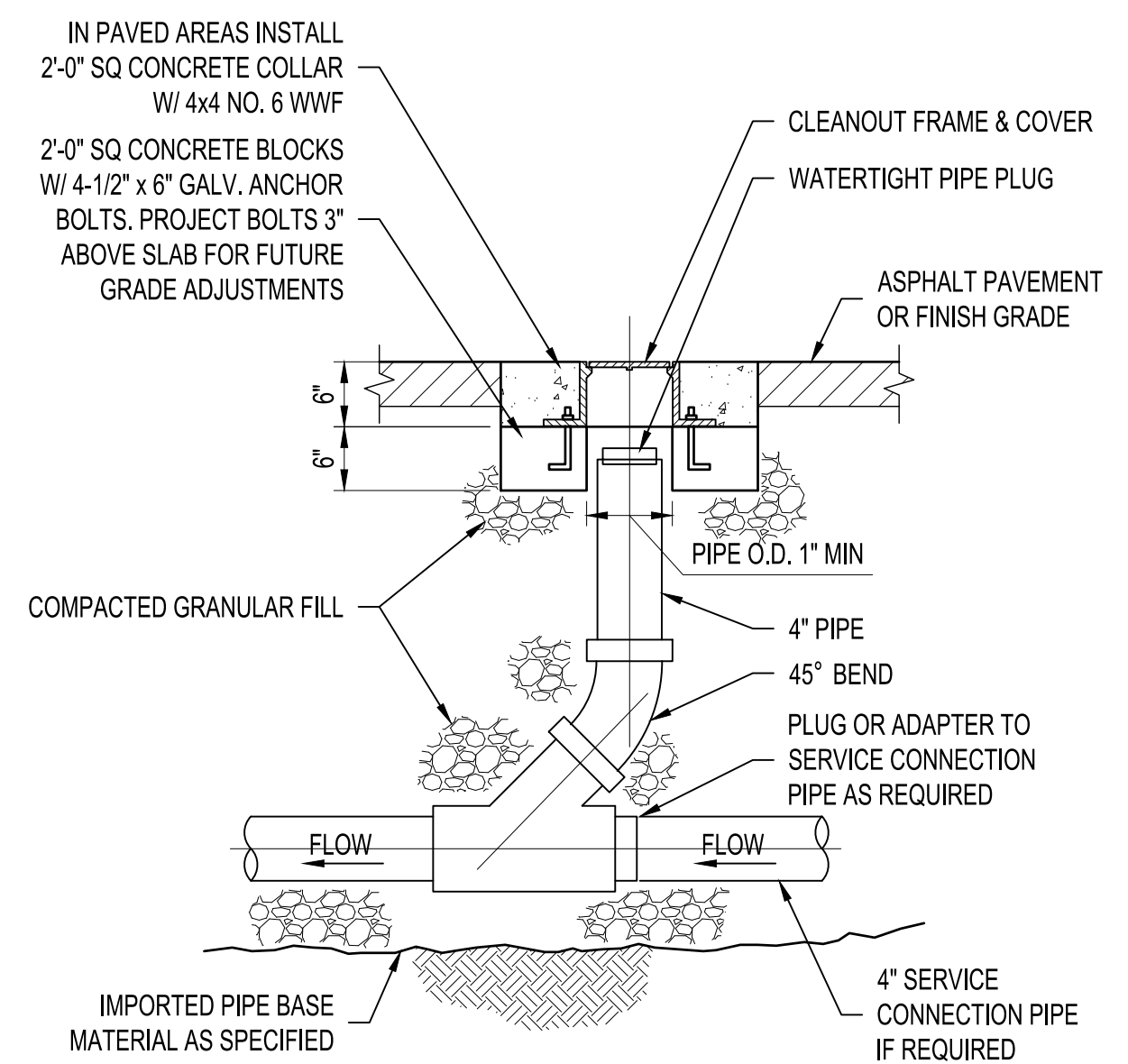
2 HEAVY DUTY ASPHALT PAVEMENT SECTION
NTS



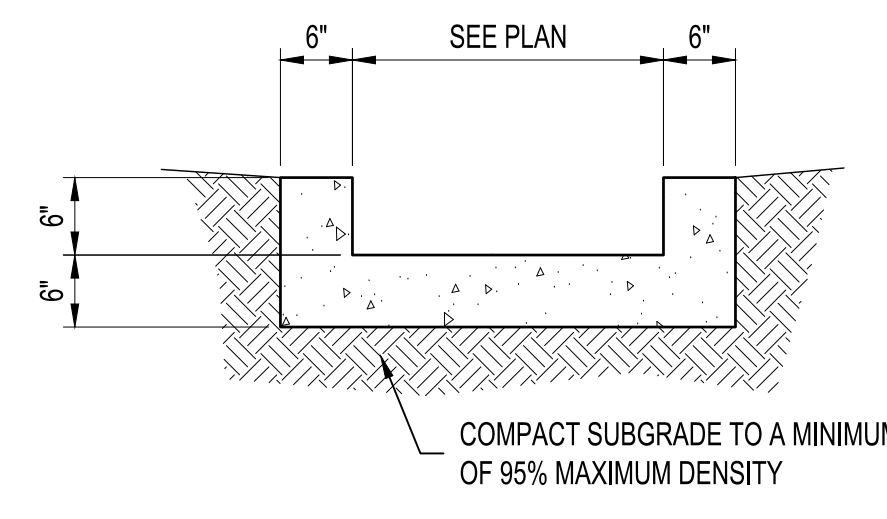
3 POST INDICATOR VALVE
NTS



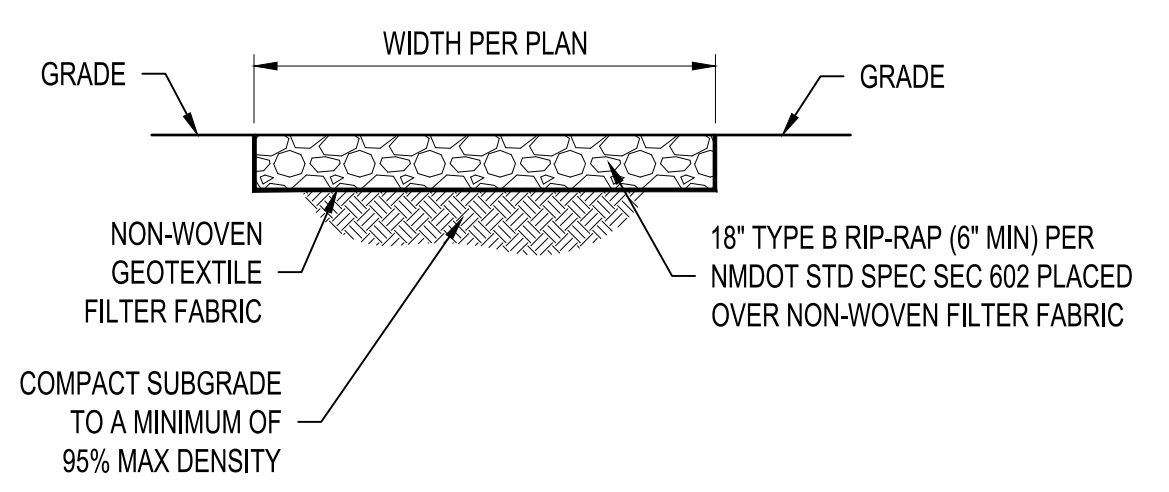
CLEANOUT FRAME & COVER



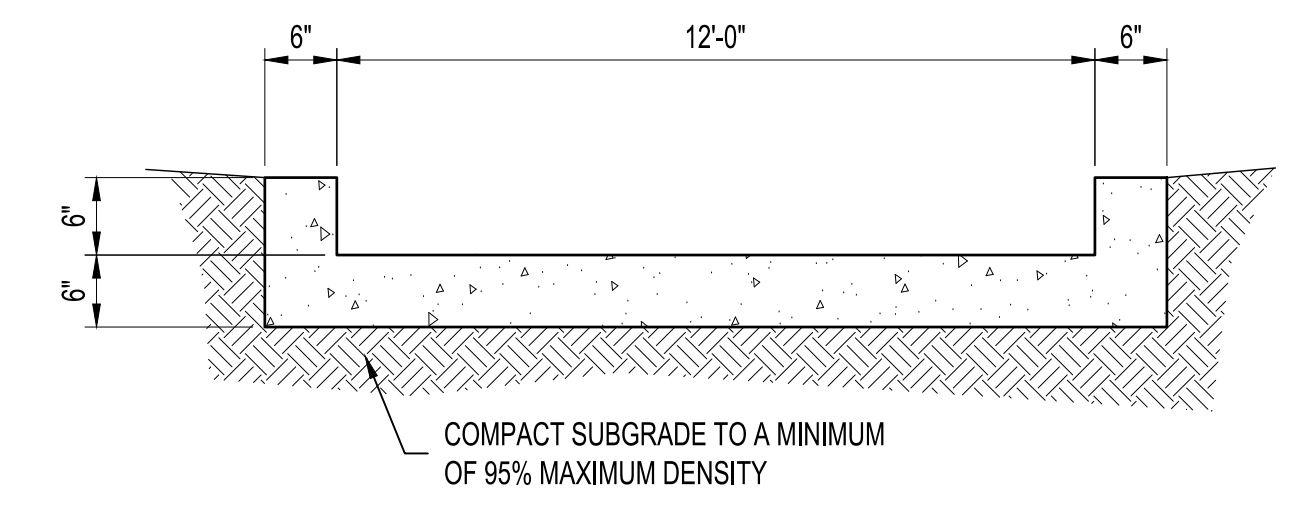
4 CLEANOUT
NTS



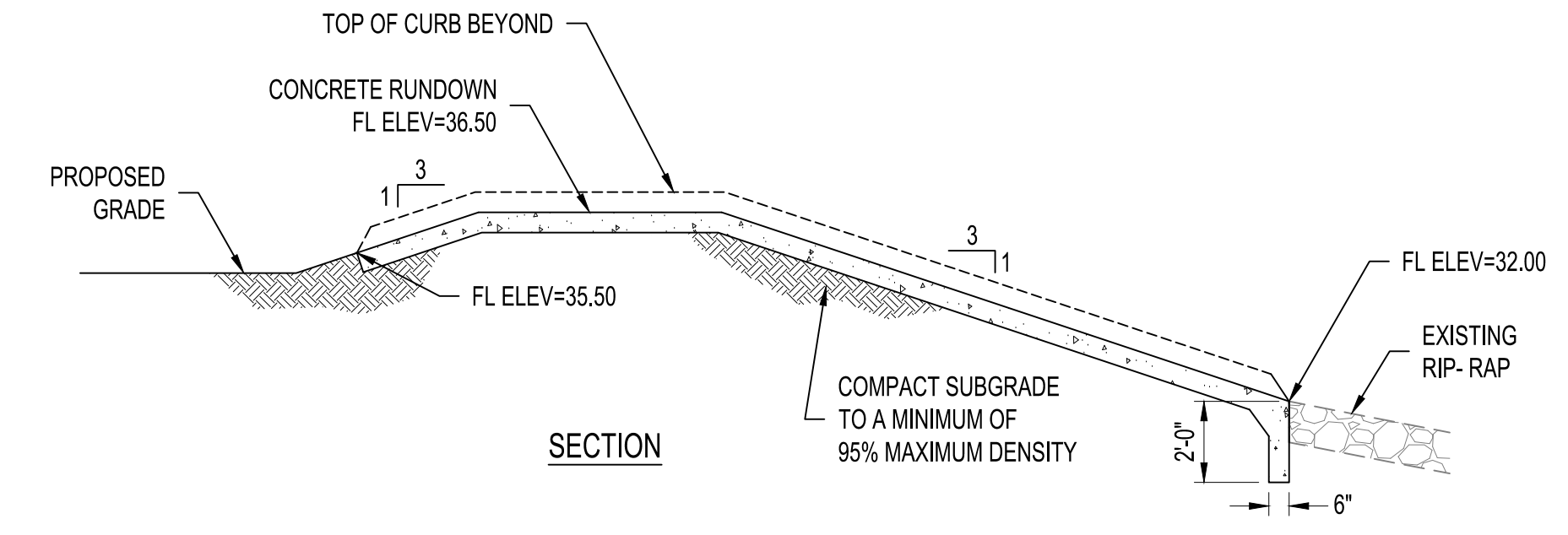
5 CONCRETE RIBBON CHANNEL
NTS



6 RIP-RAP BLANKET
NTS

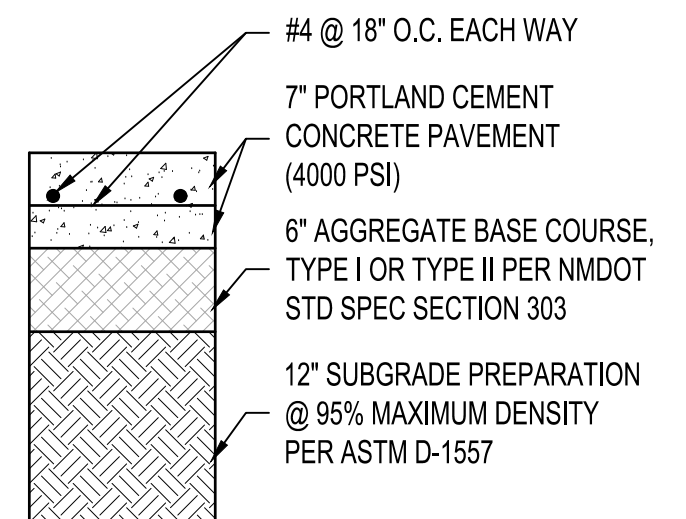


7 POND OVERFLOW - CONCRETE RUNDOWN
NTS

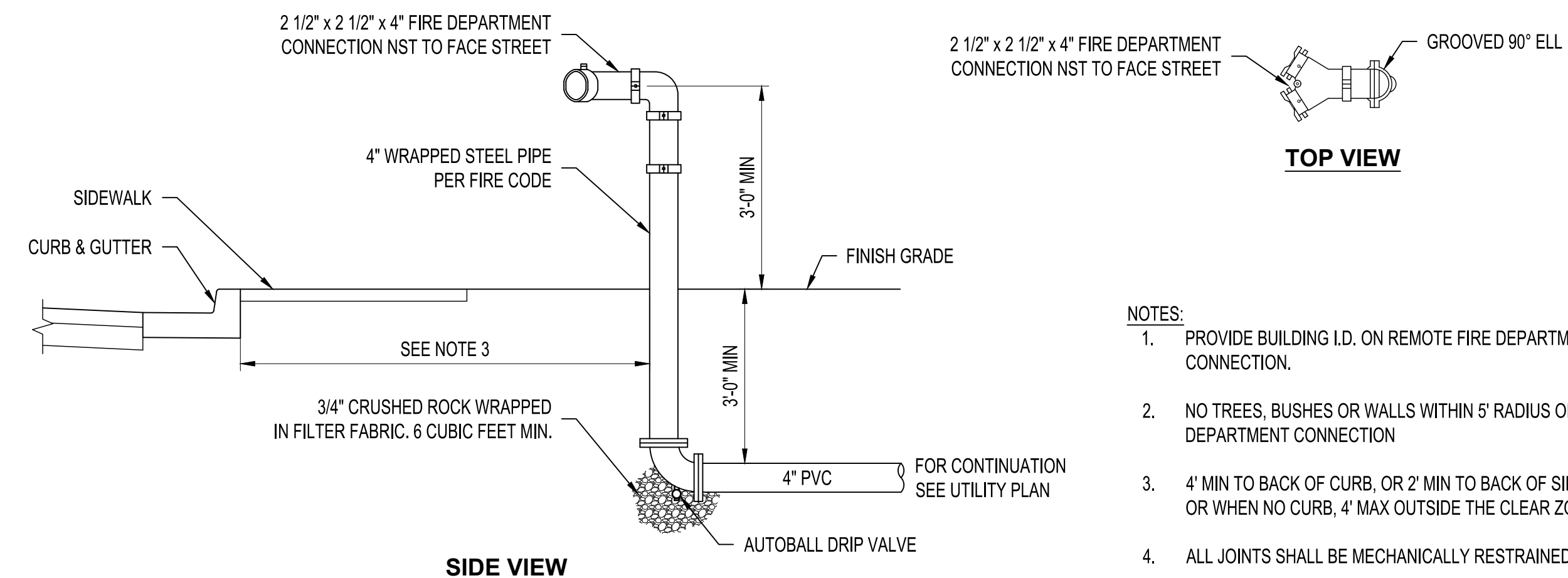


SECTION

NTS



8 HEAVY DUTY CONCRETE PAVEMENT SECTION
NTS

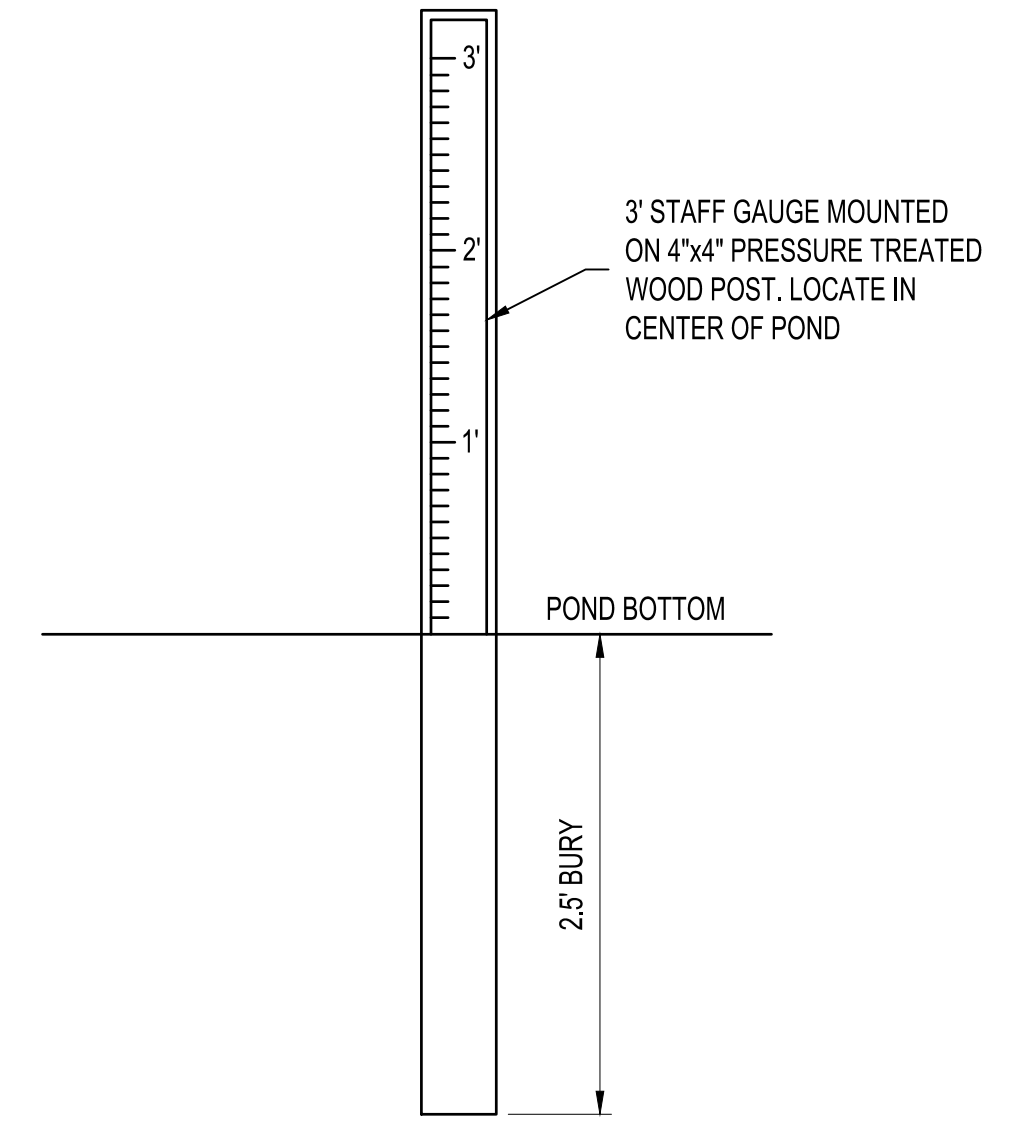


SIDE VIEW

TOP VIEW

- NOTES:**
1. PROVIDE BUILDING I.D. ON REMOTE FIRE DEPARTMENT CONNECTION.
 2. NO TREES, BUSHES OR WALLS WITHIN 5' RADIUS OF FIRE DEPARTMENT CONNECTION
 3. 4' MIN TO BACK OF CURB, OR 2' MIN TO BACK OF SIDEWALK, OR WHEN NO CURB, 4' MAX OUTSIDE THE CLEAR ZONE.
 4. ALL JOINTS SHALL BE MECHANICALLY RESTRAINED.

9 REMOTE FIRE DEPARTMENT CONNECTION
NTS



10 SEDIMENT MEASUREMENT POST
NTS

NMERB NEW OFFICE BUILDING

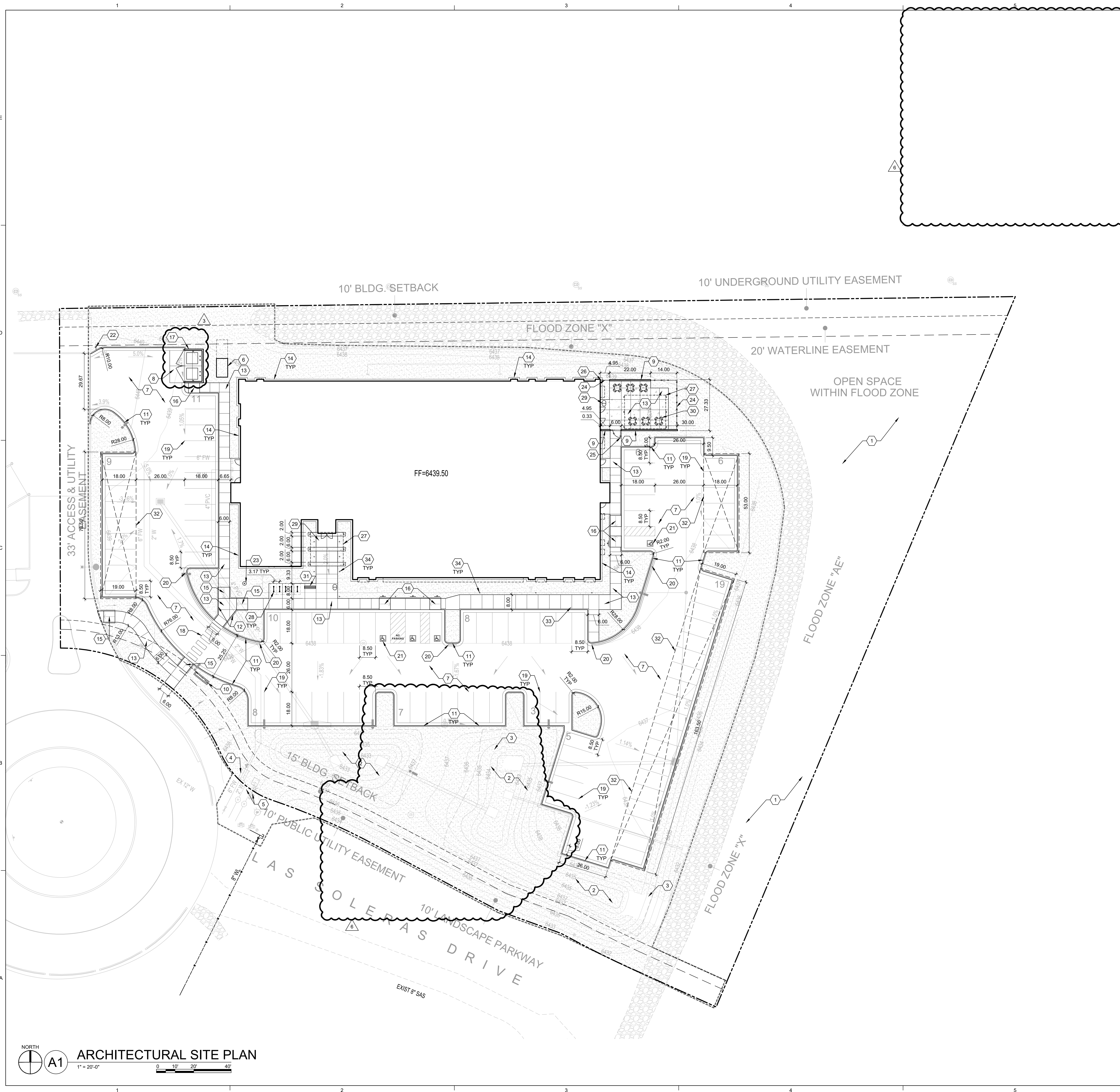
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUE FOR PERMIT

REVISIONS

DRAWN BY BO
REVIEWED BY GSB
DATE 12/21/2022
PROJECT NO 20-0371.001

DRAWING NAME
CIVIL DETAILS



GENERAL SHEET NOTES

- A. VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- B. COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- C. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- D. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- E. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- F. RESTORE AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, TO PRE-CONSTRUCTION CONDITION.
- G. ALTERNATE 1 LINE WORK IS DIAGRAMMATIC AND PENDING DESIGN. COORDINATION WITH FUTURE LAYOUT OF LAS SOLERAS DRIVE. SEE SPECIFICATIONS.

SHEET KEYNOTES

CODE	DESCRIPTION
1	AREA TO REMAIN UNDISTURBED
2	DRAINAGE BASIN, SEE CIVIL
3	CONCRETE RIBBON CHANNEL, SEE CIVIL
4	HOTBOX, SEE CIVIL
5	WATER METER, SEE CIVIL
6	TRANSFORMER, SEE ELECTRICAL
7	ASPHALT PAVEMENT, SEE CIVIL
8	HEAVY DUTY CONCRETE PAVEMENT, SEE CIVIL
9	CMU SCREEN WALL, SEE A4/AS502
10	MONUMENT SIGN, SEE B6/AS502
11	CONCRETE CURB AND GUTTER, SEE A3/AS501
12	CONCRETE HEADER CURB, SEE B2/AS501
13	CONCRETE SIDEWALK, SEE A2/AS501
14	CONCRETE BUILDING APRON, SEE A1/AS501
15	CONCRETE CURB RAMP TYPE A, SEE B4/AS501
16	CONCRETE CURB RAMP TYPE B, SEE B5/AS501
17	DUMPSTER ENCLOSURE, SEE A1/AS502
18	PAINTED CROSSWALK, SEE D4/AS501
19	4" PAVEMENT STRIPING, COLOR: WHITE
20	FIRELANE STRIPING, SEE D3/AS501
21	ACCESSIBLE PARKING, SEE C1/AS501
22	SITE SIGNAGE, STOP SIGN, SEE D1/AS501
23	FLAGPOLE, SEE D5/AS501
24	WIRE FENCE, SEE C5/AS502
25	WIRE FENCE GATE, SEE D5/AS502
26	FENCE AT BUILDING FACE, SEE C3/AS502
27	SHADE CANOPY, SEE ARCHITECTURAL
28	FORMS+SURFACES TWIST SURFACE MOUNT BIKE RACK, SEE SPECIFICATIONS
29	FORMS+SURFACES TONYO LITTER AND RECYCLING RECEPTACLE, SEE SPECIFICATIONS
30	FORMS+SURFACES 30" COLUMN TABLE AND AVIVO CHAIR WITH ARMS, SEE SPECIFICATIONS
31	FORMS+SURFACES APEX BACKLESS BENCH, SEE SPECIFICATIONS
32	PARKING CANOPY BY OTHERS
33	FUTURE DUAL EV CHARGER
34	LIGHT BOLLARD, SEE D6/AS501 AND ELECTRICAL

LEGEND

- EXISTING DRAINAGE SWALE TO REMAIN
- CONCRETE WITH SALT FINISH, SEE A2/AS501 AND SPECIFICATIONS
- LANDSCAPE AREA, SEE LANDSCAPE PLAN
- LIGHT POLE, SEE ELECTRICAL
- LIMIT OF WORK
- PROPERTY LINE
- 15' BUILDING SETBACK
- 10' PUBLIC UTILITY EASEMENT

**DEKKER
PERICH
SABATINI**



SEAL

PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

3/6/2024	ASI-002
8/16/2024	ASI-005

DRAWN BY	BG
REVIEWED BY	CM
DATE	12/21/2022
PROJECT NO	20-0371.001

DRAWING NAME
**ARCHITECTURAL
SITE PLAN**

SHEET NO
AS101



SEAL
PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

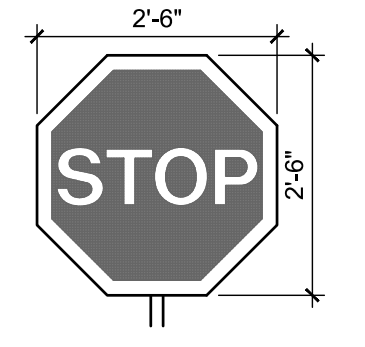
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DRAWN BY TC
REVIEWED BY DPS
DATE 12/21/2022
PROJECT NO 20-0371.001

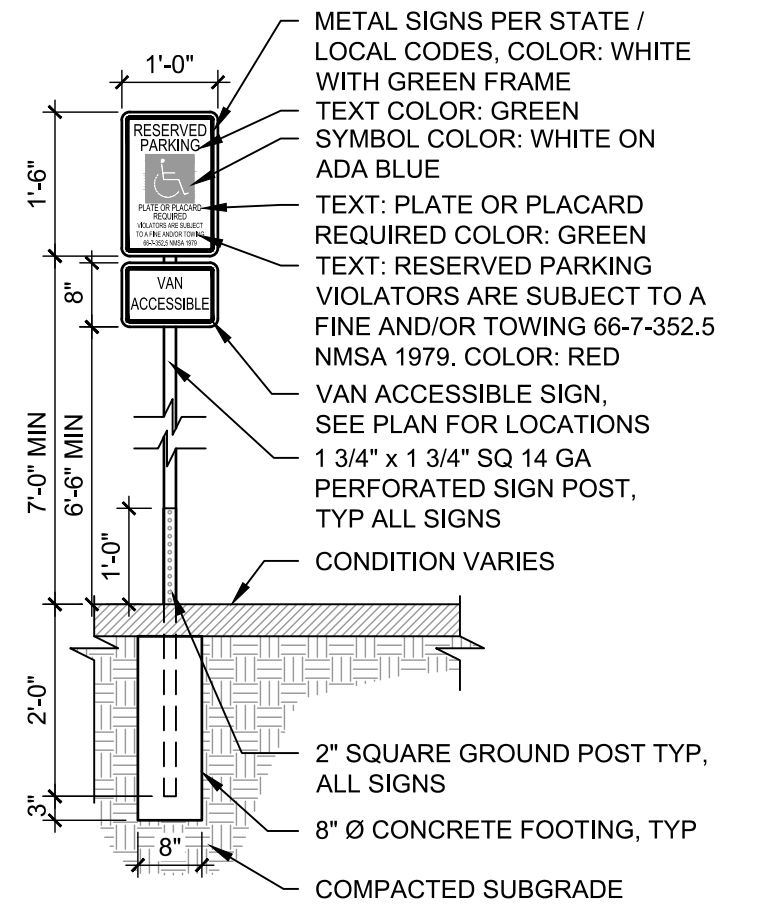
DRAWING NAME
SITE DETAILS

SHEET NO
AS501

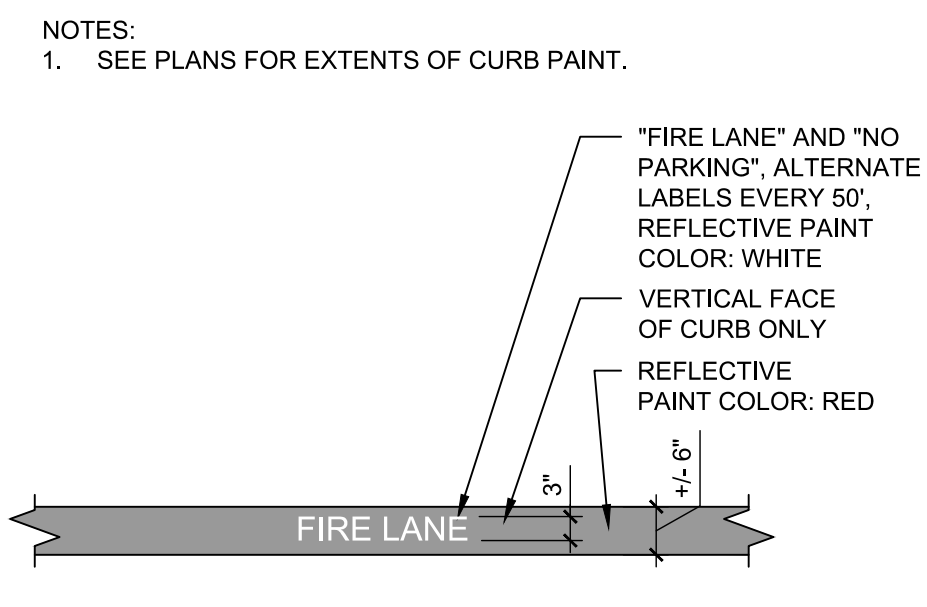
NOTES:
1. ALL SIGNS WILL HAVE THE SAME POLE AND FOOTING AS THE ACCESSIBLE PARKING SIGN SHOWN HERE.
2. HEIGHT TO BOTTOM OF SIGN PER ANSI 502.7 AND MUTCD IS 84" ABOVE FINISH GRADE.



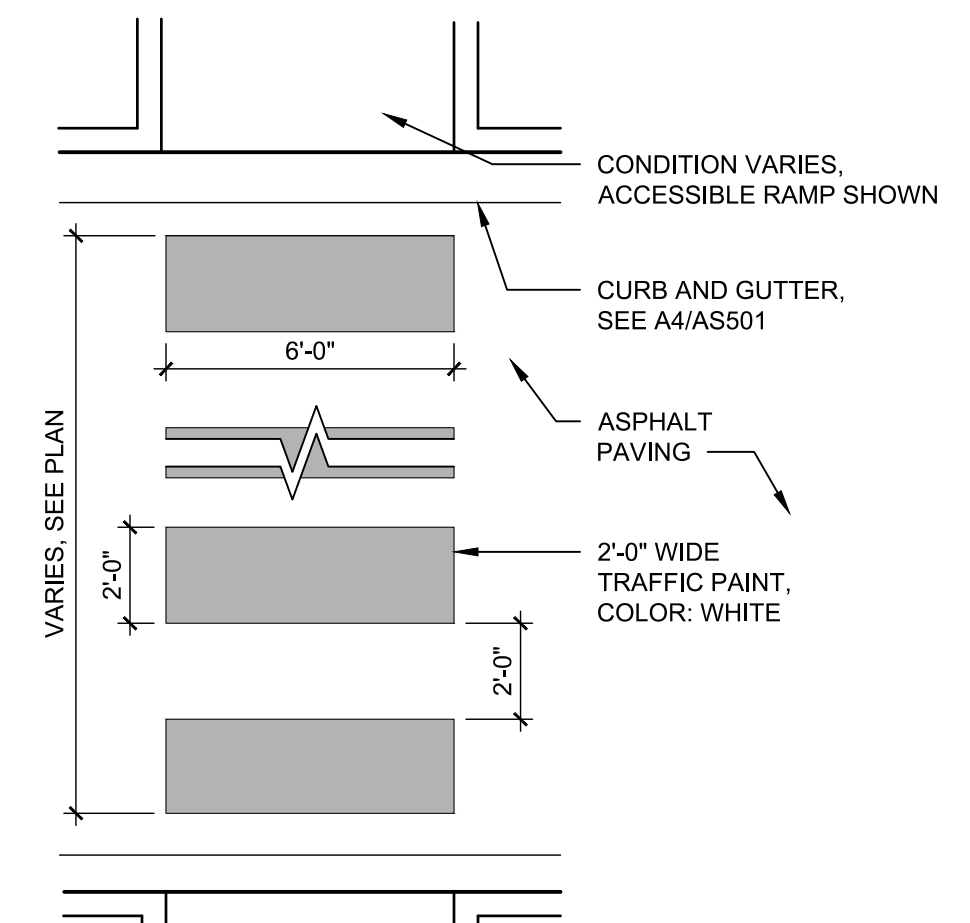
D1 SITE SIGNAGE
1/2" = 1'-0"



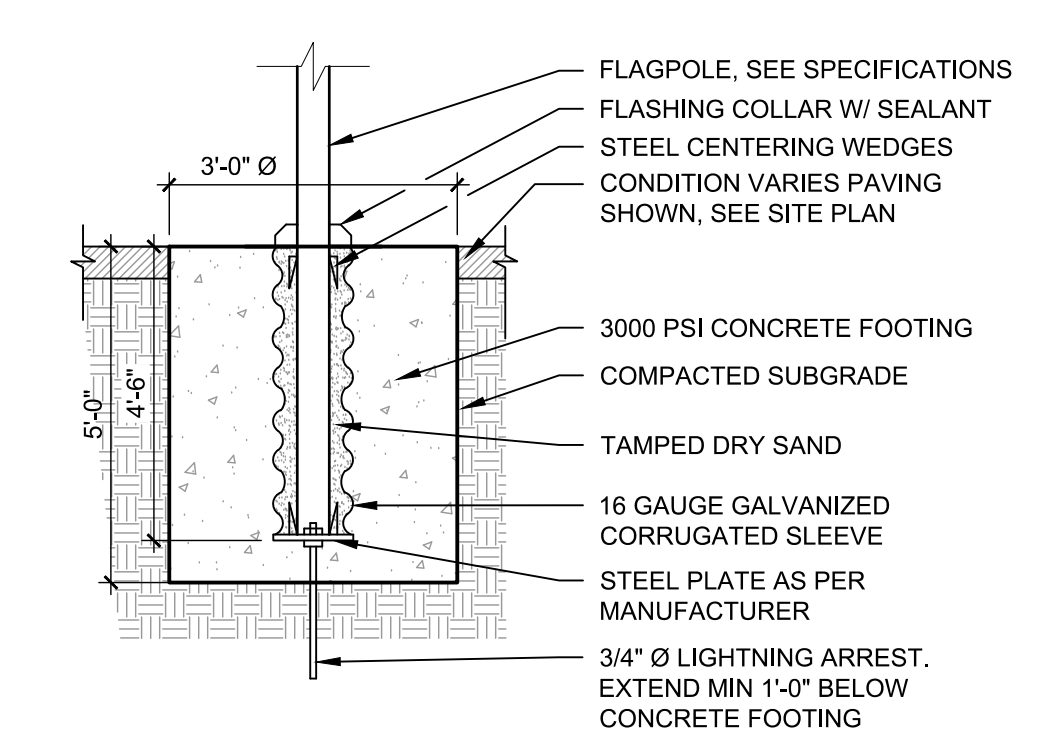
D3 FIRELANE STRIPING
1/2" = 1'-0"



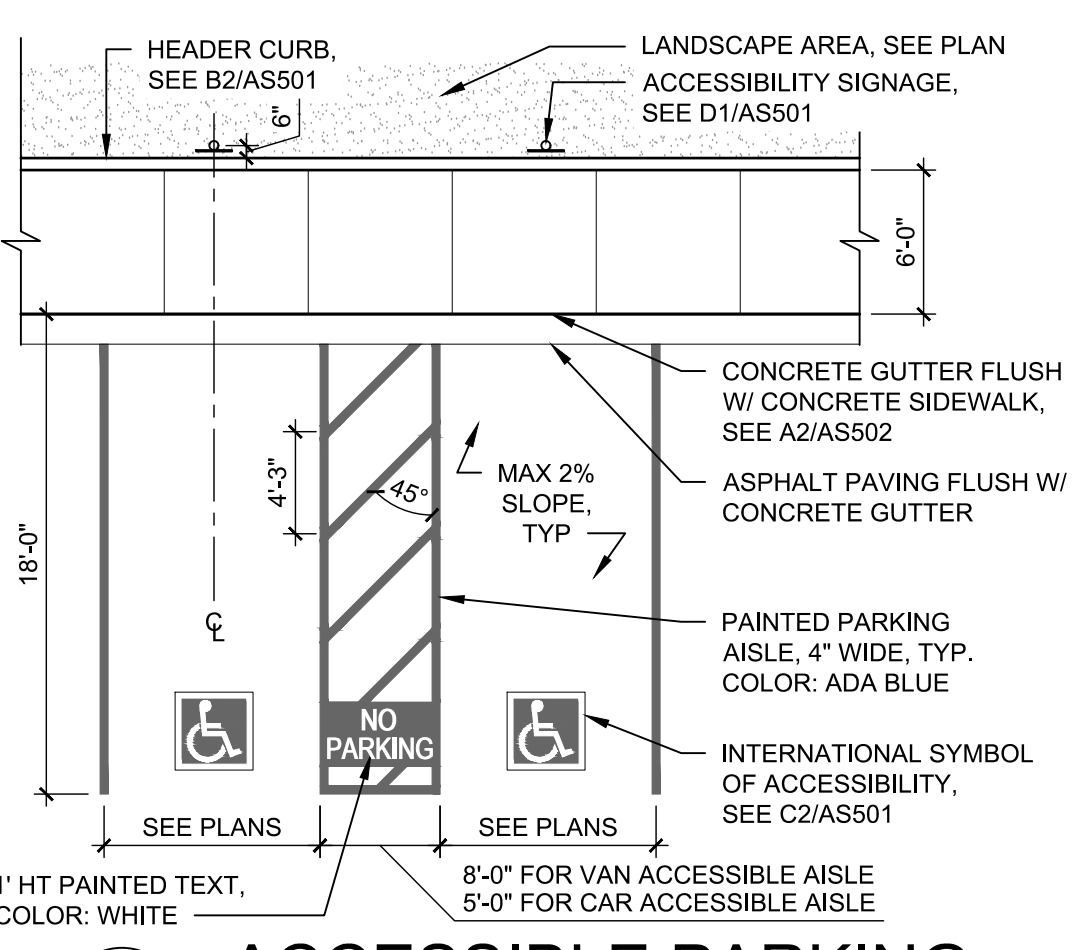
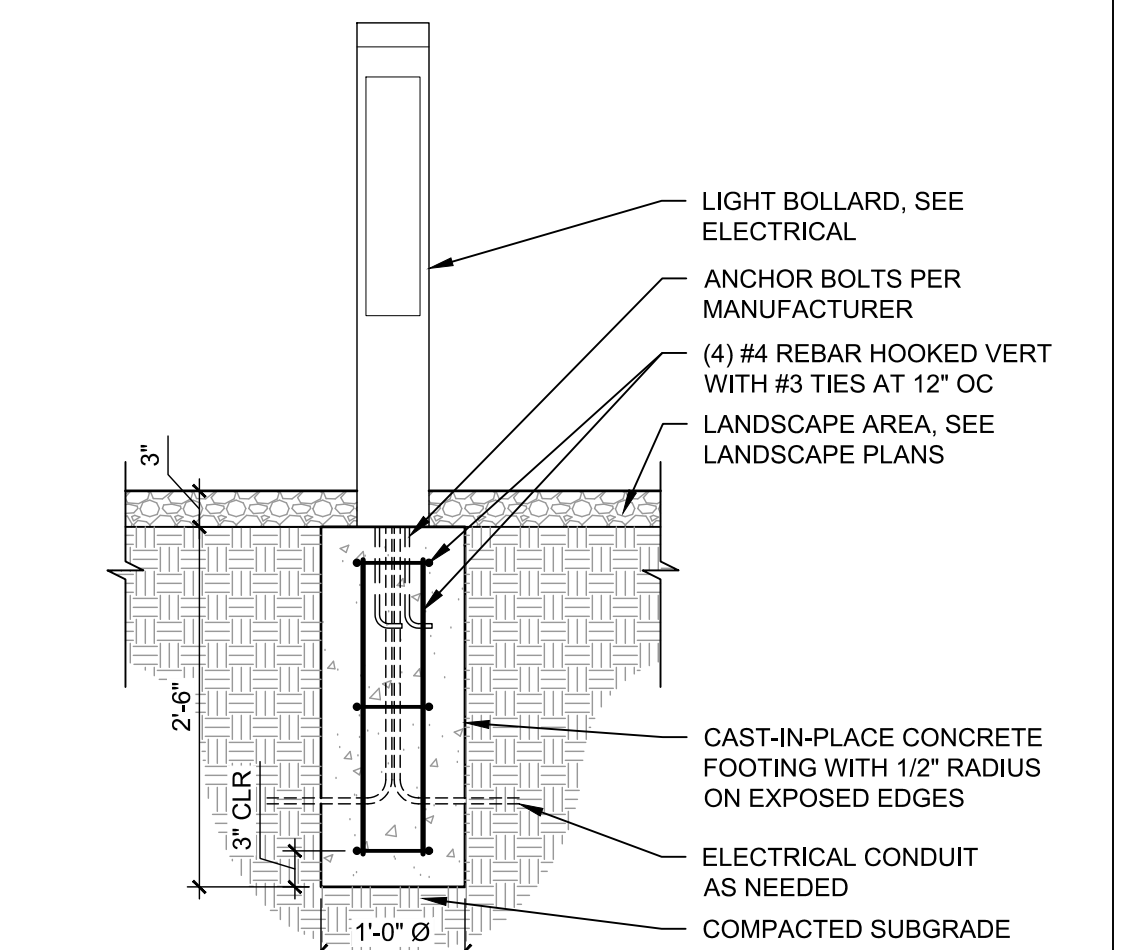
D4 PAINTED CROSSWALK
1/4" = 1'-0"



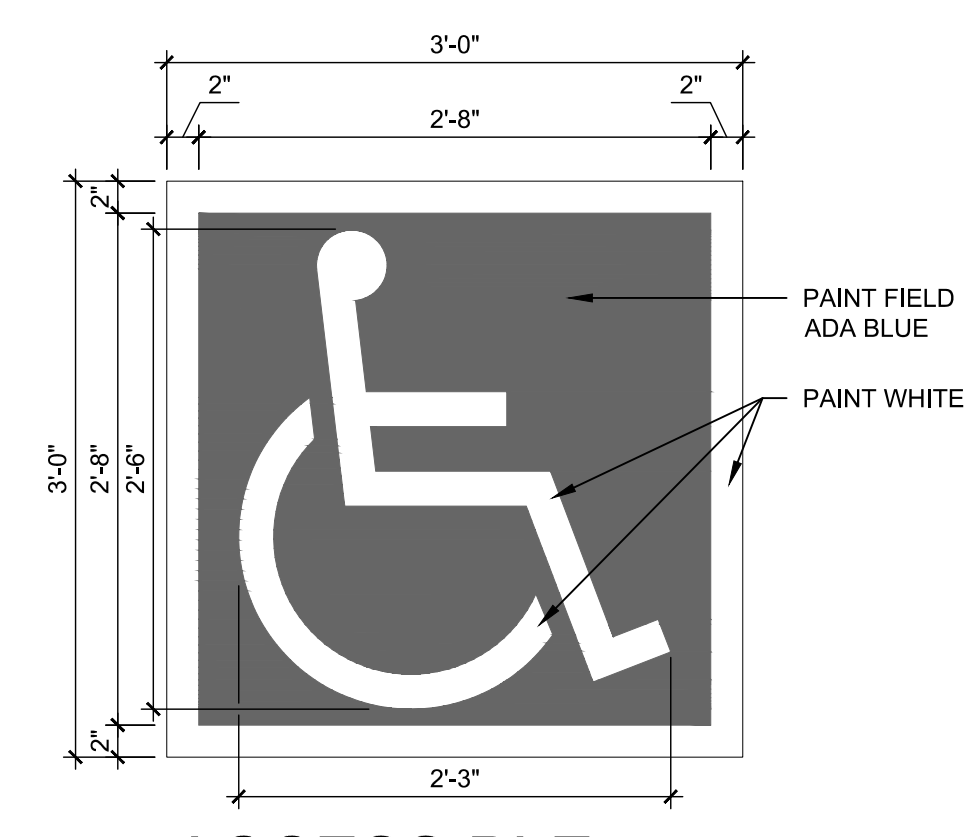
D5 FLAGPOLE BASE
1/2" = 1'-0"



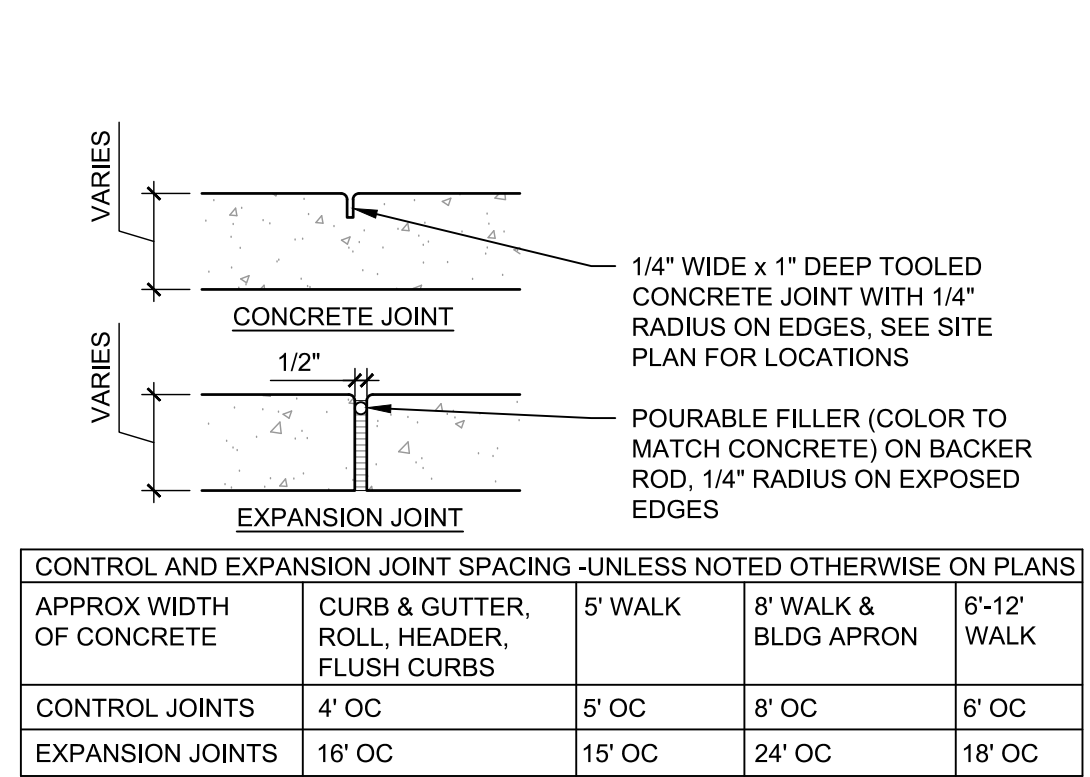
D6 LIGHT BOLLARD FOOTING
3/4" = 1'-0"



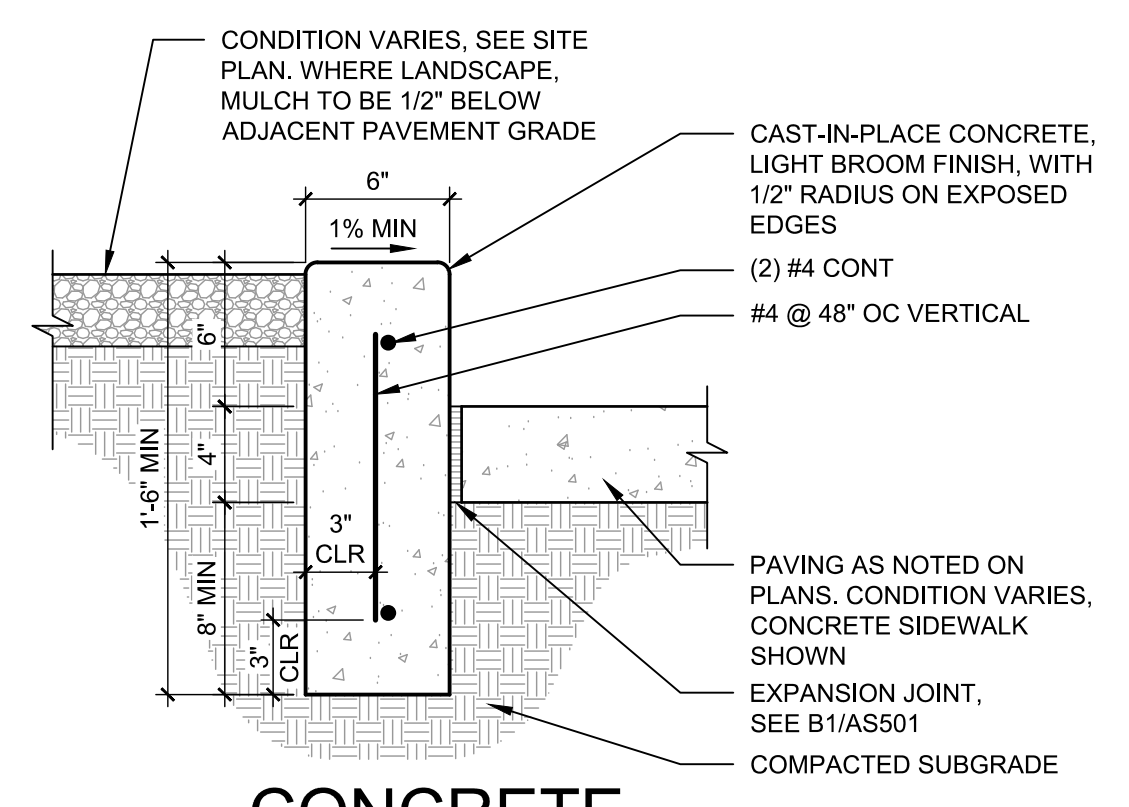
C1 ACCESSIBLE PARKING
1/8" = 1'-0"



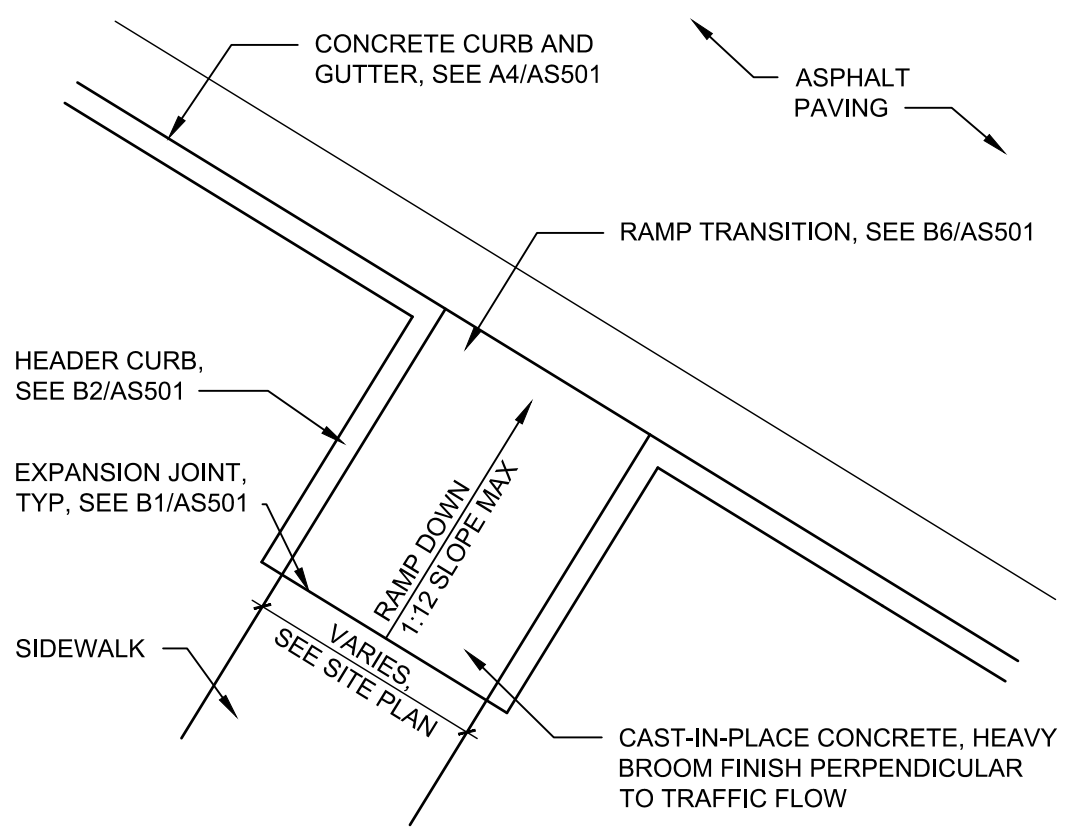
C2 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"



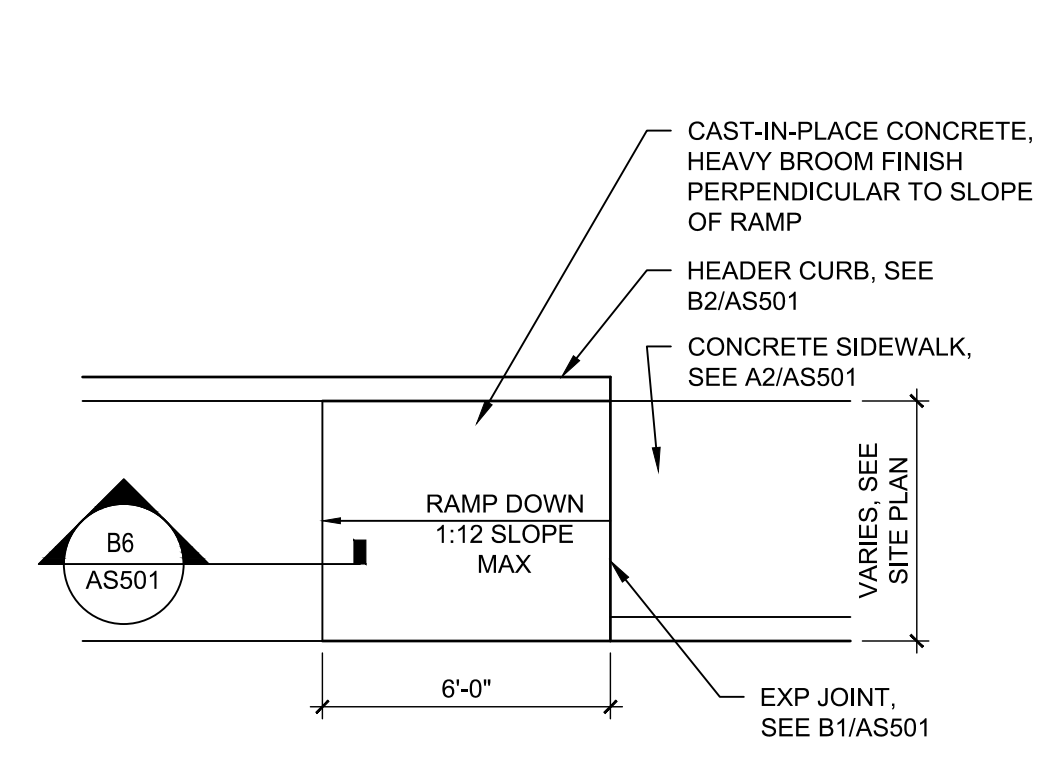
B1 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"



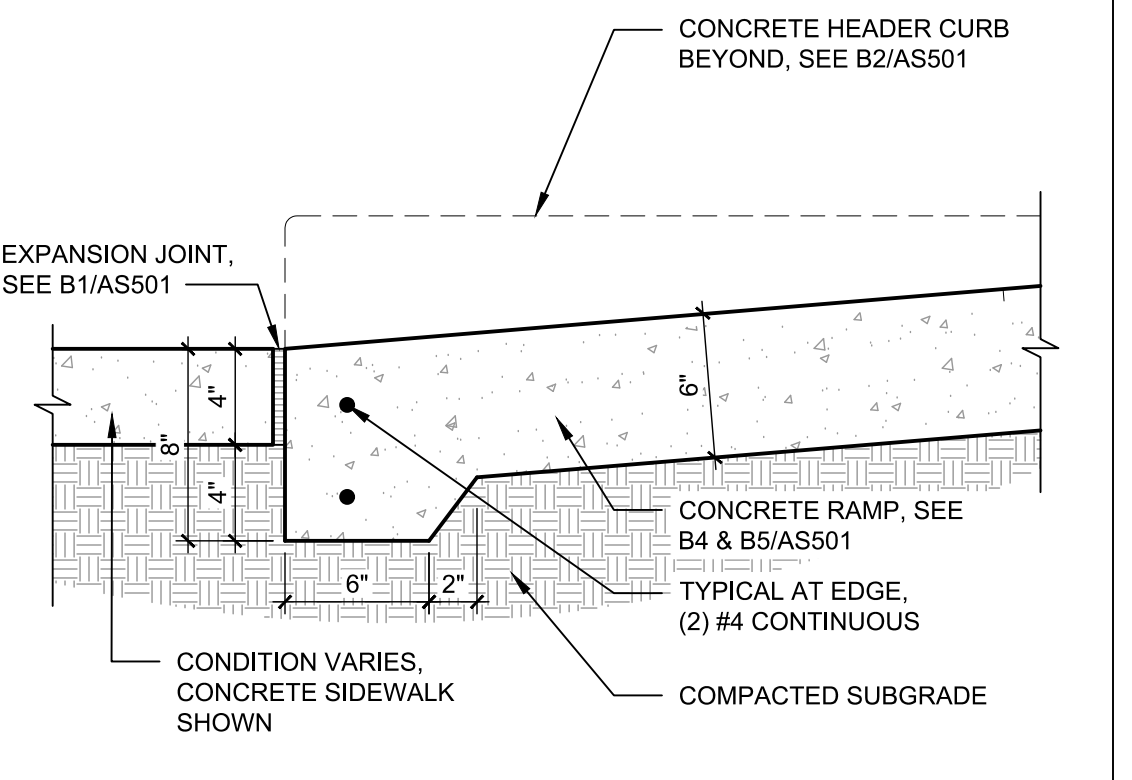
B2 CONCRETE HEADER CURB
1 1/2" = 1'-0"



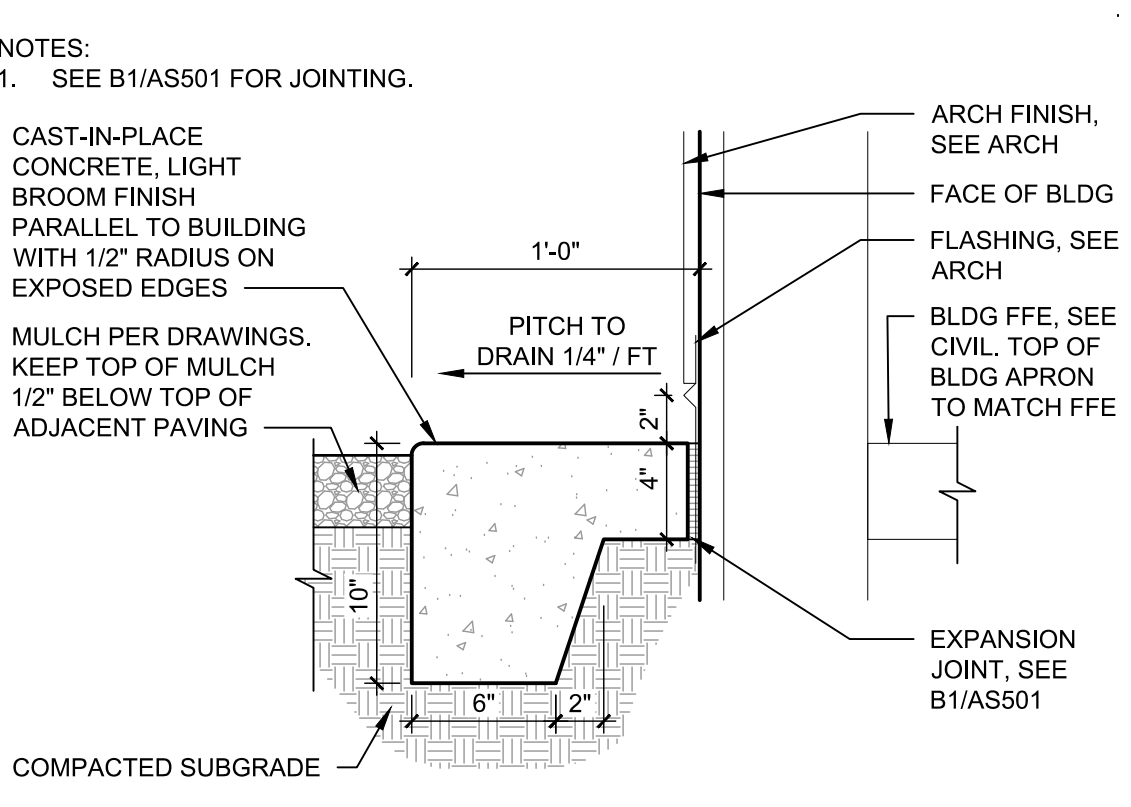
B4 CONCRETE CURB RAMP - TYPE A
1/4" = 1'-0"



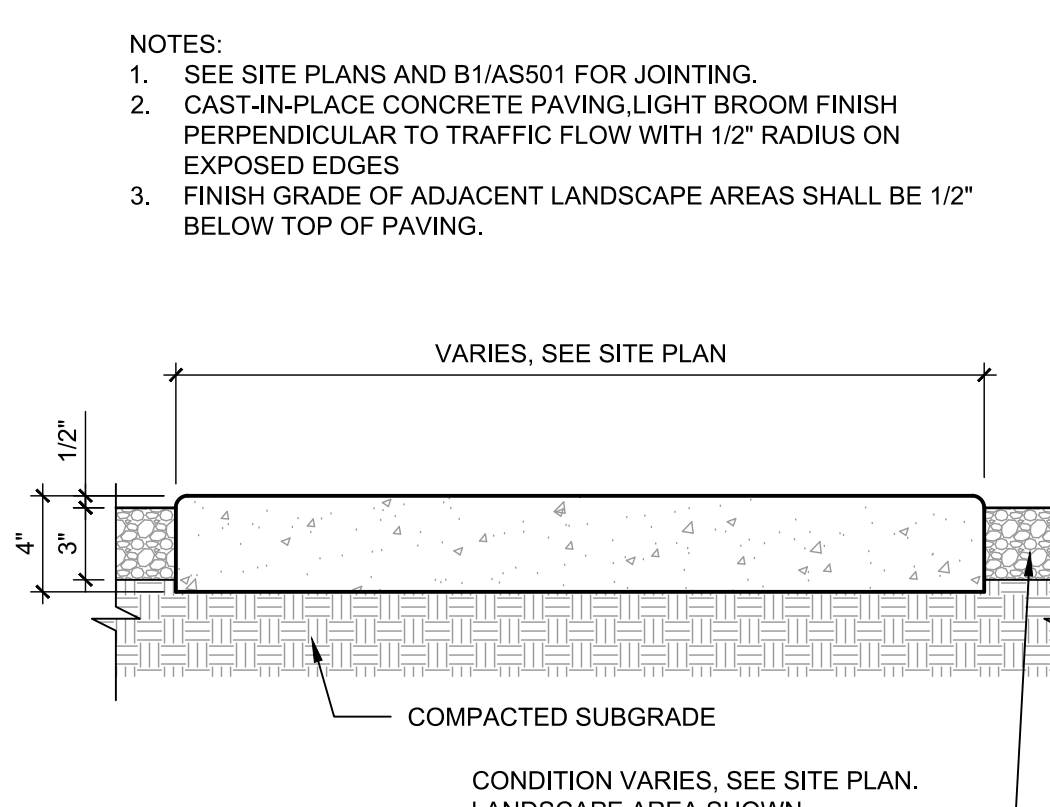
B5 CONCRETE CURB RAMP - TYPE B
1/4" = 1'-0"



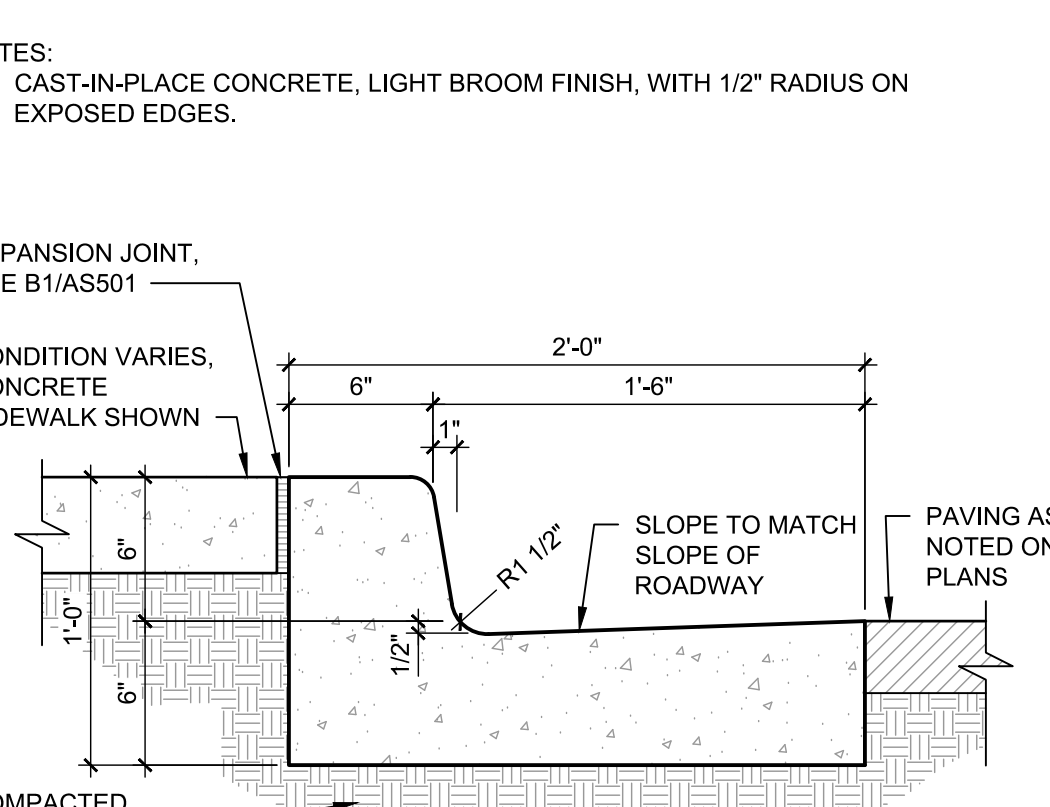
B6 RAMP TRANSITION
1 1/2" = 1'-0"



A1 CONCRETE BUILDING APRON
1 1/2" = 1'-0"

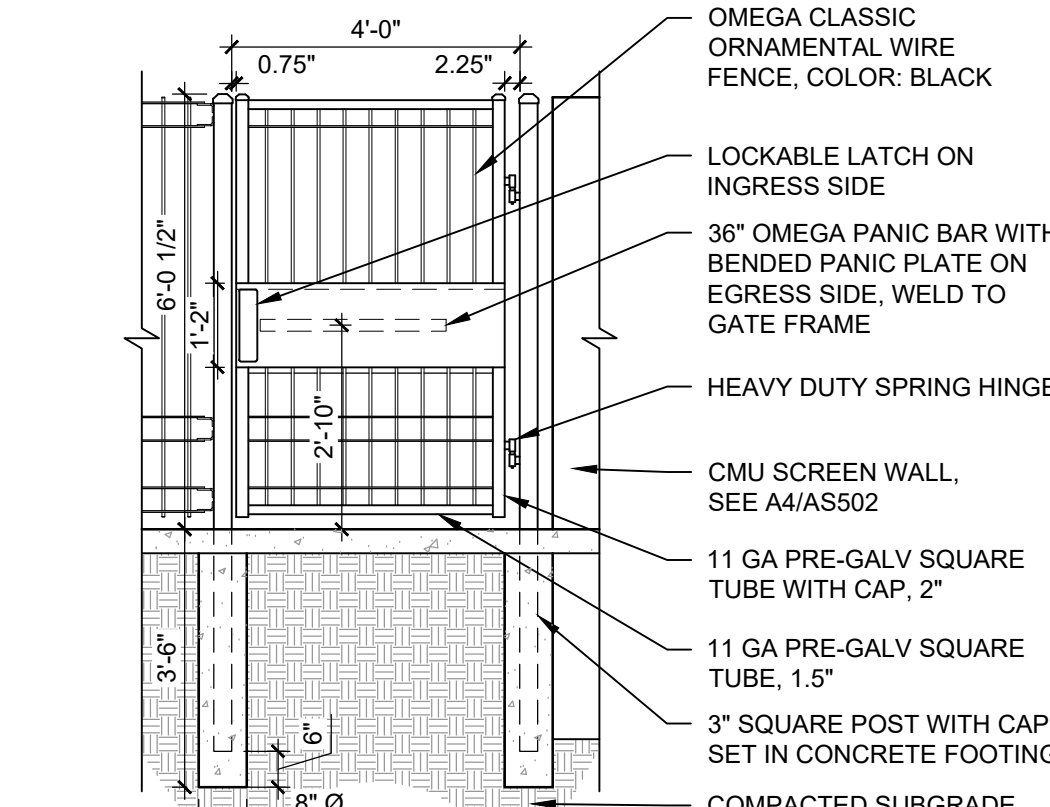


A2 CONCRETE SIDEWALK
1 1/2" = 1'-0"



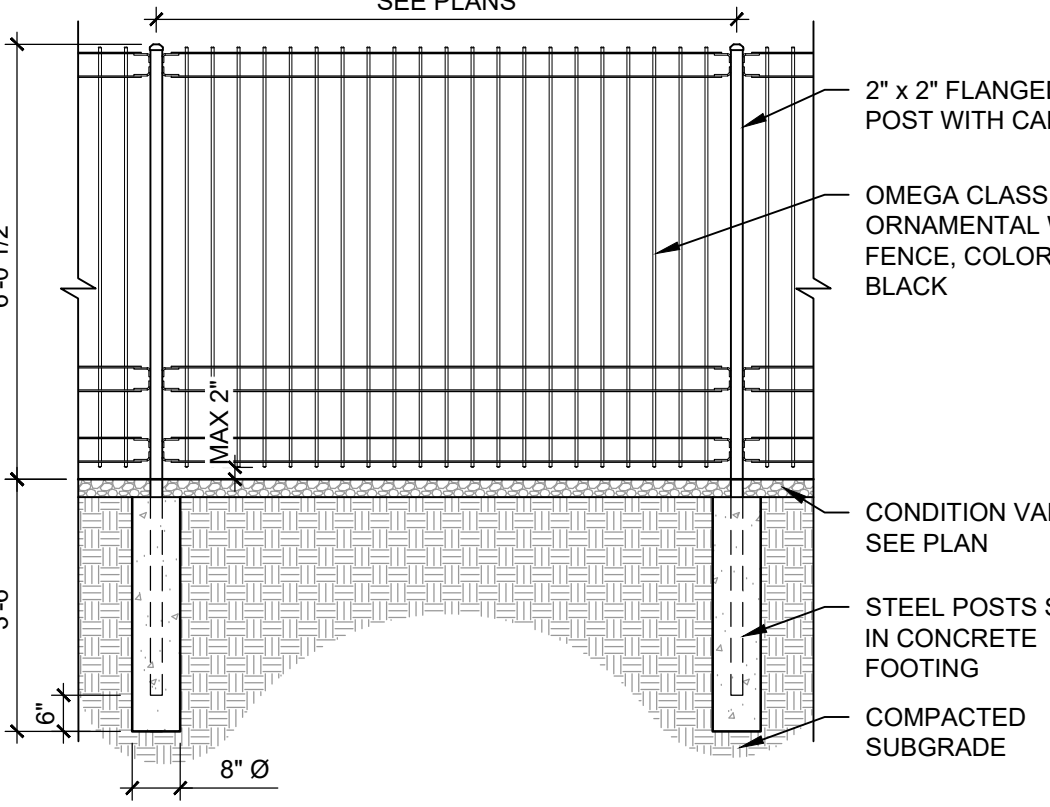
A3 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"

- NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
2. SEE SPECIFICATIONS
3. CENTER PANEL IN FRAME
4. PRIME AND PAINT EXPOSED ENDS OF FIELD CUT FENCE PANELS PER MANUFACTURER SPECIFICATIONS.

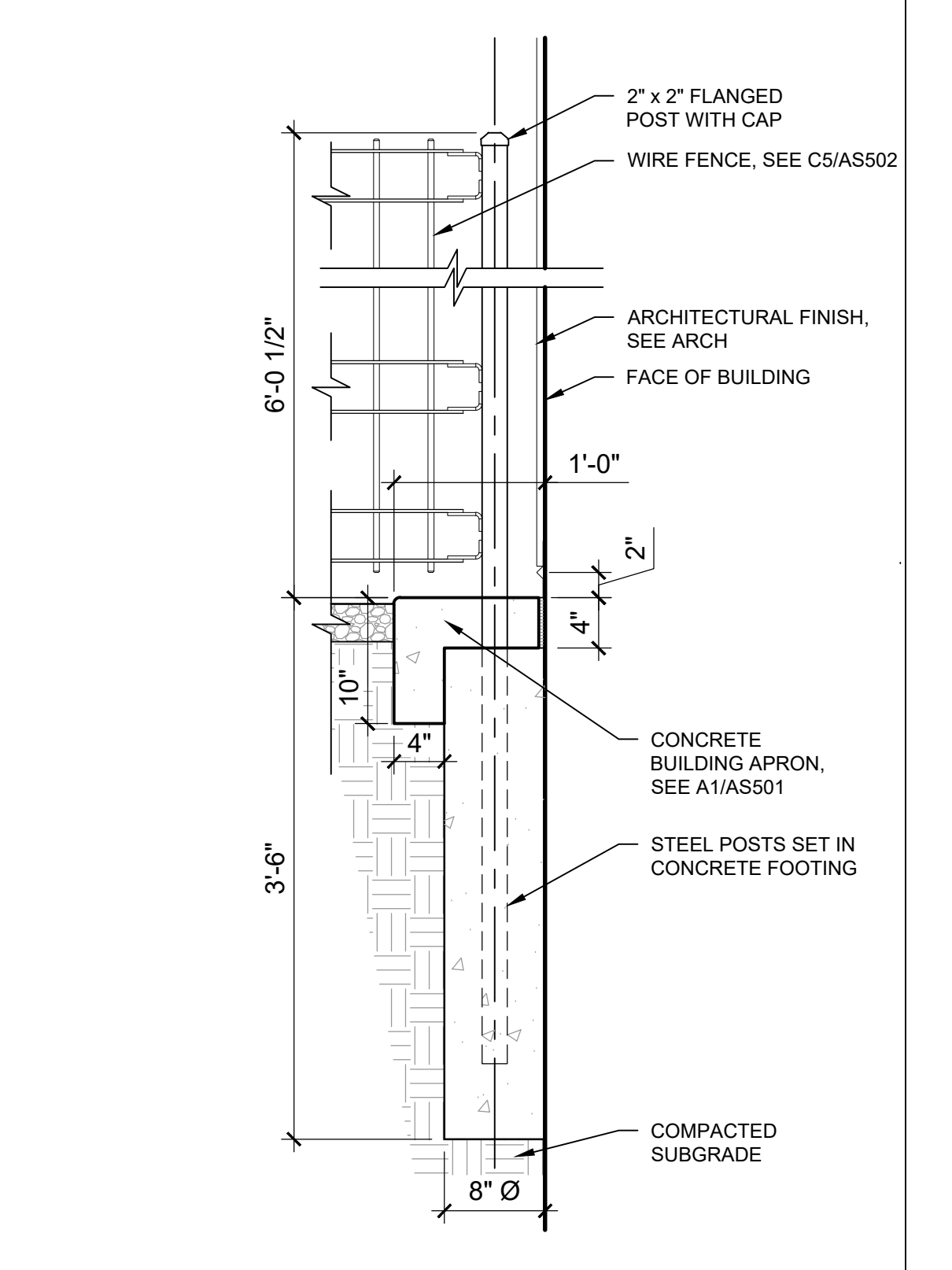


D5 WIRE FENCE GATE
3/8" = 1'-0"

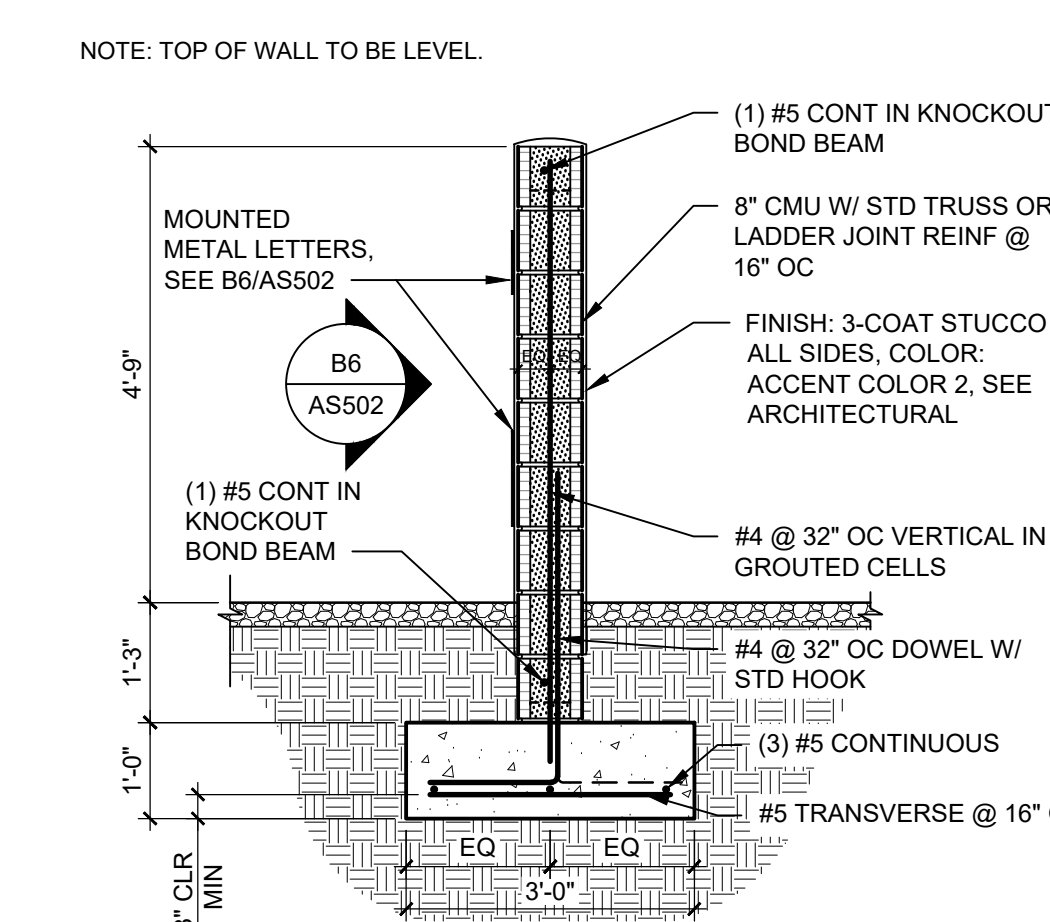
- NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
2. SEE SPECIFICATIONS
3. SET FENCE PANELS LEVEL
4. IF CUTTING OF TRIMMING IS NECESSARY, PRIME AND PAINT EXPOSED ENDS OF FIELD CUT PANELS PER MANUFACTURER SPECIFICATIONS.



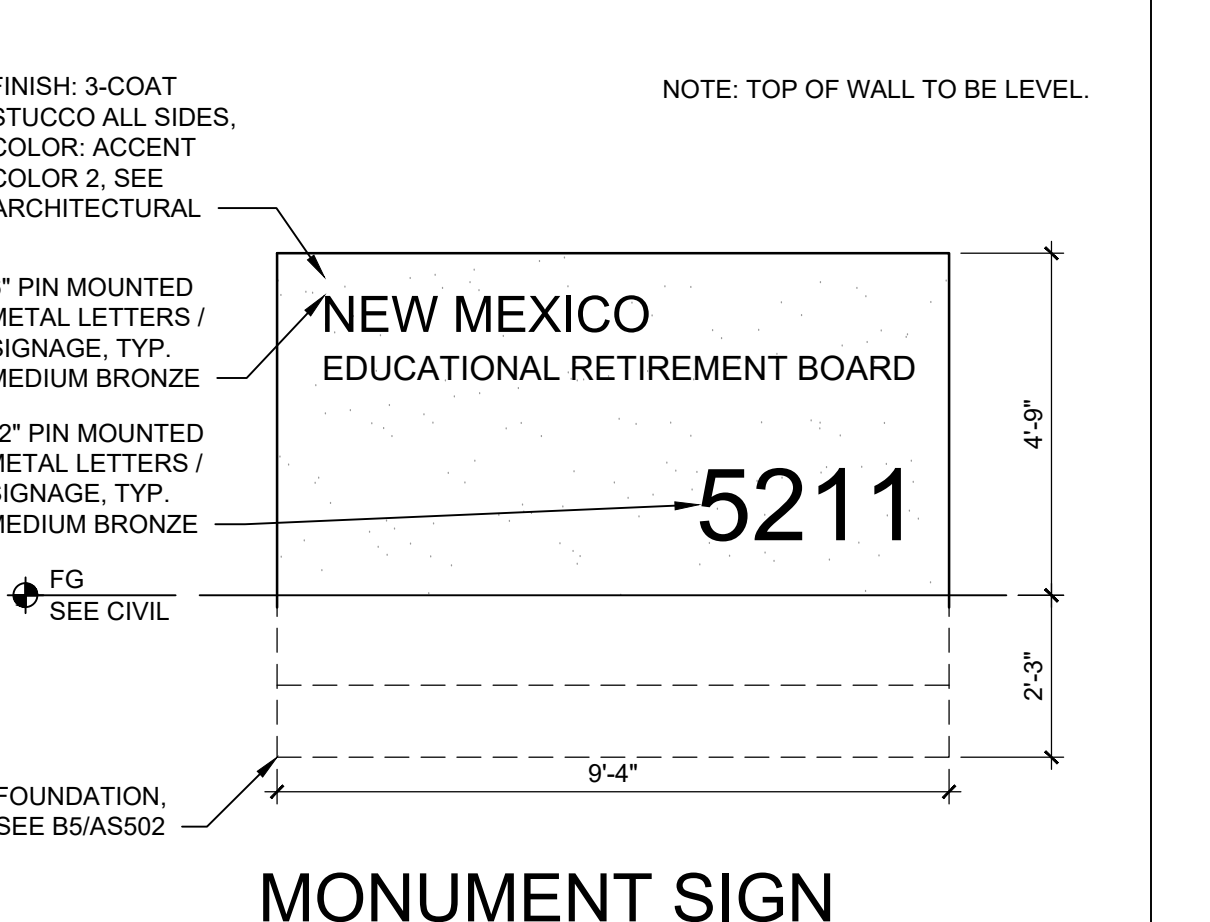
C5 WIRE FENCE
3/8" = 1'-0"



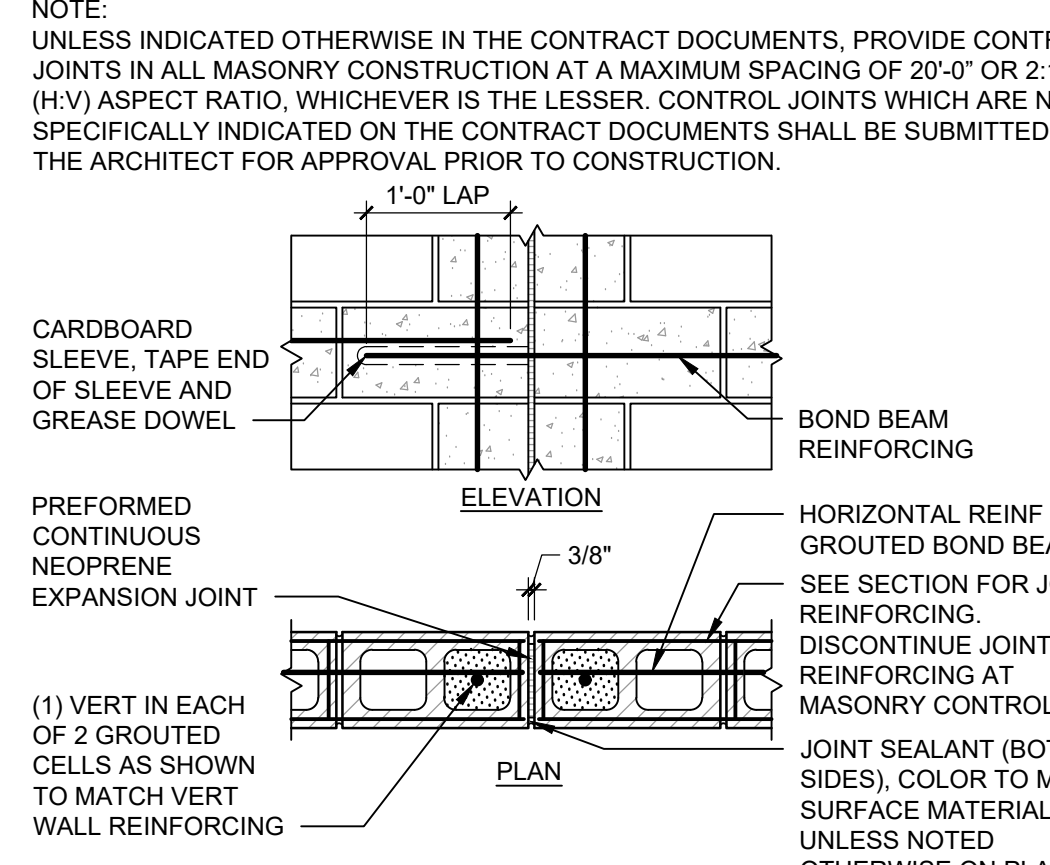
C6 FENCE AT BUILDING FACE
1" = 1'-0"



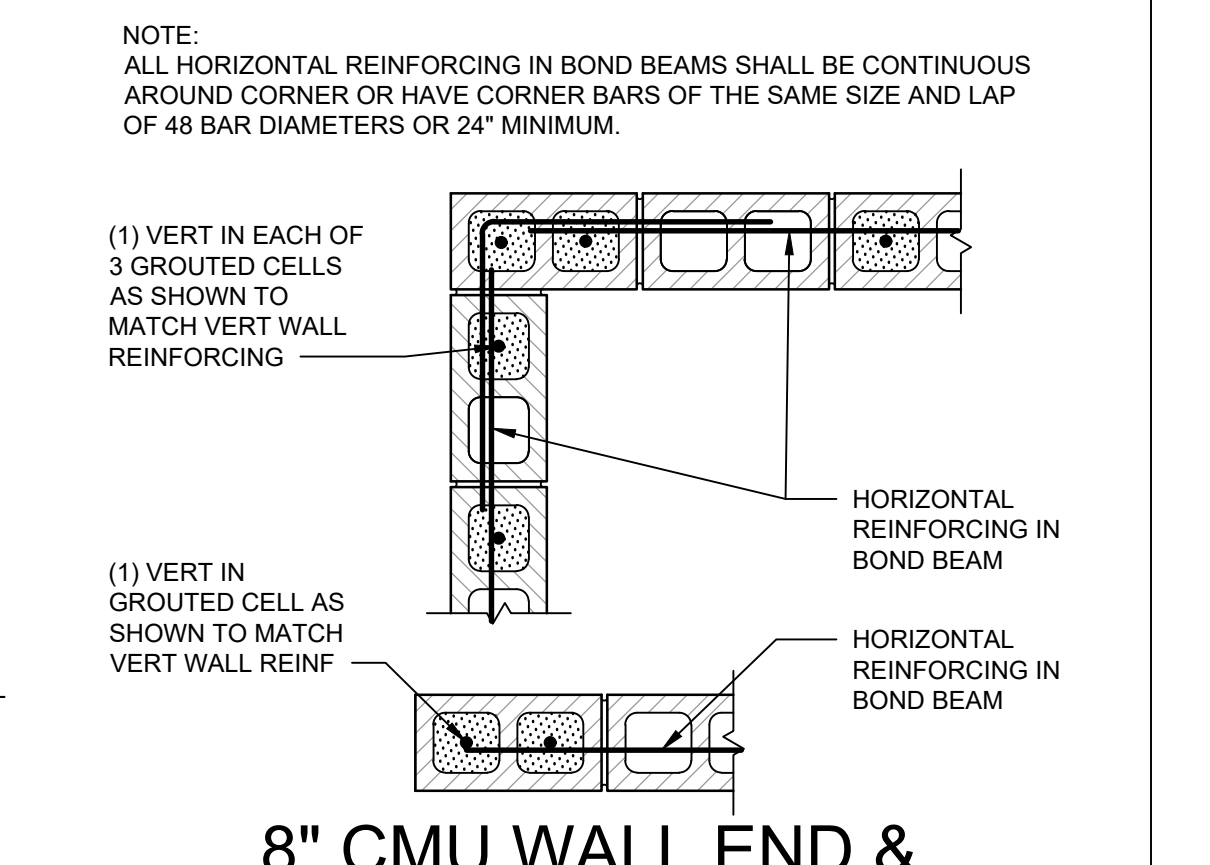
B5 SIGN FOUNDATION
1/2" = 1'-0"



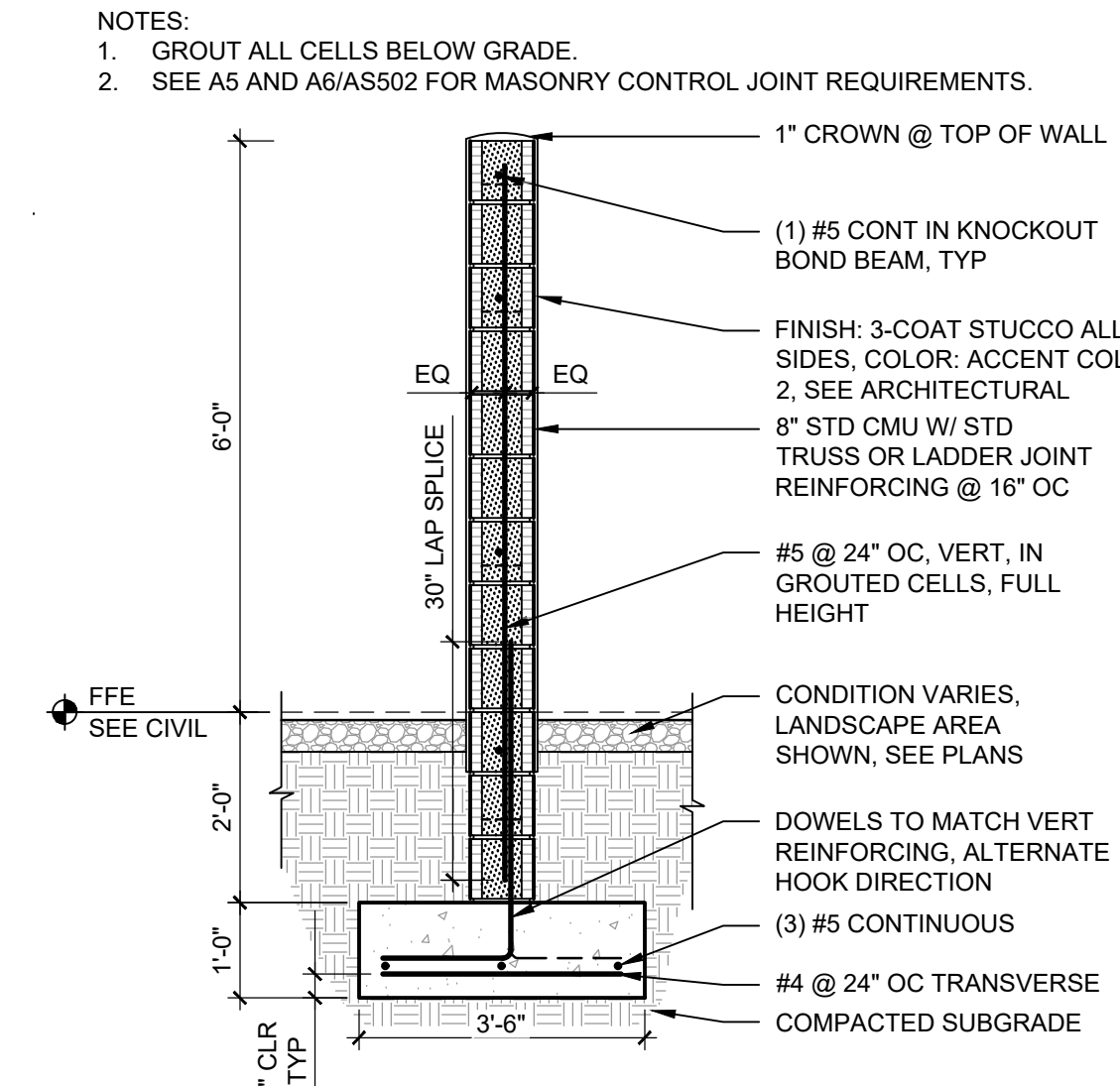
B6 MONUMENT SIGN ELEVATION
3/8" = 1'-0"



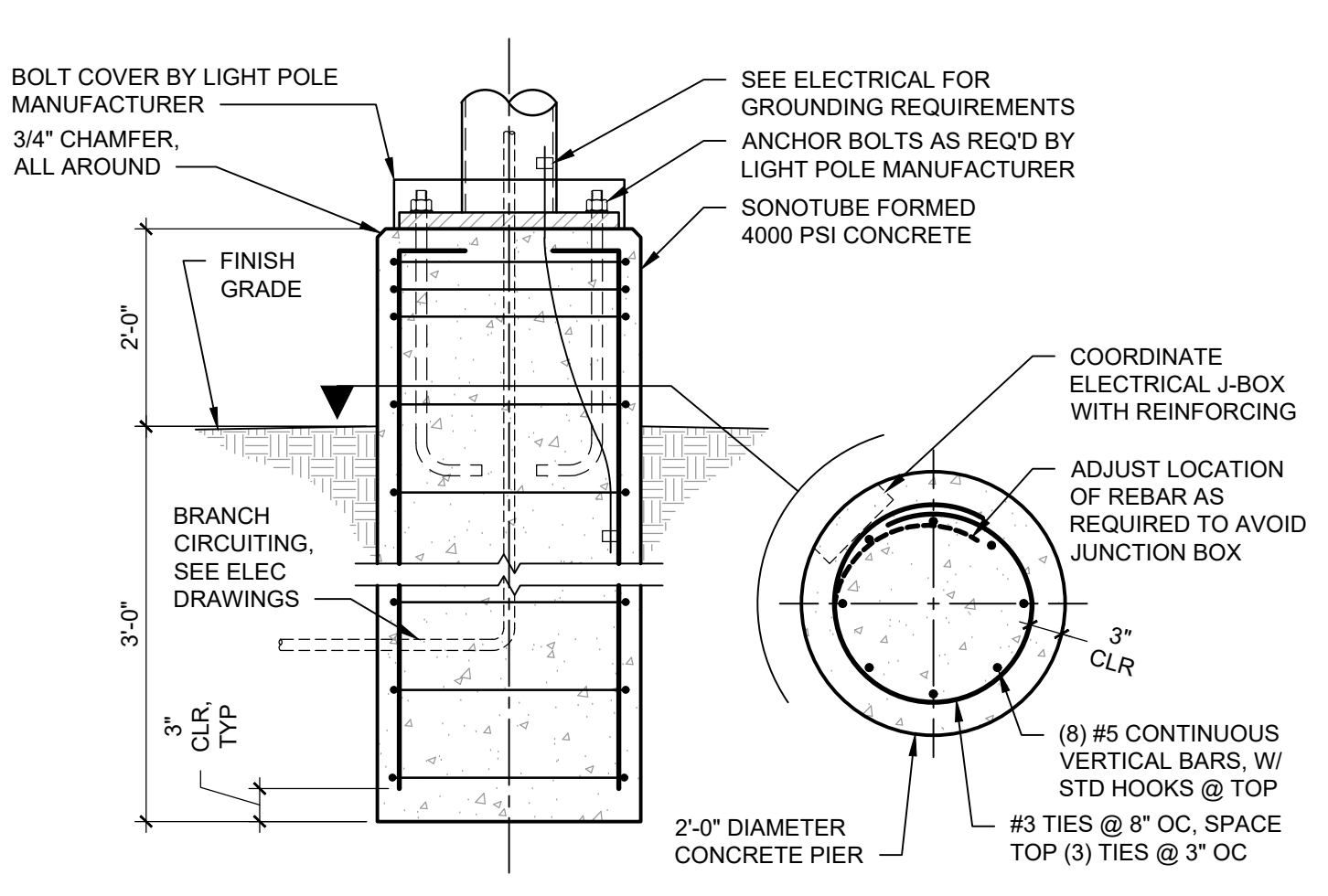
A5 MASONRY CONTROL JOINT
3/4" = 1'-0"



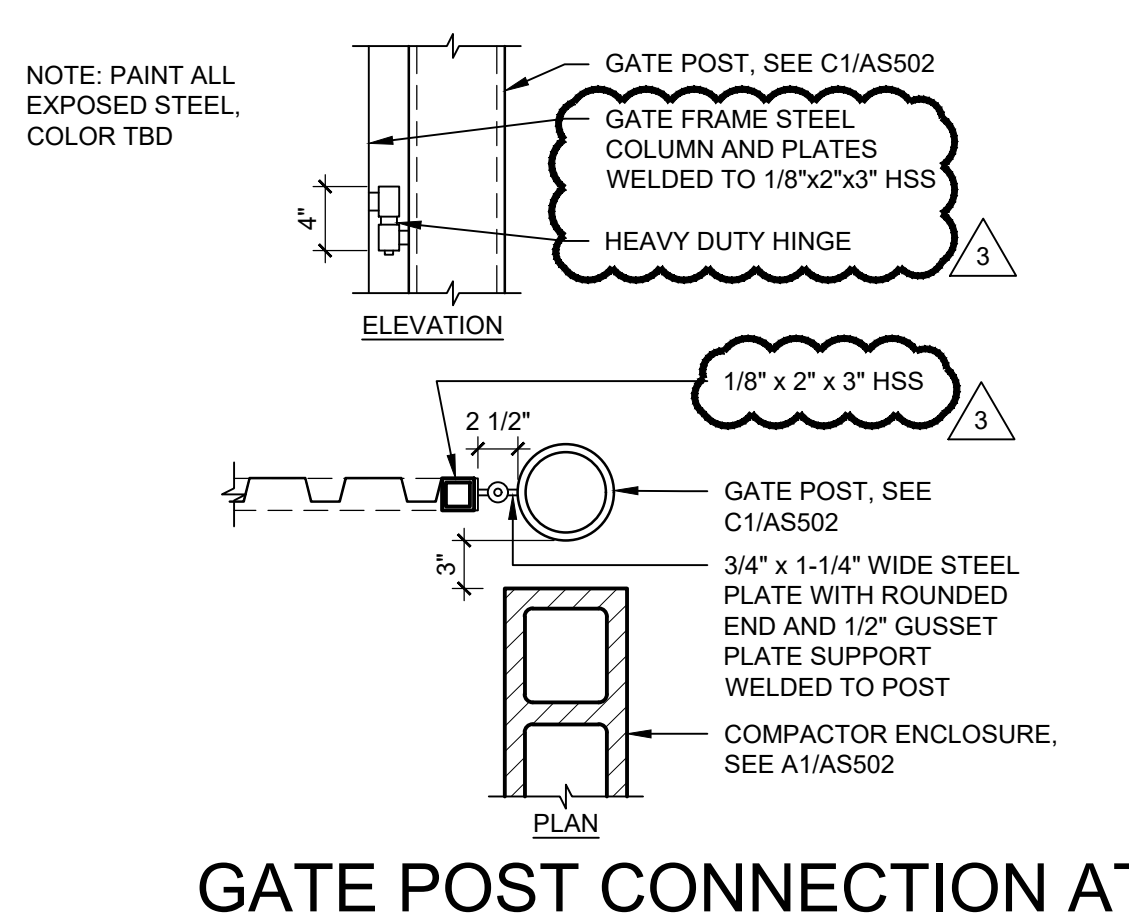
A6 8" CMU WALL END & CORNER DETAILS
3/4" = 1'-0"



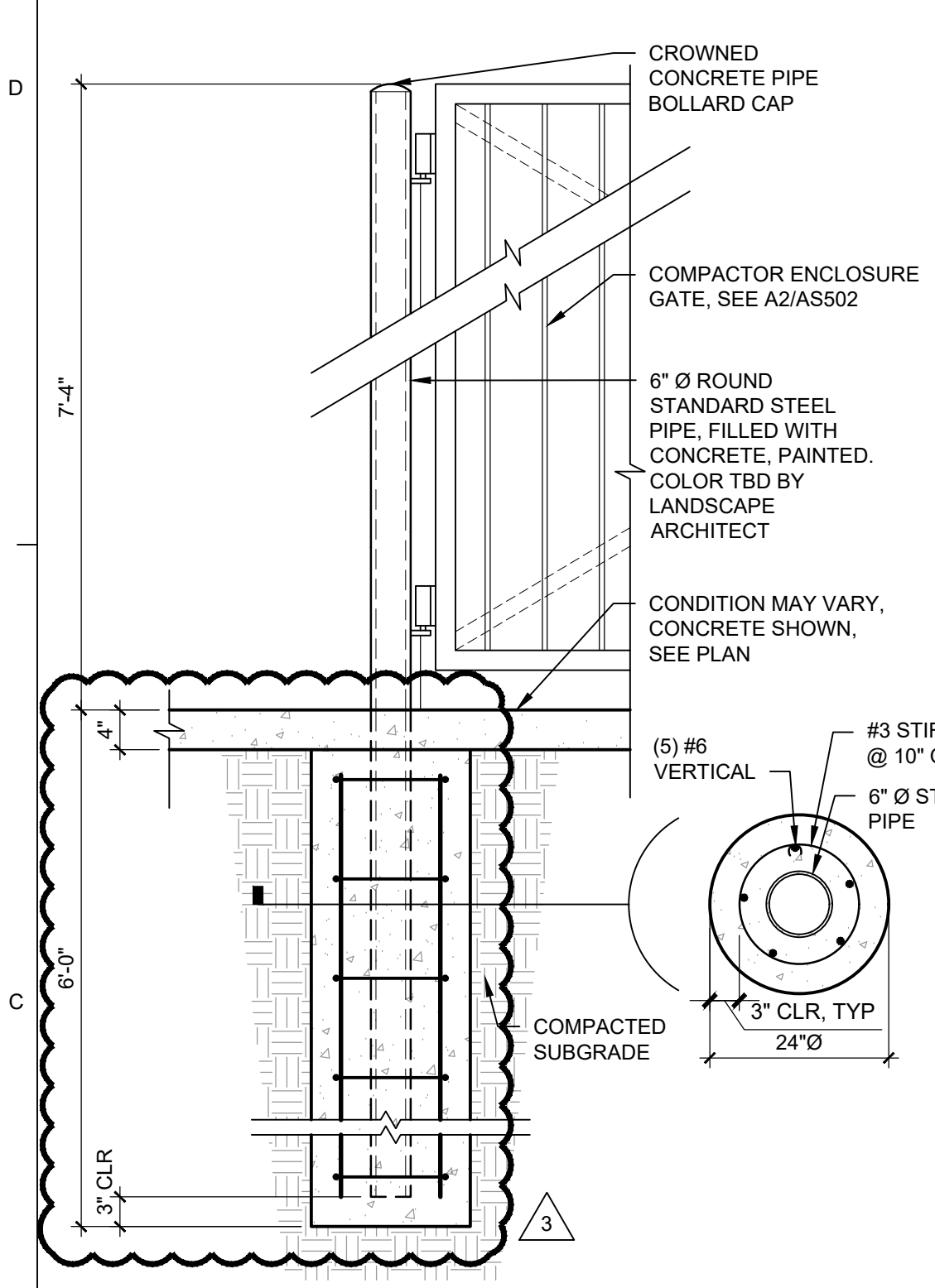
A4 CMU SCREEN WALL
1/2" = 1'-0"



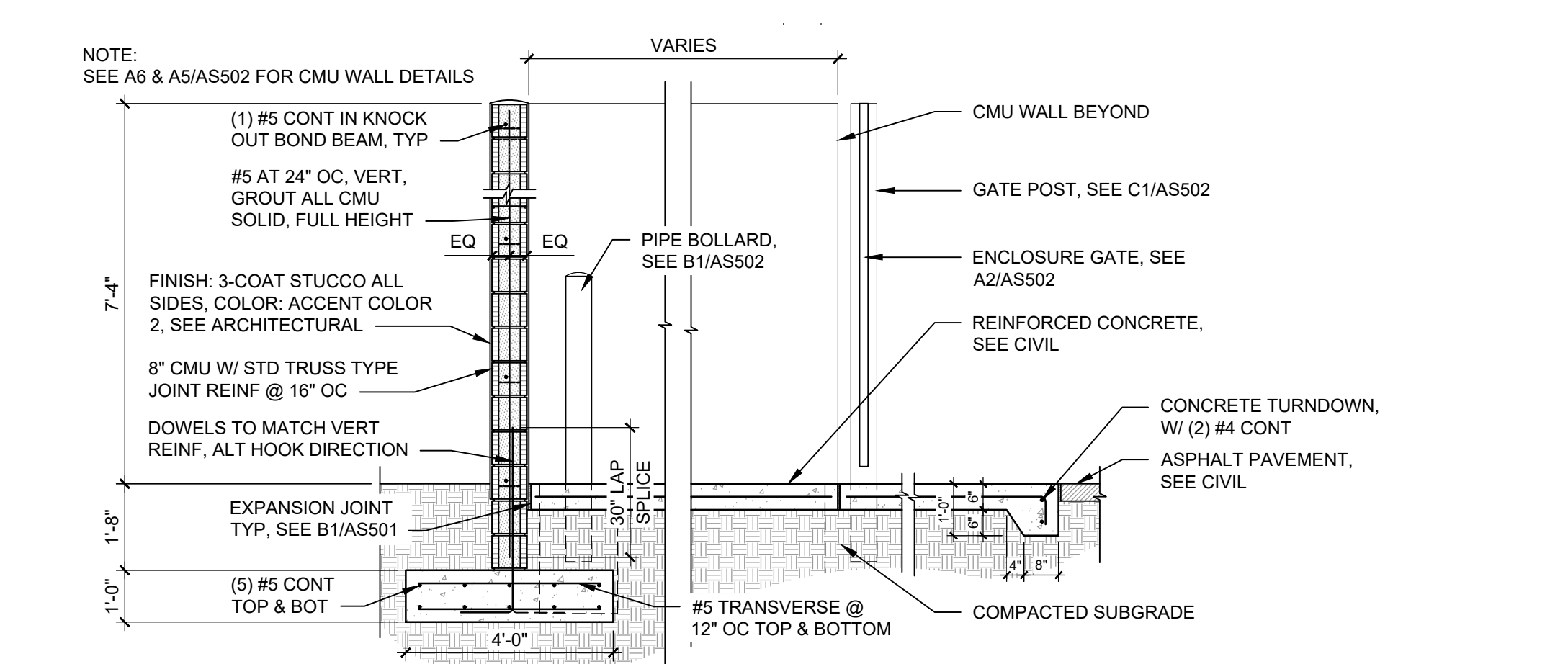
C3 FOUNDATION AT LIGHT POLE
3/4" = 1'-0"



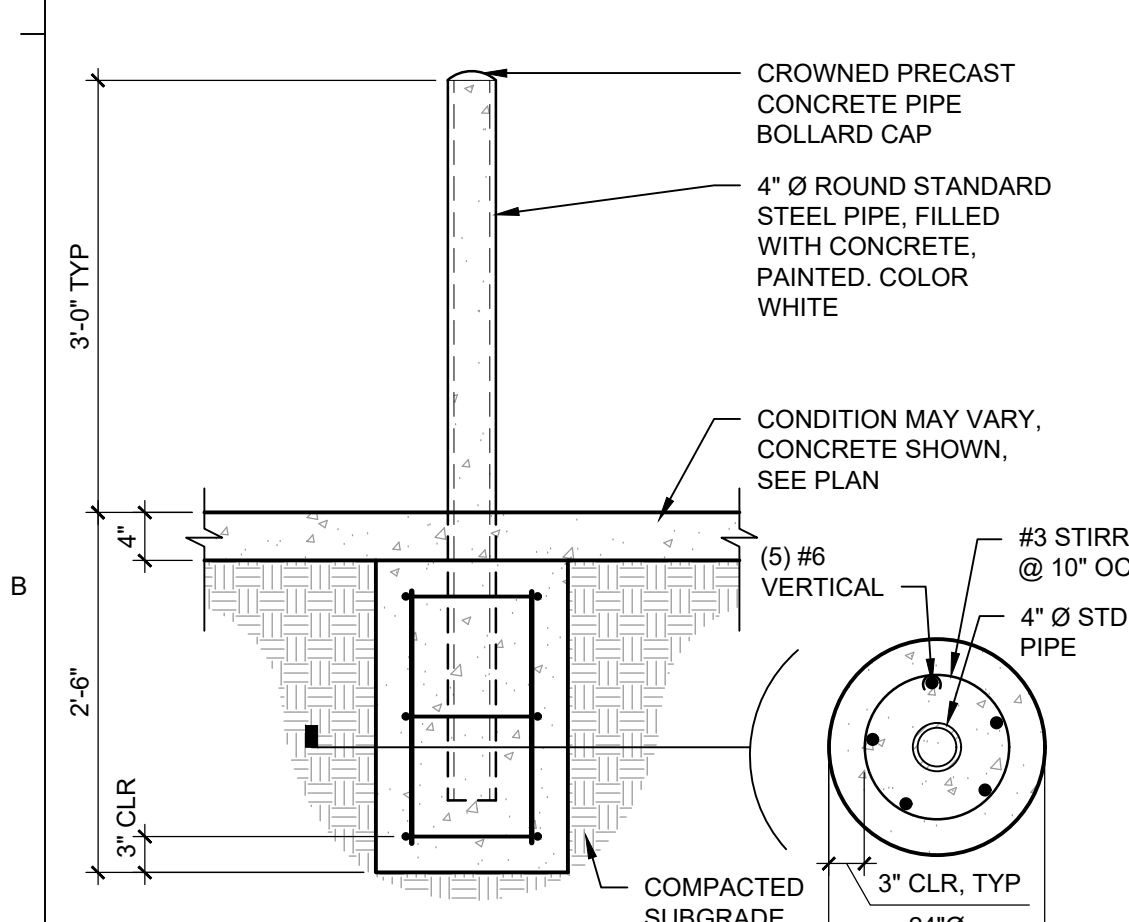
C2 GATE POST CONNECTION AT COMPACTOR ENCLOSURE
1" = 1'-0"



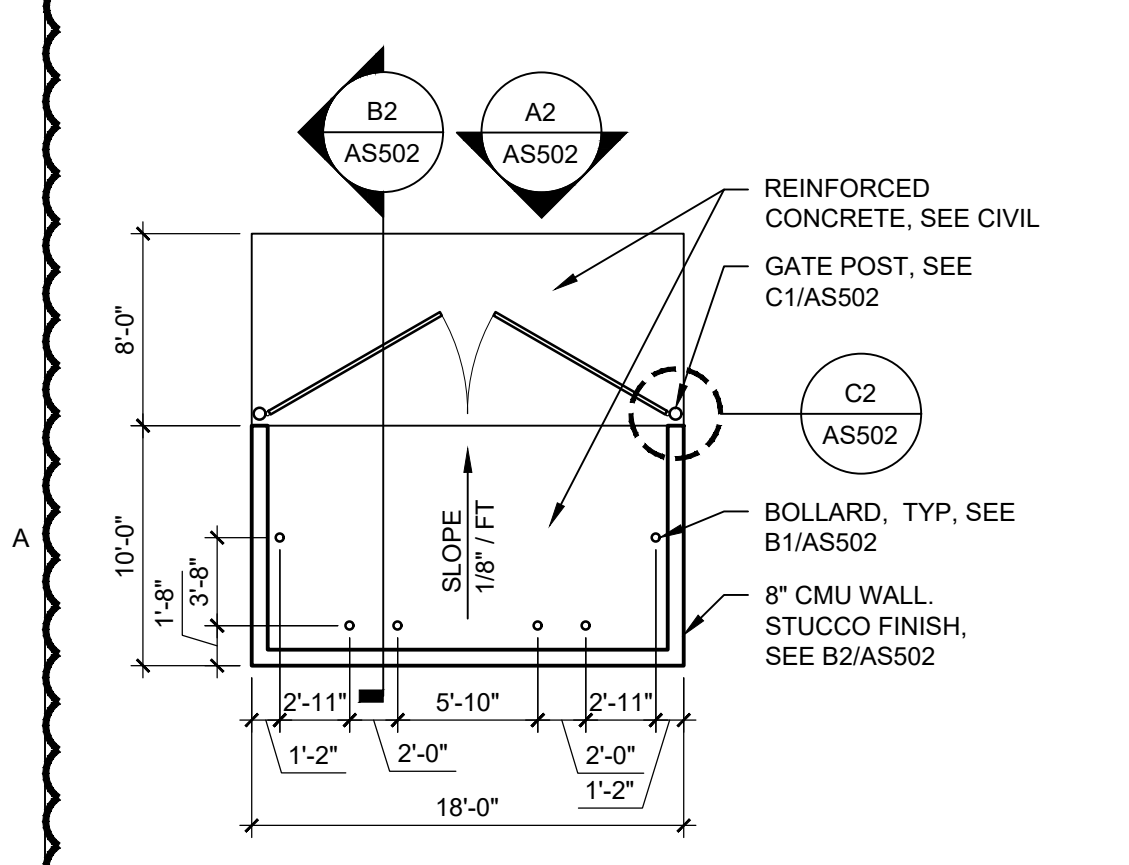
C1 ENCLOSURE GATE POST
3/4" = 1'-0"



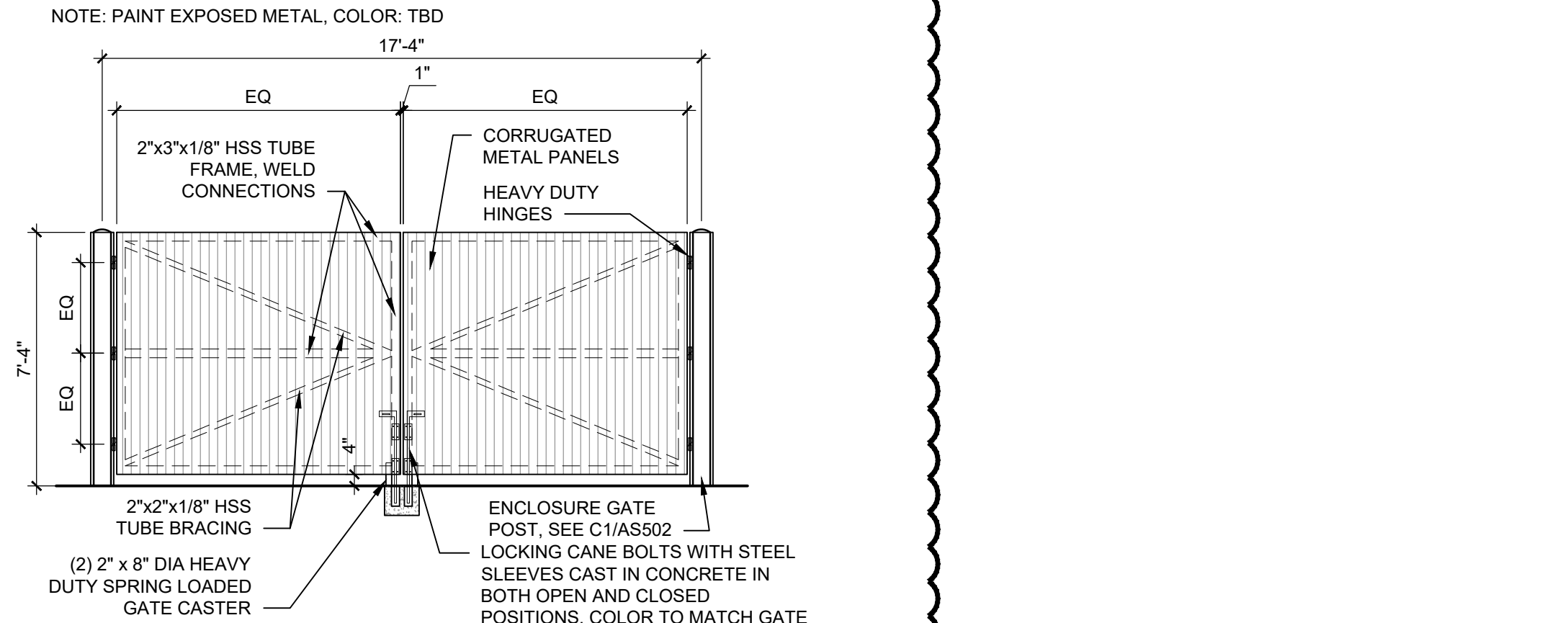
B2 DUMPSTER ENCLOSURE SECTION
3/8" = 1'-0"



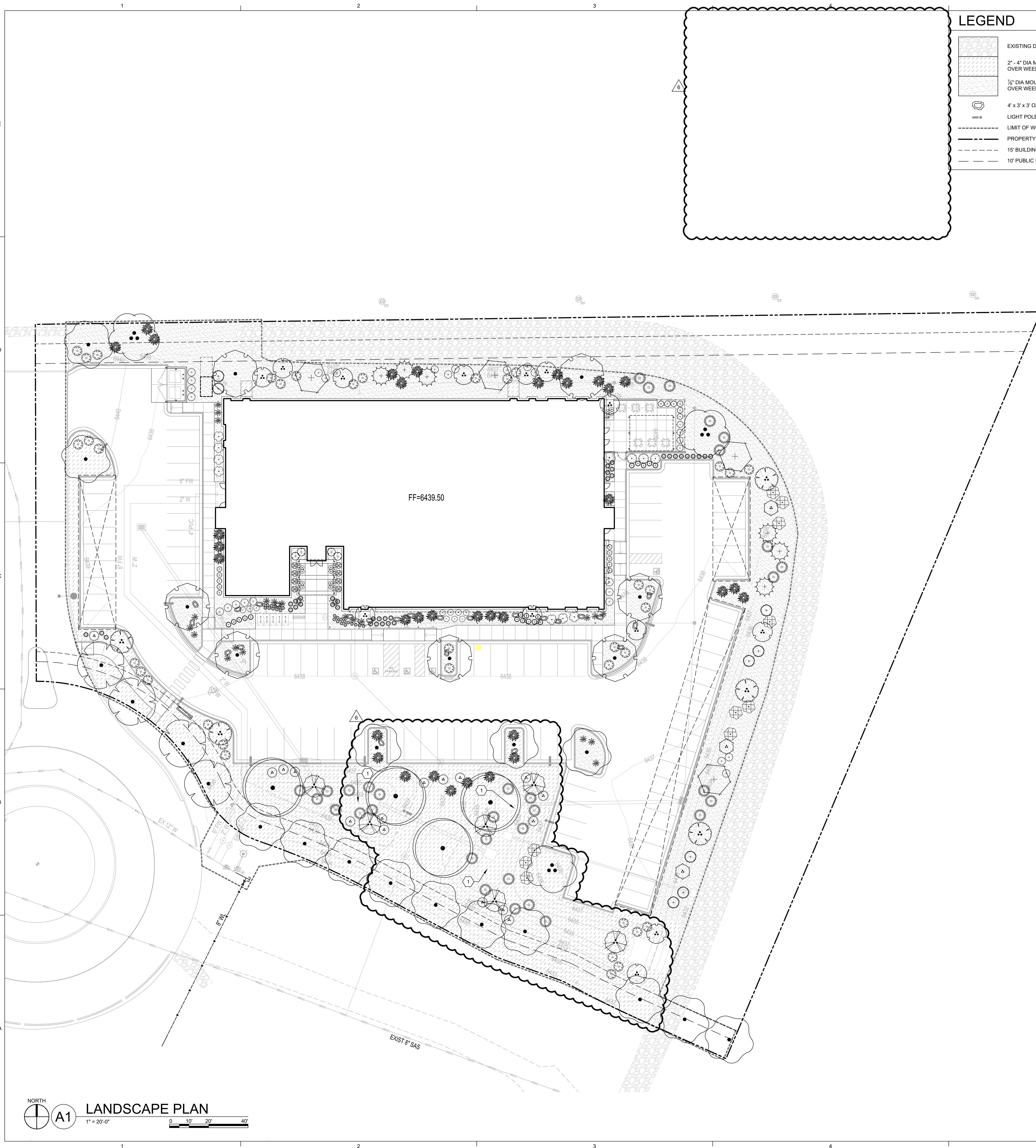
B1 PIPE BOLLARD
3/4" = 1'-0"



A1 DUMPSTER ENCLOSURE
1/8" = 1'-0"



A2 DUMPSTER ENCLOSURE GATE
1/4" = 1'-0"



LEGEND

	EXISTING DRAINAGE SWALE TO REMAIN
	2" - 4" DIA MOUNTAINAIR BROWN AGGREGATE, 4" DEPTH OVER WEED FABRIC
	3/4" DIA MOUNTAINAIR BROWN GRAVEL, 3" DEPTH OVER WEED FABRIC
	4' x 3' x 3' OAKWOOD BOULDER, SEE C2/LP501
	LIGHT POLE, SEE ELECTRICAL
	LIMIT OF WORK
	PROPERTY LINE
	15' BUILDING SETBACK
	10' PUBLIC UTILITY EASEMENT

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- RESTORE AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, TO PRE-CONSTRUCTION CONDITION.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING AND IRRIGATION OPERATIONS.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF THE WORK.
- THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PRIOR TO PLANTING, AND RESERVES THE RIGHT TO REFUSE PLANT MATERIAL DEEMED UNACCEPTABLE.
- PLANT MATERIAL MUST BE NURSERY GROWN, AND PLANTS SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES. PLANT QUANTITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- SOIL TESTING AND SOIL AMENDMENTS ARE REQUIRED FOR PLANTING AREAS. SEE SPECIFICATIONS.
- NATIVE SOILS MAY BE USED FOR LANDSCAPE INSTALLATION, BUT SHALL BE BLENDED WITH AMENDMENTS AND/OR COMPOST. SEE SPECIFICATIONS.
- WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL BE 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- PROJECT NOT REQUIRED NOR DESIGNED TO COMPLY WITH CITY OF SANTA FE LANDSCAPE REQUIREMENTS.

SHEET KEYNOTES

- NO WEED FABRIC UNDER AGGREGATE ON LEVEL BOTTOM OF BASIN

PLANT LEGEND

TREES	BOTANICAL NAME	COMMON NAME
	BETULA FONTINALIS	WESTERN RIVER BIRCH
	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD
	CERCOCARPUS LEDIFOLIUS	CURL-LEAF MOUNTAIN MAHOGANY
	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW
	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET
	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER
	PINUS EDULIS	PINON PINE
	PINUS HELDREICHII	BOSNIAN PINE
	PISTACIA CHINENSIS	CHINESE PISTACHE
	POPULUS DELTOIDES VAR. WISLIZENI	RIO GRANDE COTTONWOOD
	QUERCUS BUCKLEYI	TEXAS RED OAK
	ULMUS X 'MORTON GLOSSY' TM	TRIUMPH ELM
SHRUBS	BOTANICAL NAME	COMMON NAME
	AMELANCHIER UTAHENSIS	UTAH SERVICEBERRY
	BUXUS MICROPHYLLA V. JAP. 'WINTER GEM'	WINTER GEM BOXWOOD
	CERCOCARPUS INTRICATUS	LITTLELEAF MOUNTAIN MAHOGANY
	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH
	ERICAMERIA LARICIFOLIA 'AGUIRRE'	AGUIRRE TURPENTINE BUSH
	FALLUGIA PARADOXA	APACHE PLUME
	KRASCHENNIKOVIA LANATA	WINTERFAT
	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER
	MAHONIA REPENS	CREEPING MAHONIA
	PRUNUS BESSEYI 'P011S'	PAWNEE BUTTES® SAND CHERRY
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC
	RHUS TRILOBATA	THREELEAF SUMAC
DESERT ACCENTS	BOTANICAL NAME	COMMON NAME
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA
	NOLINA MICROCARPA	BEARGRASS
GRASSES	BOTANICAL NAME	COMMON NAME
	BOULETELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA
	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA
	MUHLENBERGIA LINDHEIMERI 'LEN'	AUTUMN GLOW™ LINDHEIMER'S MUHLY
	SPOROBOLUS WRIGHTII	GIANT SACATON
PERENNIALS	BOTANICAL NAME	COMMON NAME
	NEPETA X FAASSENII 'KIT KAT'	KIT KAT CATMINT
	SALVIA PACHYPHYLLA	MOJAVE SAGE

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SEAL
PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

	08/16/2024	ASH-005

DRAWN BY: BG
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371.001
DRAWING NAME: LANDSCAPE PLAN
SHEET NO: LP101

LANDSCAPE PLAN
1" = 20'-0"
0 10' 20' 40'

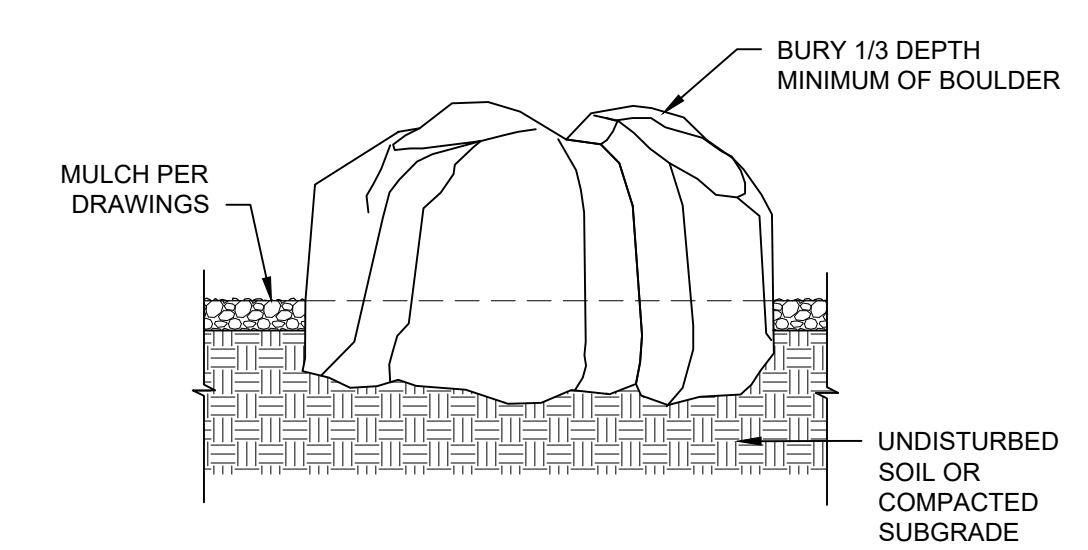
E
D
C
B
A

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	BETULA FONTINALIS	WESTERN RIVER BIRCH	24" BOX, MULTI-TRUNK	20.00	15.00	MED	6
	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	24" BOX, MULTI-TRUNK	15.00	15.00	MED	5
	CERCOCARPUS LEDIFOLIUS	CURL-LEAF MOUNTAIN MAHOGANY	15 GAL B&B	15.00	10.00	LOW	3
	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW	24" BOX, MULTI-TRUNK	30.00	30.00	LOW	3
	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET	24" BOX, MULTI-TRUNK	15.00	12.00	MED	13
	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	6' HT, B&B	15.00	8.00	LOW	8
	PINUS EDULIS	PINON PINE	6' HT, B&B	25.00	20.00	LOW	4
	PINUS HELDREICHII	BOSNIAN PINE	6' HT, B&B	20.00	12.00	MED	6
	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL, B&B	30.00	30.00	LOW	4
	POPULUS DELTOIDES VAR. WISLIZENI	RIO GRANDE COTTONWOOD	2" CAL, B&B	40.00	40.00	MED	4
	QUERCUS BUCKLEYI	TEXAS RED OAK	3" CAL B&B	40.00	30.00	MED	7
	ULMUS X 'MORTON GLOSSY' TM	TRIUMPH ELM	2" CAL, B&B	40.00	30.00	MED	15
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	AMELANCHIER UTAHENSIS	UTAH SERVICEBERRY	15 GAL	12.00	8.00	LOW	1
	BUXUS MICROPHYLLA V. JAP. 'WINTER GEM'	WINTER GEM BOXWOOD	5 GAL	3.00	4.00	MED	8
	CERCOCARPUS INTRICATUS	LITTLELEAF MOUNTAIN MAHOGONY	5 GAL	6.00	4.00	LOW	4
	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	5 GAL	6.00	6.00	LOW	3
	ERICAMERIA LARICIFOLIA 'AGUIRRE'	AGUIRRE TURPENTINE BUSH	5 GAL	3.00	3.00	LOW	10
	FALLUGIA PARADOXA	APACHE PLUME	5 GAL	6.00	6.00	LOW	7
	KRASCHENNIKOVIA LANATA	WINTERFAT	5 GAL	3.00	3.00	LOW	10
	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	5 GAL	2.00	3.50	LOW	6
	MAHONIA REPENS	CREEPING MAHONIA	5 GAL	2.00	4.00	LOW	4
	PRUNUS BESSEYI 'P0115'	PAWNEE BUTTES® SAND CHERRY	5 GAL	2.00	6.00	MED	16
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL	2.00	6.00	LOW	37
	RHUS TRILOBATA	THREELEAF SUMAC	5 GAL	5.00	8.00	LOW	10
DESERT ACCENTS	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL	4.00	4.00	LOW	21
	NOLINA MICROCARPA	BEARGRASS	5 GAL	5.00	8.00	LOW	34
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	3.00	3.00	LOW	37
	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA	5 GAL	2.00	2.00	LOW	24
	MUHLBERGIA LINDHEIMERI 'LENI'	AUTUMN GLOW™ LINDHEIMER'S MUHLY	5 GAL	5.00	5.00	LOW	24
	SPOROBOLUS WRIGHTII	GIANT SACATON	5 GAL	6.00	8.00	LOW	33
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	NEPETA X FAASSENII 'KIT KAT'	KIT KAT CATMINT	1 GAL	1.50	1.50	LOW	24
	SALVIA PACHYPHYLLA	MOJAVE SAGE	1 GAL	2.00	3.00	LOW	18

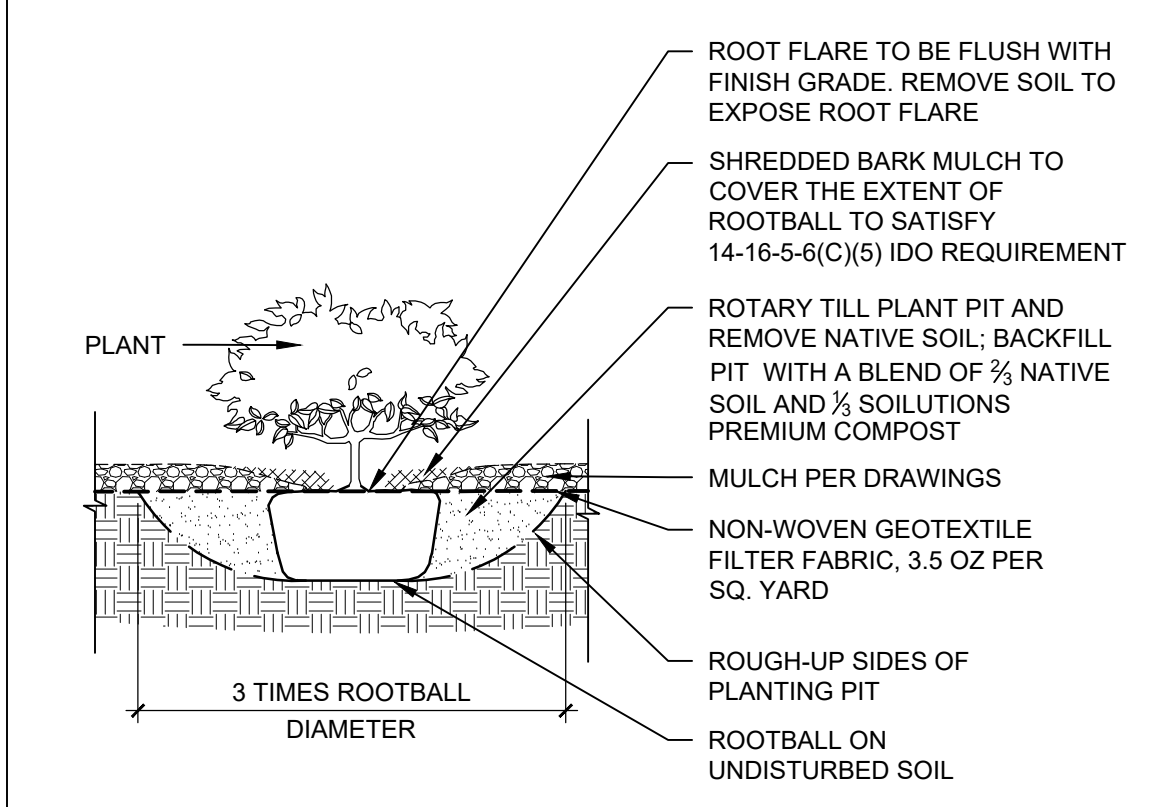
Per RFI 035, #10 Western River Birch is acceptable in lieu of @25s due to availability

NOTES:
1. BOULDER SELECTION AND PLACEMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
2. FOR BOULDER SIZES, SEE HATCH LEGEND.



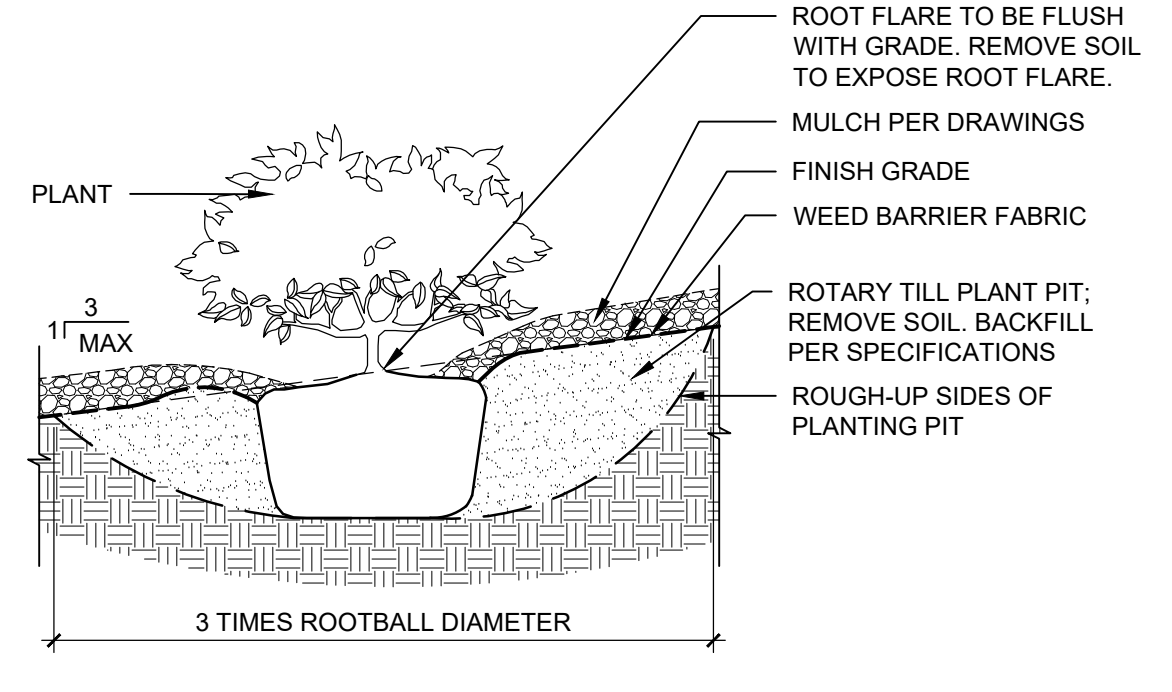
C2 BOULDER
3/4" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



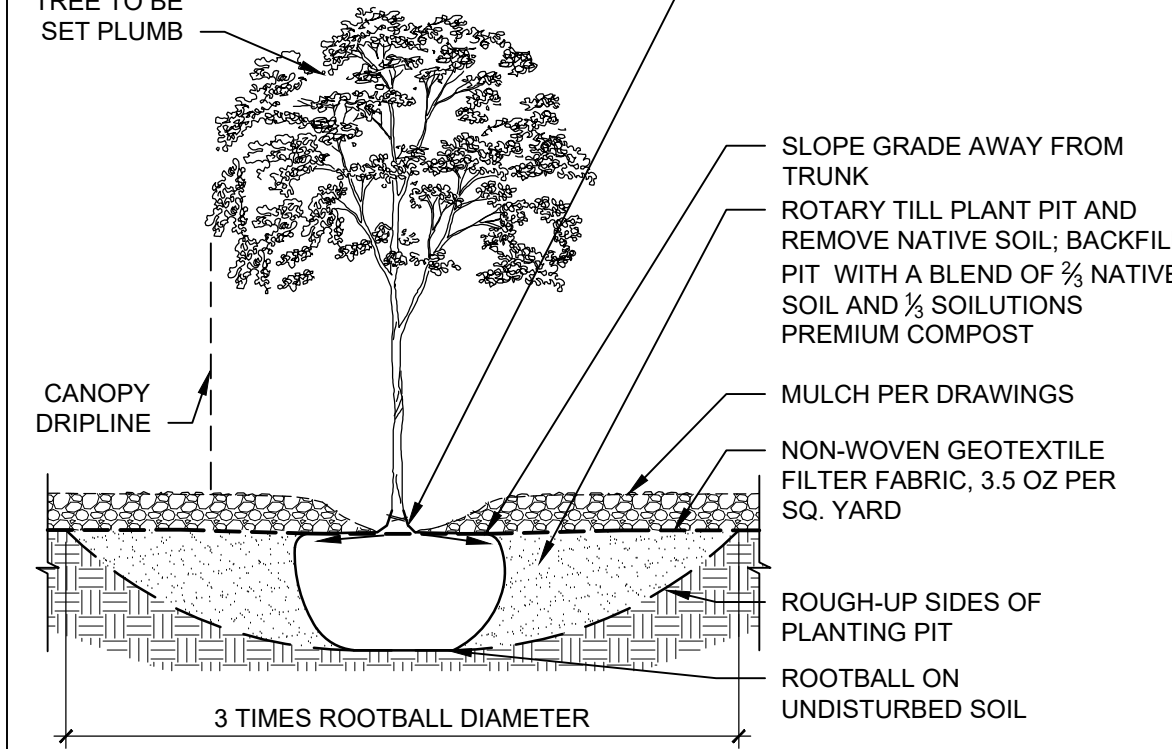
B1 SHRUB PLANTING
3/4" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
2. SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK BASE MEETS SUBSTRATE/SOIL.
3. CENTER BERM ON DOWNHILL SIDE OF ROOTBALL FOR 240°.



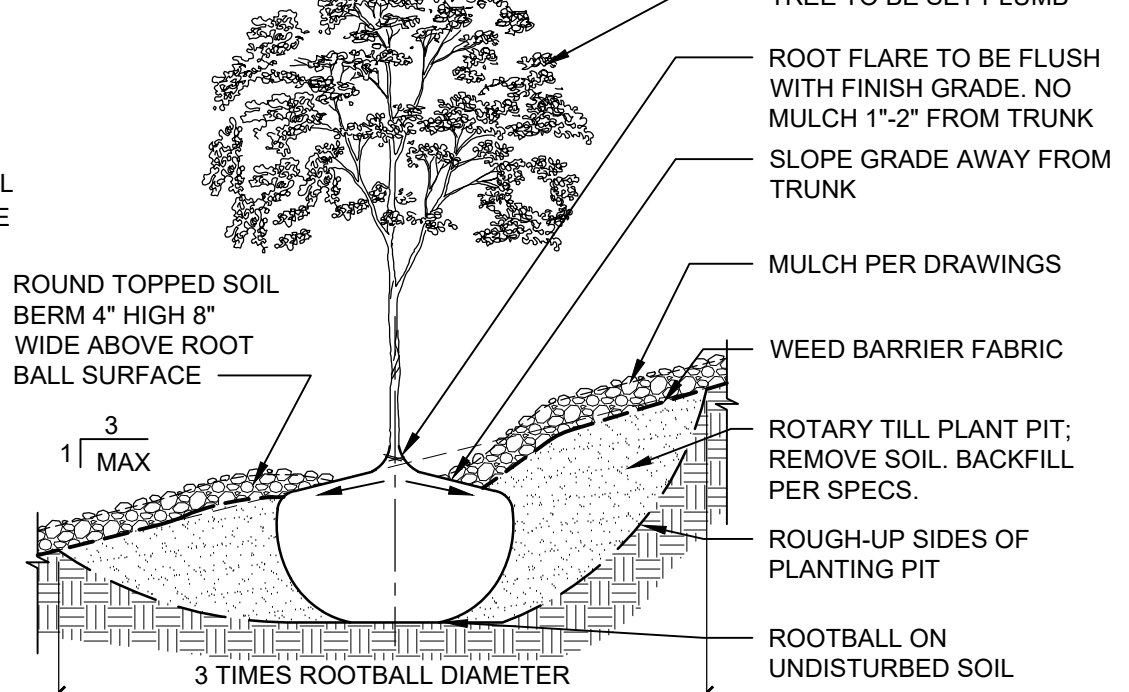
B3 SHRUB ON SLOPE
3/4" = 1'-0"

NOTE:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



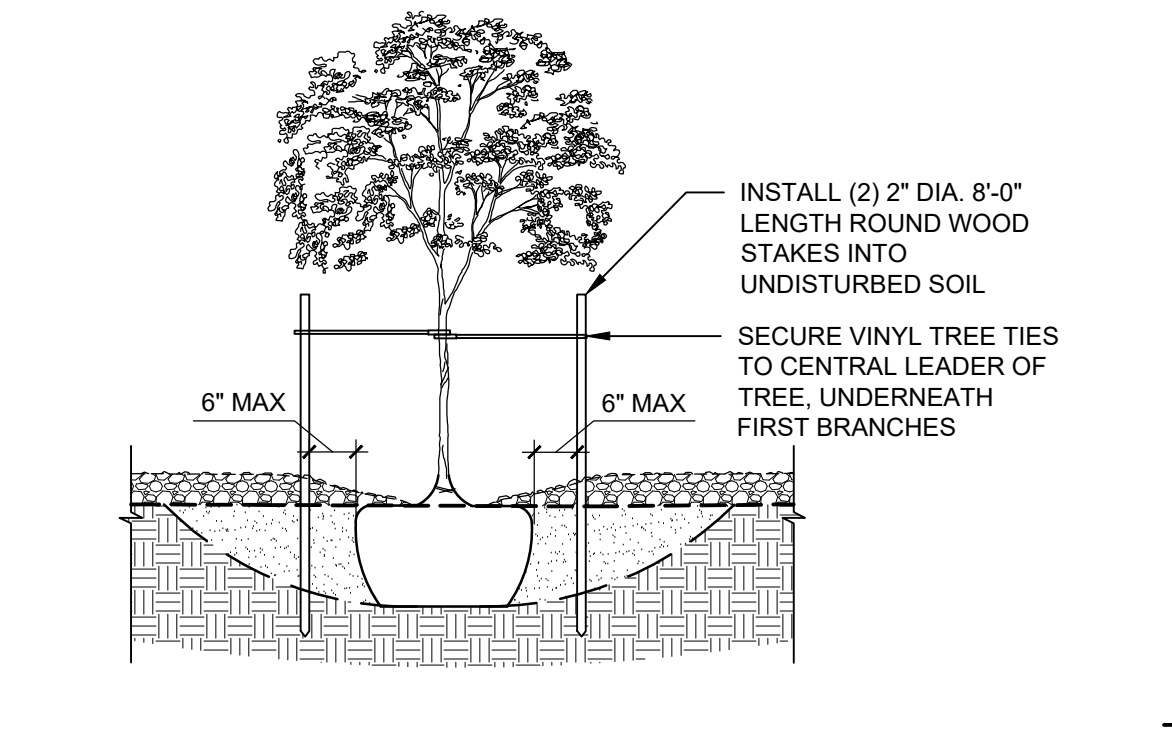
A1 TREE PLANTING
3/4" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
2. SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK BASE MEETS SUBSTRATE/SOIL.
3. CENTER BERM ON THE DOWNHILL SIDE OF ROOTBALL FOR 240°.



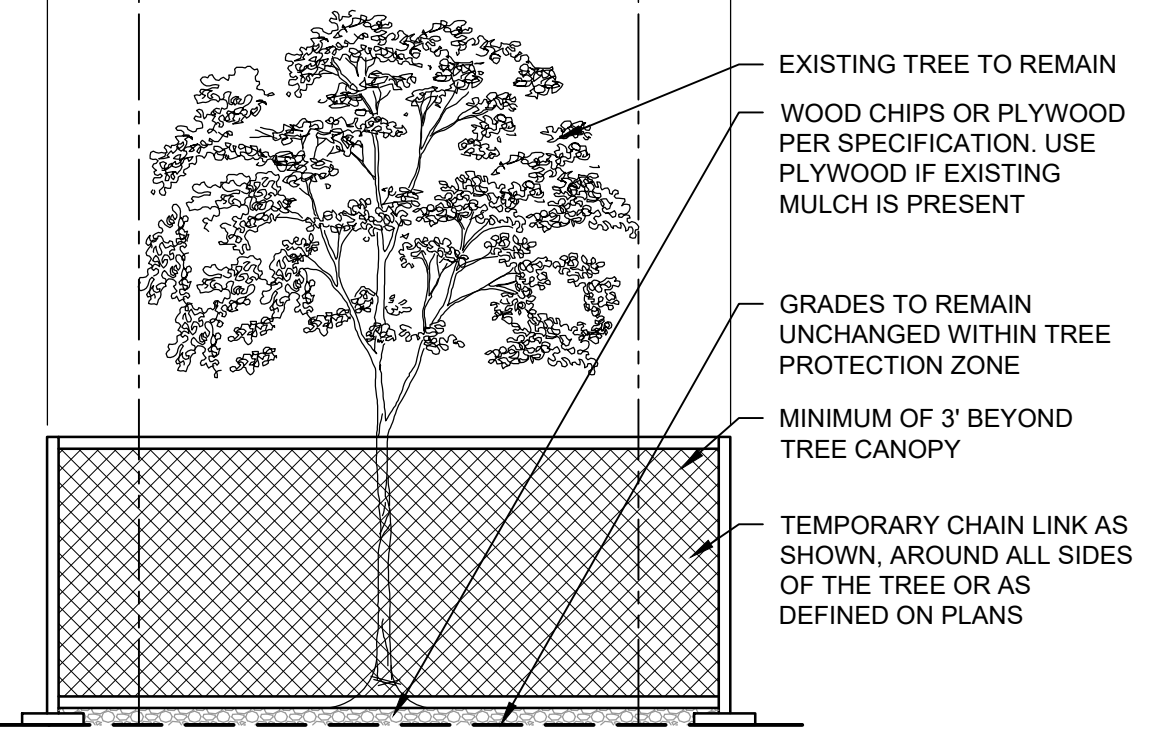
A2 TREE ON SLOPE
3/4" = 1'-0"

NOTES:
1. VINYL TREE TIES TO BE CINCH-TIE 3/2" OR APPROVED EQUAL, AVAILABLE FROM V.I.T. PRODUCTS - 800-729-1314.
2. STAKING TO BE REMOVED AT THE END OF WARRANTY PERIOD.
3. STAKING IS NOT REQUIRED BUT IF USED, CONTRACTOR SHALL FOLLOW DETAILS.



A2 TREE STAKING
3/4" = 1'-0"

NOTES:
1. SEE SPECIFICATIONS



A4 TREE PROTECTION
N.T.S.

MATERIALS SCHEDULE

ITEM	EST QTY
2" - 4" DIA MOUNTAINAIR BROWN AGGREGATE, 4" DEPTH OVER WEED FABRIC	17,639 SF
3/4" DIA MOUNTAINAIR BROWN GRAVEL, 3" DEPTH OVER WEED FABRIC	16,555 SF
4' x 3' x 3' OAKWOOD BOULDER, SEE C2/LP501, AVAILABLE FROM ROCKY MOUNTAIN STONE (RMSTONE.COM)	27

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REVISIONS

1	08/16/2024	ASH-005
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DRAWN BY: TC
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371-001

DRAWING NAME
LANDSCAPE DETAILS

SHEET NO
LP501

GENERAL SHEET NOTES

- A. THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING AND IRRIGATION IN A NEAT AND HEALTHY CONDITION. THE PROPERTY OWNER ACKNOWLEDGES THAT APPROVED IRRIGATION FOR LANDSCAPING AND TREES IN THE RIGHT-OF-WAY MAY BE REMOVED BY THE CITY OR MMOT WITHOUT COMPENSATION.
- B. THIS IRRIGATION SYSTEM DESIGN IS DIAGRAMMATIC AND MAY REQUIRE FIELD ADJUSTMENTS.
- C. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- D. THE CONTRACTOR SHALL REFERENCE THE PROJECT'S GEOTECHNICAL REPORT TO ASSURE CONSTRUCTION ADHERES TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- E. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IN WRITING TO THE OWNERS REPRESENTATIVE.
- F. THE WATER PRESSURE HAS BEEN DESIGNED TO BE OPERATIONAL FOR AN ASSUMED PRESSURE OF XX PSI AT THE WATER METER PRIOR TO INSTALLING ANY IRRIGATION SYSTEM COMPONENTS.
- G. THE CONTRACTOR SHALL INITIATE A FLOW (DISCHARGE TO ACCEPTABLE DRAINAGE AREA) AND RECORD THE DYNAMIC WATER PRESSURE AT THIS FLOW. THE CONTRACTOR SHALL PERFORM A DYNAMIC WATER PRESSURE TEST BY INSTALLING A PROPERLY SIZED TEST METER WITH AN ACCURATE WATER PRESSURE GAUGE ATTACHED TO THE UPSTREAM SIDE OF THE TEST METER. THE CONTRACTOR SHALL REPORT HIS FINDINGS IN WRITING TO THE OWNERS AUTHORIZED REPRESENTATIVE. THE OWNERS AUTHORIZED REPRESENTATIVE SHALL ISSUE A WRITTEN NOTICE TO PROCEED UPON ACCEPTABLE CONDITIONS OR ISSUE CORRECTIVE MEASURES AND INSTRUCTIONS IF THE TEST YIELDS UNEXPECTED RESULTS.
- H. IRRIGATION CONTROL VALVE WIRING SHALL BE INCIDENTAL TO IRRIGATION WORK.
- I. SEE XX11501 FOR IRRIGATION TRENCHING. ALTERNATIVE LOCATIONS TO BE APPROVED IN FIELD BY OWNER'S AUTHORIZED REPRESENTATIVE.
- J. THE CONTRACTOR SHALL INSTALL SLEEVE PIPES ONLY FOR 24V WIRES WHEN NECESSARY AND FOR PIPING AND POLY DRIP TUBING AS INDICATED ON PLANS.
- K. THE CONTRACTOR SHALL COORDINATE IRRIGATION SLEEVE PIPING WITH PAVING CONTRACTORS. IRRIGATION SLEEVE PIPING SHALL BE INSTALLED DURING SITE CONSTRUCTION. UNDER NO CIRCUMSTANCES SHALL IRRIGATION SLEEVES BE INSTALLED AFTER PAVING IS COMPLETE.
- L. SLEEVES SHALL BE EXTENDED 24" BEYOND EDGE OF HARD SURFACES, WRAP ENDS WITH FOUR MIL PLASTIC AND TAPE WITH GOOD QUALITY PLASTIC TAPE, GRAY DUCT TAPE IS NOT ACCEPTABLE.
- M. VALVE LID COLORS SHALL BE TAN.

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. SEE A1/L1501
	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX. SEE A6/L1501
	NETAFIM TLFV-1 AUTOMATIC FLUSH VALVE, WITH INSERT INLET. SEE D6/L1501
	AREA TO RECEIVE DRIP EMITTERS TORO T-DBK SINGLE-OUTLET FLAG STYLE EMITTER WITH BARBED INLET AND TAKE-APART FEATURE. COLOR-CODED FOR 1.0 GPH=BLACK; 2.0 GPH=RED; 4.0 GPH=MAROON. SEE C1/L1501 FOR LAYOUT Emitter Notes: DBK004 emitters (2 assigned to each 1 gal plant) DBK004 emitters (6 assigned to each 2" CAL. B&B plant) DBK004 emitters (6 assigned to each 3" CAL B&B plant) DBK004 emitters (2 assigned to each 5 gal plant) DBK004 emitters (6 assigned to each 6" HT. B&B plant) DBK004 emitters (6 assigned to each 6" HT. B&B plant) DBK004 emitters (6 assigned to each 15 gal plant) DBK004 emitters (6 assigned to each 24" BOX plant)
	POLY DISTRIBUTION HOSE 3/4" POLY DISTRIBUTION HOSE FOR DRIP IRRIGATION SYSTEM
	SHUT OFF VALVE. SEE B6/L1501
	RAIN BIRD EFB-CP 1" 1" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION. SEE A3/L1501
	FEBCO 825Y 3/4" REDUCED PRESSURE BACKFLOW PREVENTER, LOCATED IN HOTBOX, COORDINATE WITH ELECTRICAL. SEE B4/L1501
	HUNTER PHC-1200I WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, 12-STATION FIXED CONTROLLER, 120 VAC, INDOOR MODEL. LOCATED IN MECHANICAL ROOM, COORDINATE WITH ELECTRICAL. SEE B1/L1501
	RAIN BIRD FS-100-B 1" FLOW SENSOR, BRASS MODEL. INSTALL IN VALVE BOX. SEE A5/L1501
	WATER METER 5/8"
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40
	VALVE CALLOUT VALVE NUMBER VALVE FLOW VALVE SIZE

PROJECT

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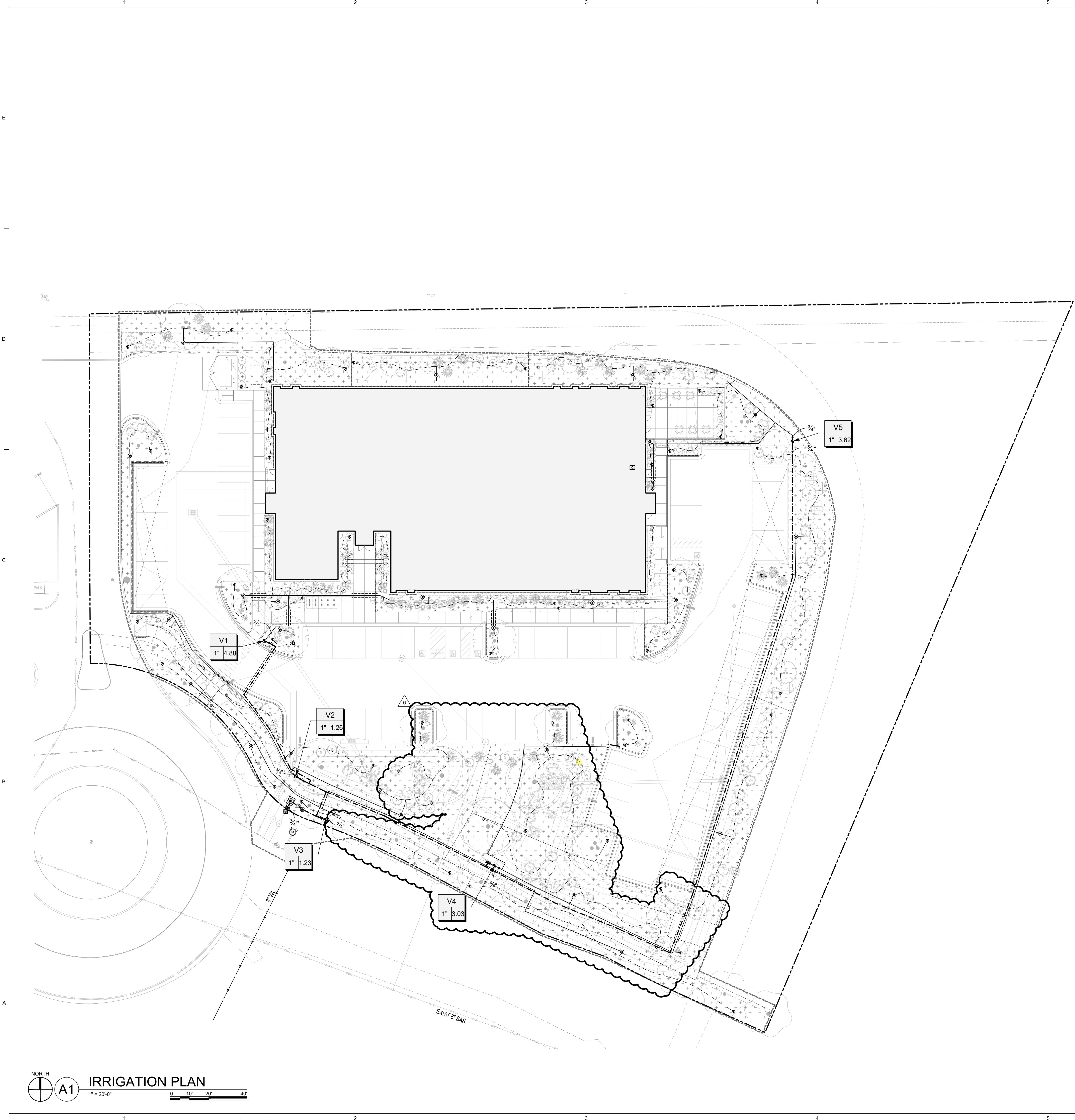
NO.	DATE	DESCRIPTION
1	8/16/2024	ASH-005

DRAWN BY: TC
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME: IRRIGATION PLAN

SHEET NO

LI101



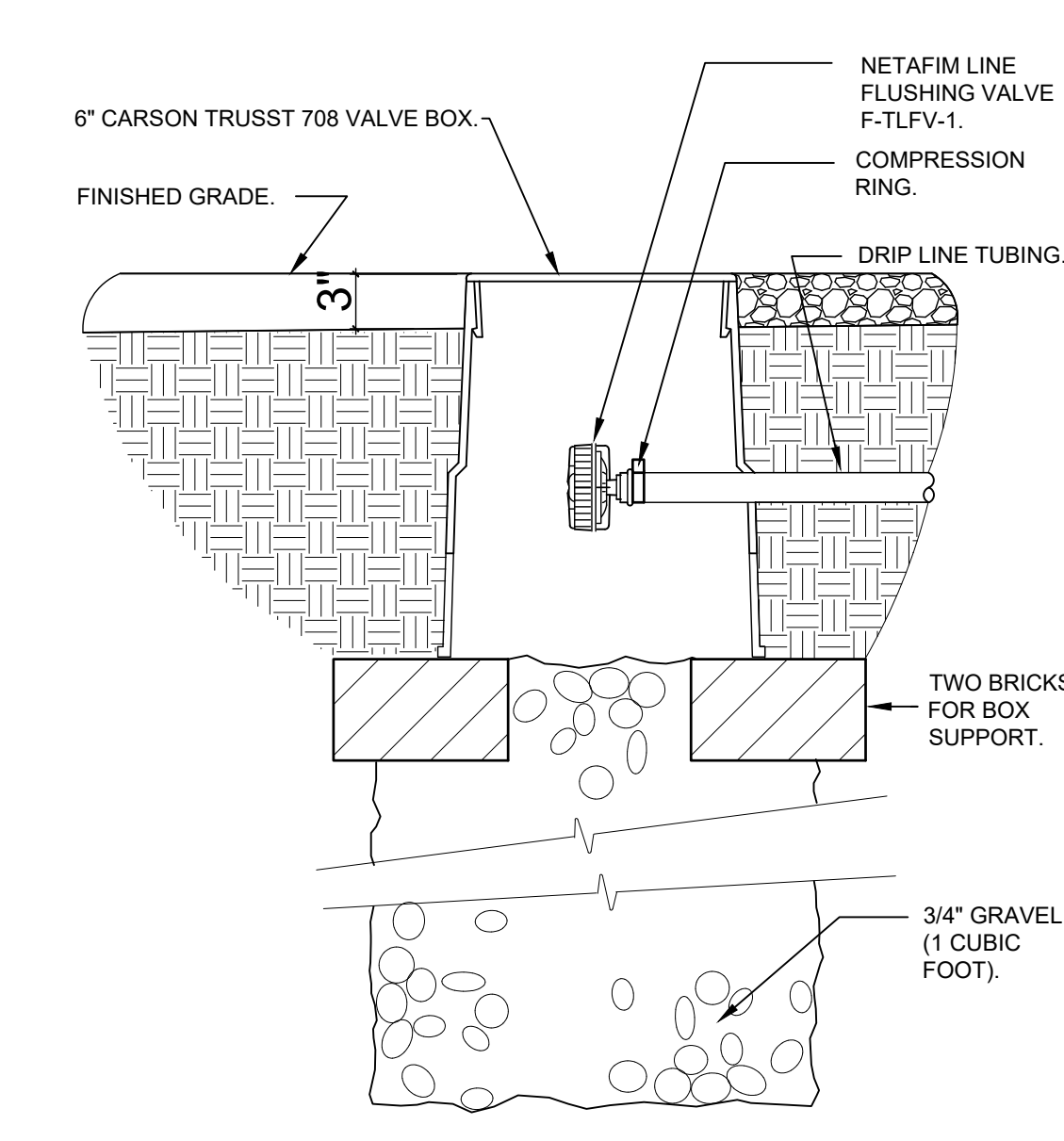
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI
V1	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	4.88	15.0
V2	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	1.26	12.9
V3	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	1.23	13.0
V4	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	3.03	13.4
V5	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	3.62	14.0

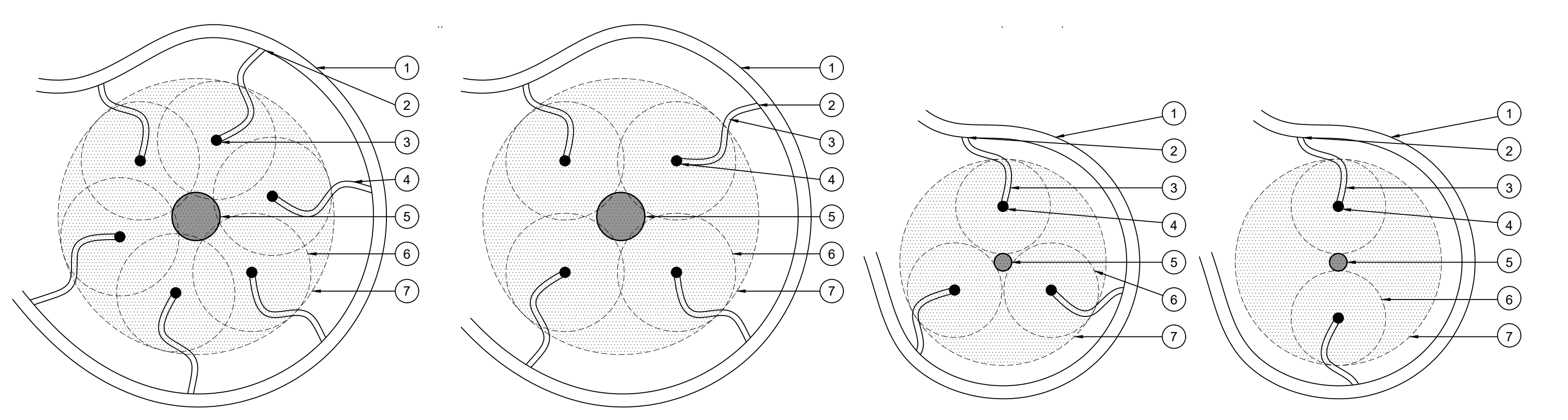
LEGEND

- LIGHT POLE. SEE ELECTRICAL
- LIMIT OF WORK
- PROPERTY LINE
- 15' BUILDING SETBACK
- 10' PUBLIC UTILITY EASEMENT

NORTH
A1
IRRIGATION PLAN
1" = 20'-0"
0 10' 20' 40'

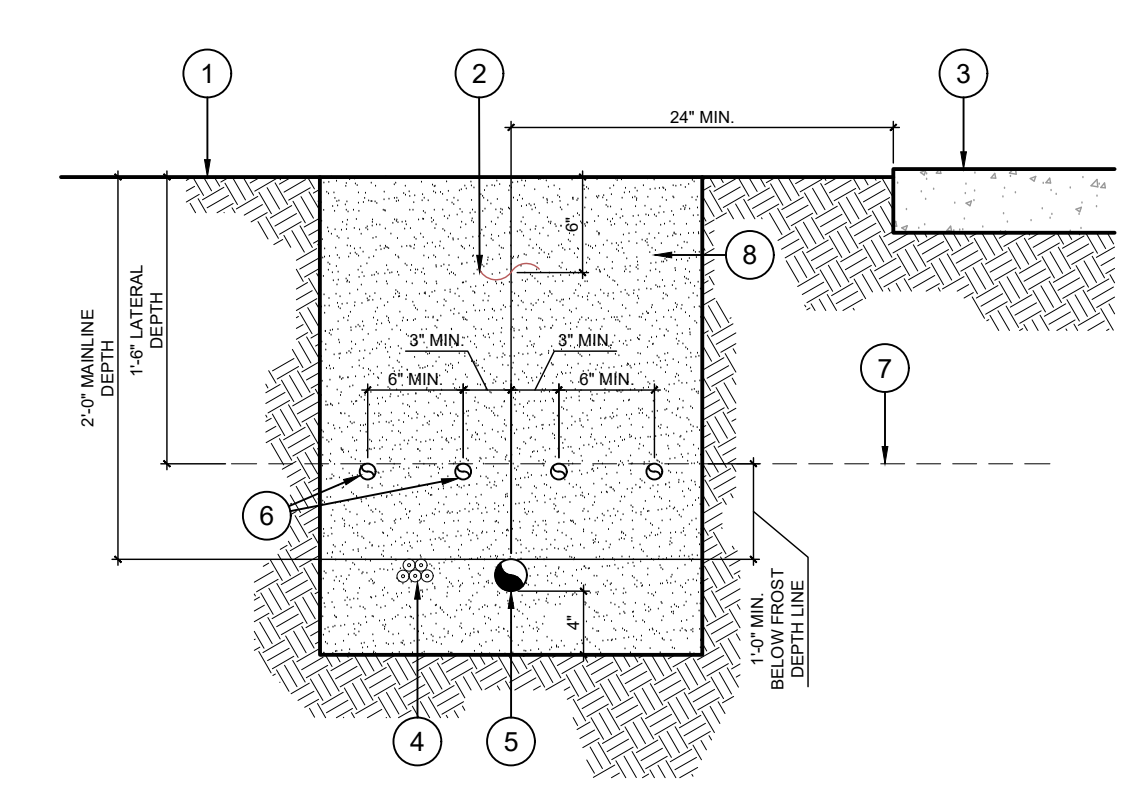


D6 FLUSH VALVE
3" = 1'-0"

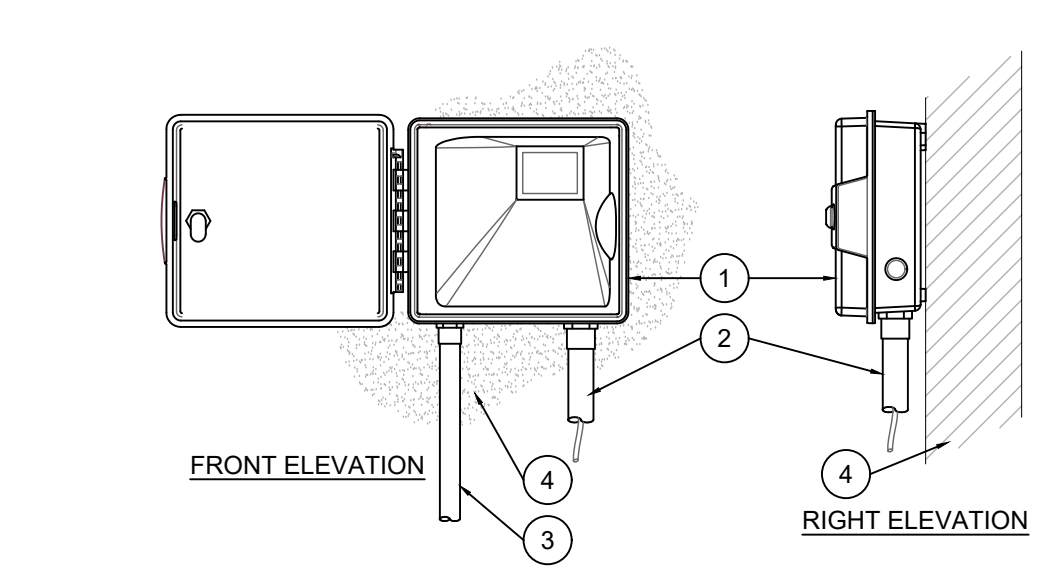


C1 DRIP EMITTER LAYOUT
NOT TO SCALE

- NOTES:**
- PLACE EMITTERS ON SLOPES BY ADJUSTING THE SPACING OF THE EMITTERS TOWARDS THE HIGH SIDE OF THE SLOPE.
 - 1/4" POLY TUBING CAN NOT BE LONGER THAN 10' FOR EXISTING PLANT MATERIAL IRRIGATION.
 - THE CONTRACTOR SHALL ENSURE THAT ONLY THE DRIP EMITTER IS VISIBLE ABOVE THE MULCH MATERIAL.
 - THE CONTRACTOR SHALL SEE SPECS FOR ADDITIONAL PRODUCT AND INSTALLATION INFORMATION.
 - INSTALL ON-SURFACE DRIPLINE FLUSH POINT AT ENDS, SEE D6/LI501.
- 3/4" POLY DRIP TUBING (TYPICAL). KEEP TUBING'S LENGTH OF RUN TO APPROXIMATELY 100' OR LESS.
 - 1/4" BARBED CONNECTOR AT EACH CONNECTION (TYPICAL)
 - 1/4" POLY DISTRIBUTION TUBING (TYPICAL). NOTES: USE ONLY ONE EMITTER PER RUN OF TUBING. KEEP POLY TUBING LENGTH OF RUN TO APPROXIMATELY 10' OR LESS.
 - DRIP EMITTER (TYPICAL). SPACE EQUALLY WITHIN WETTED PATTERN COVERAGE/ROOT ZONE.
 - TRUNK/STEM
 - EMITTER DRIP COVERAGE
 - WETTED PATTERN COVERAGE/ ROOT ZONE

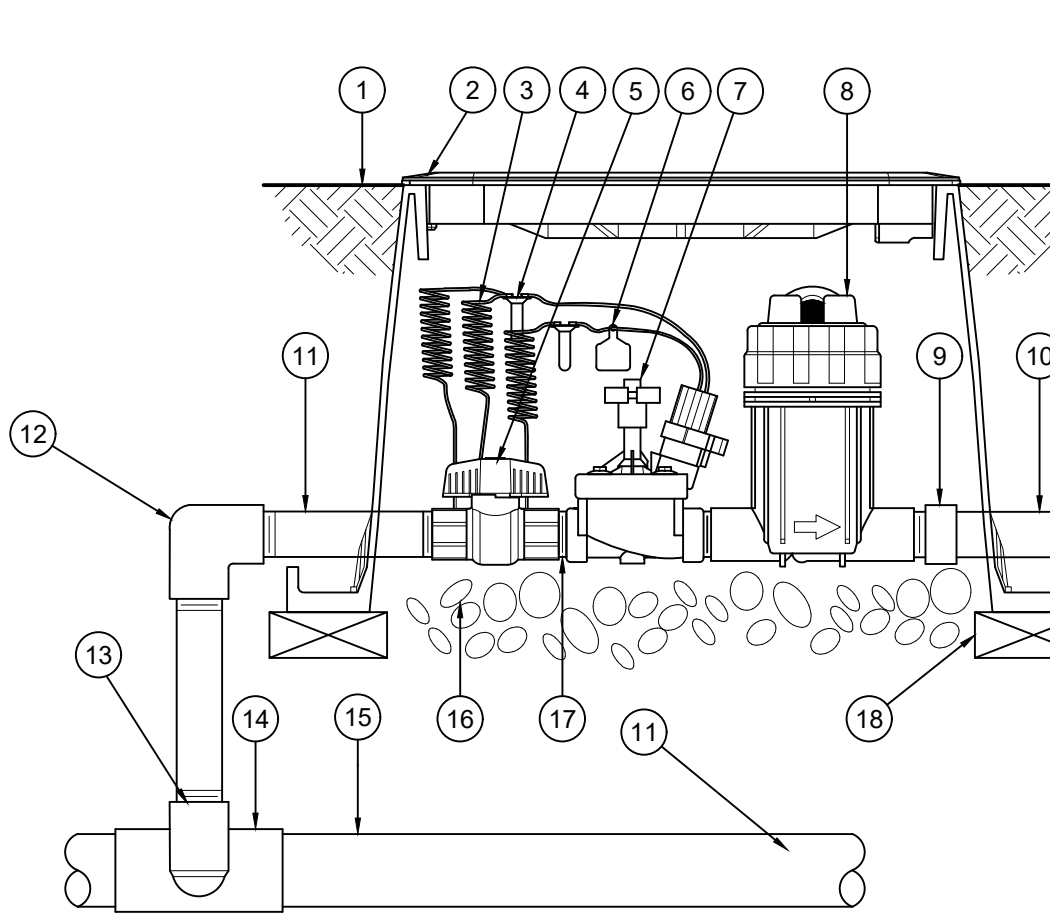


C5 IRRIGATION TRENCHING
N.T.S.



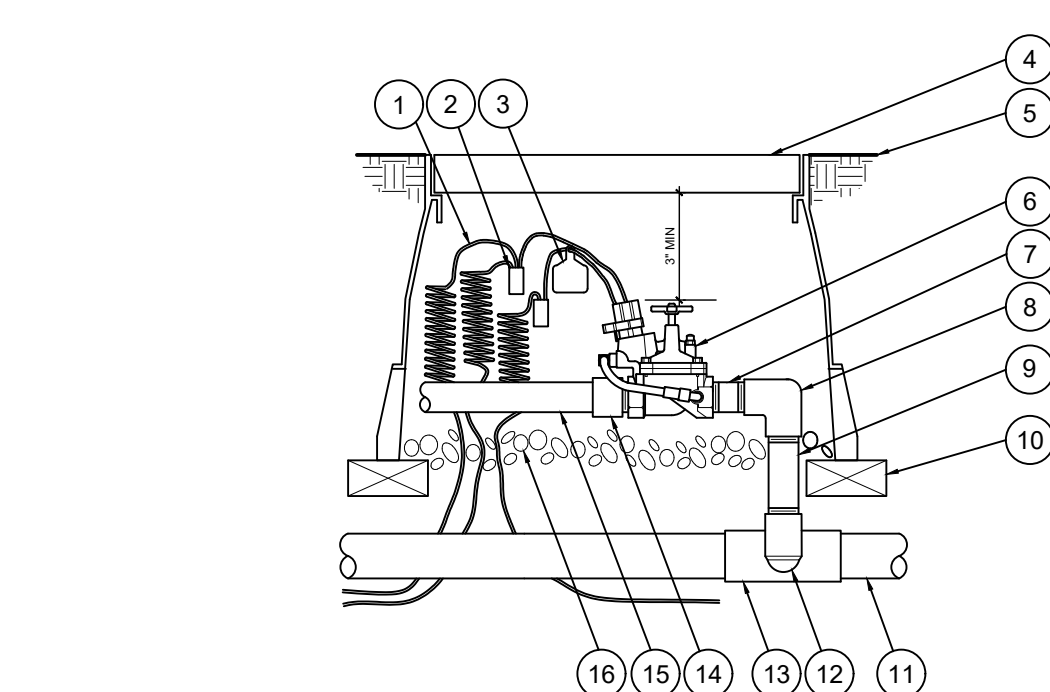
- IRRIGATION CONTROLLER. SEE LI101
 - IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE. J-BOX INSIDE CONTROLLER
 - MOUNT CONTROLLER PER MANUFACTURER
- NOTE:**
MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND/ED 110 VAC POWER SOURCE

B1 CONTROLLER
N.T.S.



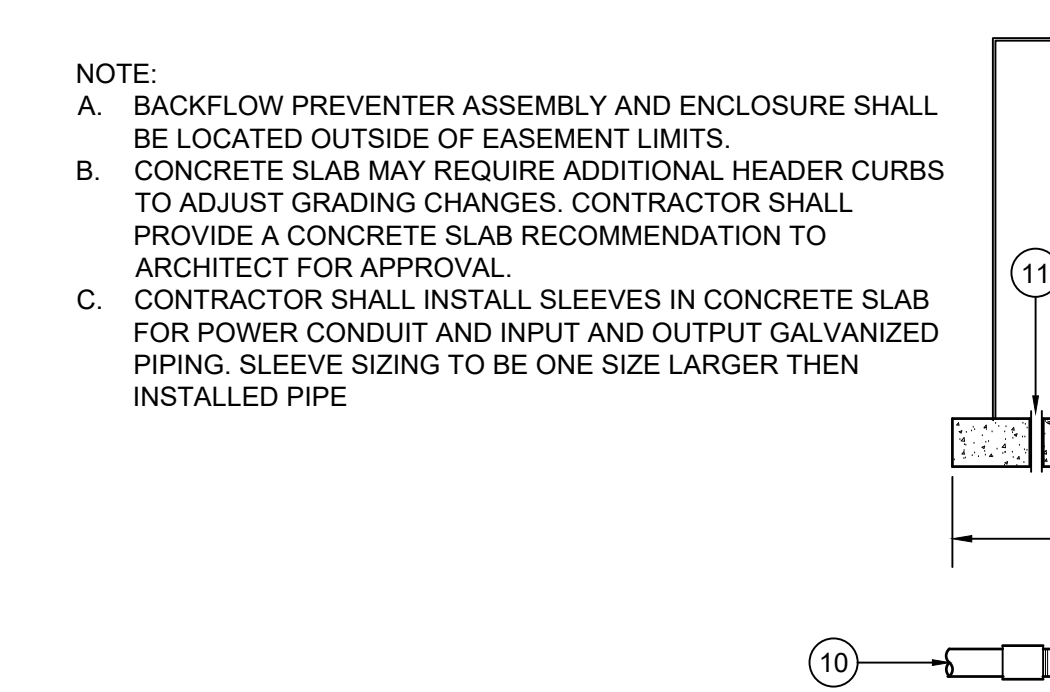
- FINISH GRADE/TOP OF MULCH
- VALVE BOX WITH COVER, CARSON TRUST 1015
- 30-INCH LINEAR LENGTH OF WIRE. COILED
- WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 1/2-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT)
- ID TAG
- REMOTE CONTROL VALVE: RAIN BIRD PEB (INCLUDED IN XCZ-PRB-100-COM KIT)
- RAIN BIRD PRB-OKQHK-100 (INCLUDED IN XCZ-PRB-100-COM KIT)
- PVC SCH 40 FEMALE ADAPTOR
- LATERAL PIPE
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- MAINLINE PIPE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)
- BRICK (1 OF 4)

A1 DRIP CONTROL VALVE KIT
1" = 1'-0"



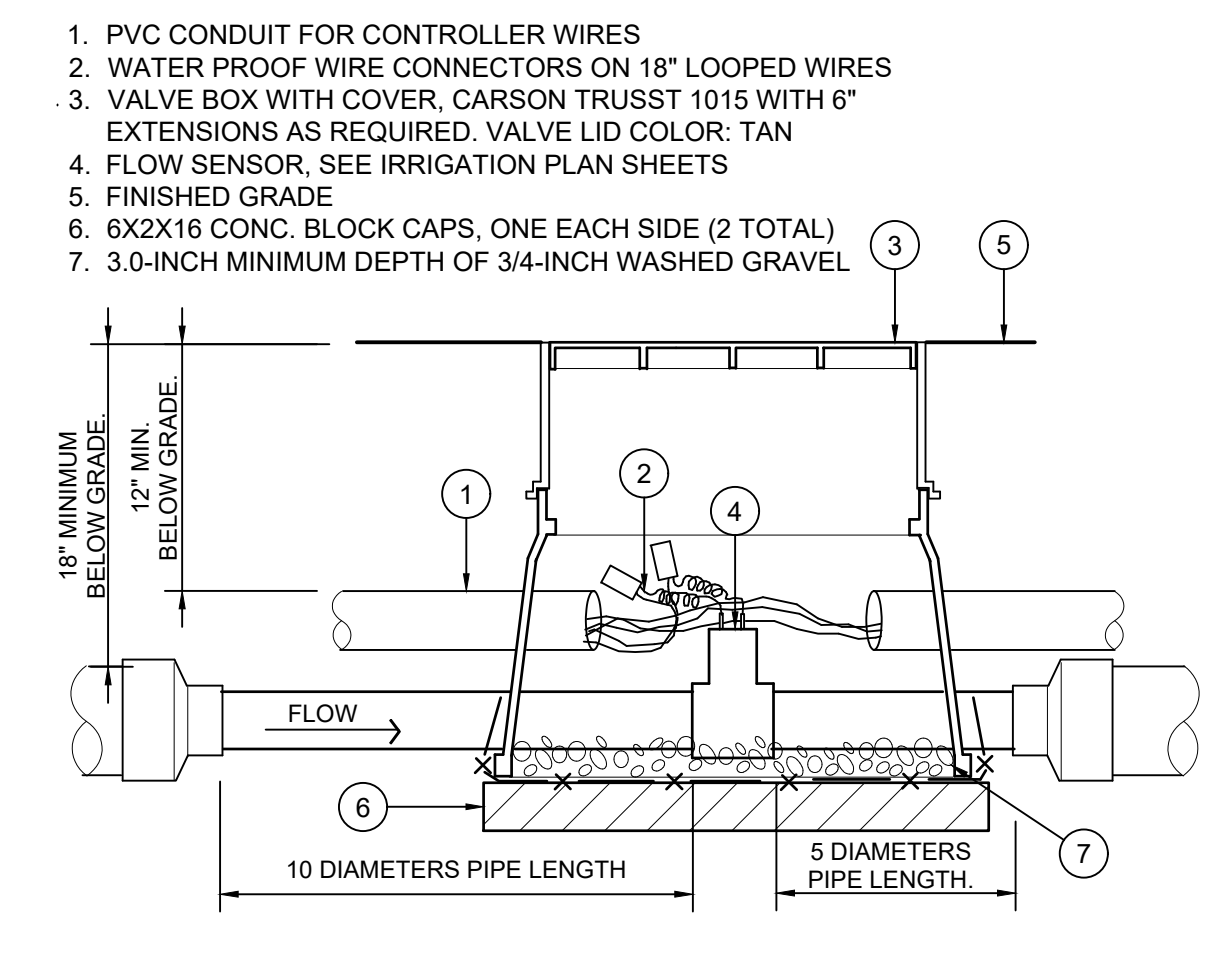
- 30-INCH LINEAR LENGTH OF WIRE COILED
- WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- VALVE BOX WITH COVER: CARSON TRUST 012
- FINISH GRADE/TOP OF MULCH
- REMOTE CONTROL VALVE: RAIN BIRD EFB-CP
- PVC SCH 80 NIPPLE (CLOSE)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MASTER MAINLINE PIPE
- SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- PVC SCH 40 MALE ADAPTER
- PVC MAINLINE PIPE
- 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

A3 MASTER VALVE
N.T.S.



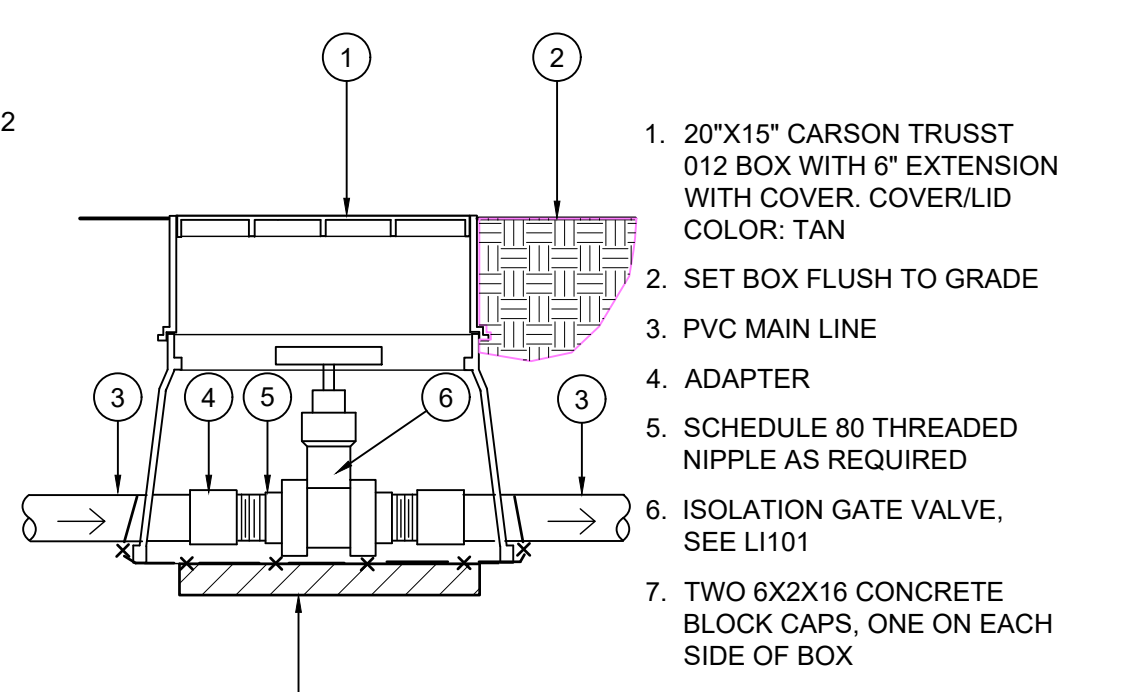
- NOTE:**
- BACKFLOW PREVENTER ASSEMBLY AND ENCLOSURE SHALL BE LOCATED OUTSIDE OF EASEMENT LIMITS.
 - CONCRETE SLAB MAY REQUIRE ADDITIONAL HEADER CURBS TO ADJUST GRADING CHANGES. CONTRACTOR SHALL PROVIDE A CONCRETE SLAB RECOMMENDATION TO ARCHITECT FOR APPROVAL.
 - CONTRACTOR SHALL INSTALL SLEEVES IN CONCRETE SLAB FOR POWER CONDUIT AND INPUT AND OUTPUT GALVANIZED PIPING. SLEEVE SIZING TO BE ONE SIZE LARGER THEN INSTALLED PIPE
- REDUCED PRESSURE BACKFLOW DEVICE AS SPECIFIED. SEE LI101
 - NEW HEATED ENCLOSURE HOT BOX HB2
 - GALVANIZED NIPPLES AND ELL AS REQUIRED
 - GALVANIZED UNIONS AT EACH SIDE
 - GALVANIZED RISERS
 - CONCRETE PAD
 - GALVANIZED ELL AND NIPPLE, TYP.
 - PVC COUPLER OR REDUCER AS REQUIRED, TYP.
 - MAIN LINE. SEE IRRIGATION SCHEDULE
 - LINE FROM ISOLATION VALVE. SEE B6/LI501
 - SCHEDULE 40 PVC SLEEVE FOR ELECTRICAL SUPPLY FOR HEATING UNIT. WIRES TO BE TERMINATED IN WATER PROOF FITTINGS.

B4 BACKFLOW PREVENTER
NOT TO SCALE



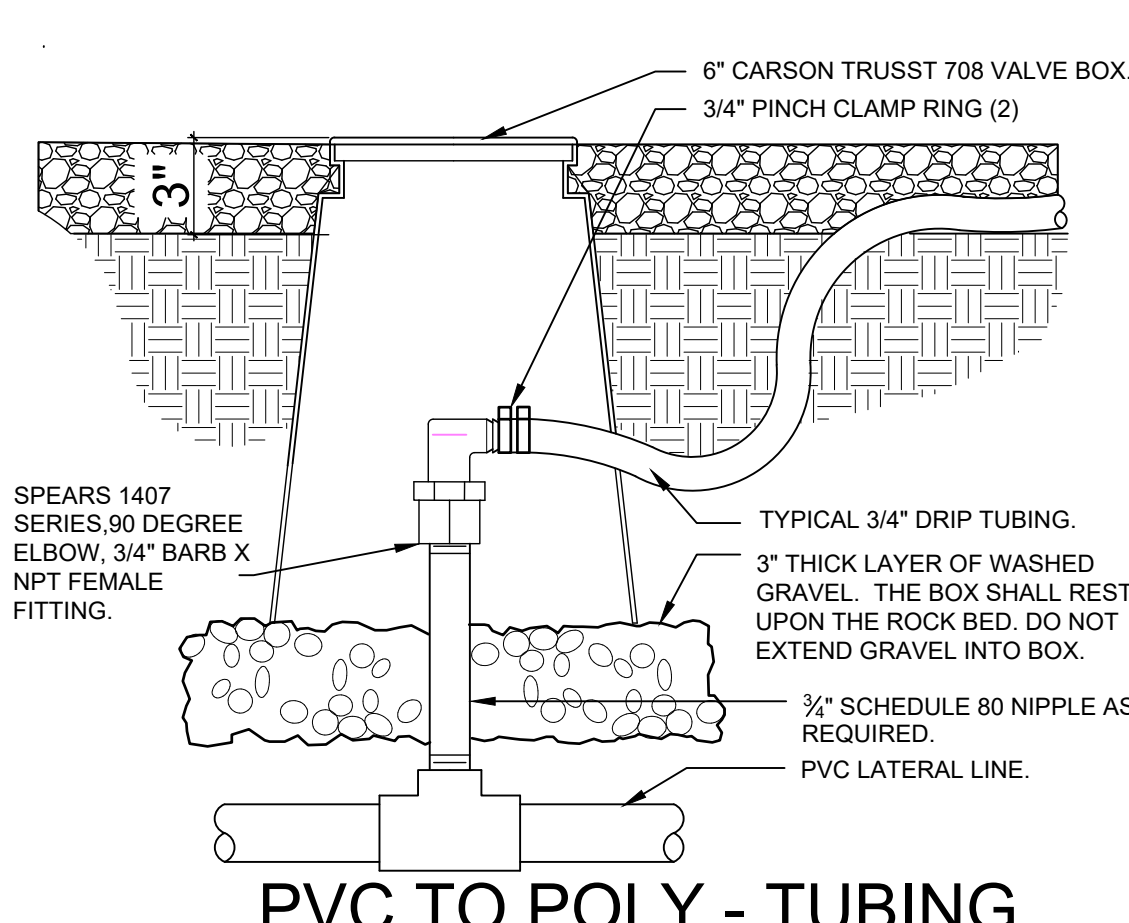
- PVC CONDUIT FOR CONTROLLER WIRES
 - WATER PROOF WIRE CONNECTORS ON 18" LOOPED WIRES
 - VALVE BOX WITH COVER: CARSON TRUST 1015 WITH 6" EXTENSIONS AS REQUIRED. VALVE LID COLOR: TAN
 - FLOW SENSOR. SEE IRRIGATION PLAN SHEETS
 - FINISHED GRADE
 - 6X2X16 CONG. BLOCK CAPS, ONE EACH SIDE (2 TOTAL)
 - 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 30-INCH LINEAR LENGTH OF WIRE COILED
 - WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
 - ID TAG: RAIN BIRD VID SERIES
 - VALVE BOX WITH COVER: CARSON TRUST 012
 - FINISH GRADE/TOP OF MULCH
 - REMOTE CONTROL VALVE: RAIN BIRD EFB-CP
 - PVC SCH 80 NIPPLE (CLOSE)
 - PVC SCH 40 ELL
 - PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 - BRICK (1 OF 4)
 - PVC MASTER MAINLINE PIPE
 - SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
 - PVC SCH 40 TEE OR ELL
 - PVC SCH 40 MALE ADAPTER
 - PVC MAINLINE PIPE
 - 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

A5 FLOW SENSOR ASSEMBLY
N.T.S.



- 20"x15" CARSON TRUST 012 BOX WITH 6" EXTENSION WITH COVER. COVER/LID COLOR: TAN
- SET BOX FLUSH TO GRADE
- PVC MAIN LINE
- ADAPTER
- SCHEDULE 80 THREADED NIPPLE AS REQUIRED
- ISOLATION GATE VALVE. SEE LI101
- TWO 6X2X16 CONCRETE BLOCK CAPS, ONE ON EACH SIDE OF BOX

B6 ISOLATION VALVE
1" = 1'-0"



- 6" CARSON TRUST 708 VALVE BOX.
- 3/4" PINCH CLAMP RING (2)
- TYPICAL 3/4" DRIP TUBING.
- 3" THICK LAYER OF WASHED GRAVEL. THE BOX SHALL REST UPON THE ROCK BED. DO NOT EXTEND GRAVEL INTO BOX.
- 3/4" SCHEDULE 80 NIPPLE AS REQUIRED.
- 3/4" SCHEDULE 80 NIPPLE AS REQUIRED.

A6 PVC TO POLY - TUBING CONNECTION
3" = 1'-0"

GENERAL SHEET NOTES

- A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
- B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
- C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
- D. REFER TO SHEETS AE681 FOR OPENING TYPES.
- E. ALL EXPOSED STEEL TO BE PAINTED.

SHEET KEYNOTES

- 0-11 EXTERIOR BUILDING SIGNAGE; HALO ILLUMINATED LED ALUMINUM CHANNEL LETTER FABRICATION WITH 3" RETURN; PAINTED TWO COLORS AS SELECTED BY ARCHITECT WITH ADDITIONAL SATIN CLEAR PROTECTIVE COAT FINISH / LOGO FILE TO BE PROVIDED BY OWNER / PROVIDE WOOD BACKING AS REQUIRED AND COORDINATE MOUNTING WITH METAL PANEL INSTALLER / PROVIDE AN ELECTRICAL J-BOX, REFER TO ELECTRICAL SHEETS
- 0-12 10" BUILDING ADDRESS IDENTIFICATION NUMBERS AS REQUIRED BY FIRE CODE OFFICIAL / ALUMINUM CHANNEL LETTER FABRICATION WITH 1.5" RETURN; PAINTED ONE COLOR AS SELECTED BY ARCHITECT WITH ADDITIONAL SATIN CLEAR PROTECTIVE COAT FINISH / PROVIDE WOOD BACKING / COORDINATE MOUNTING WITH METAL PANEL INSTALLER

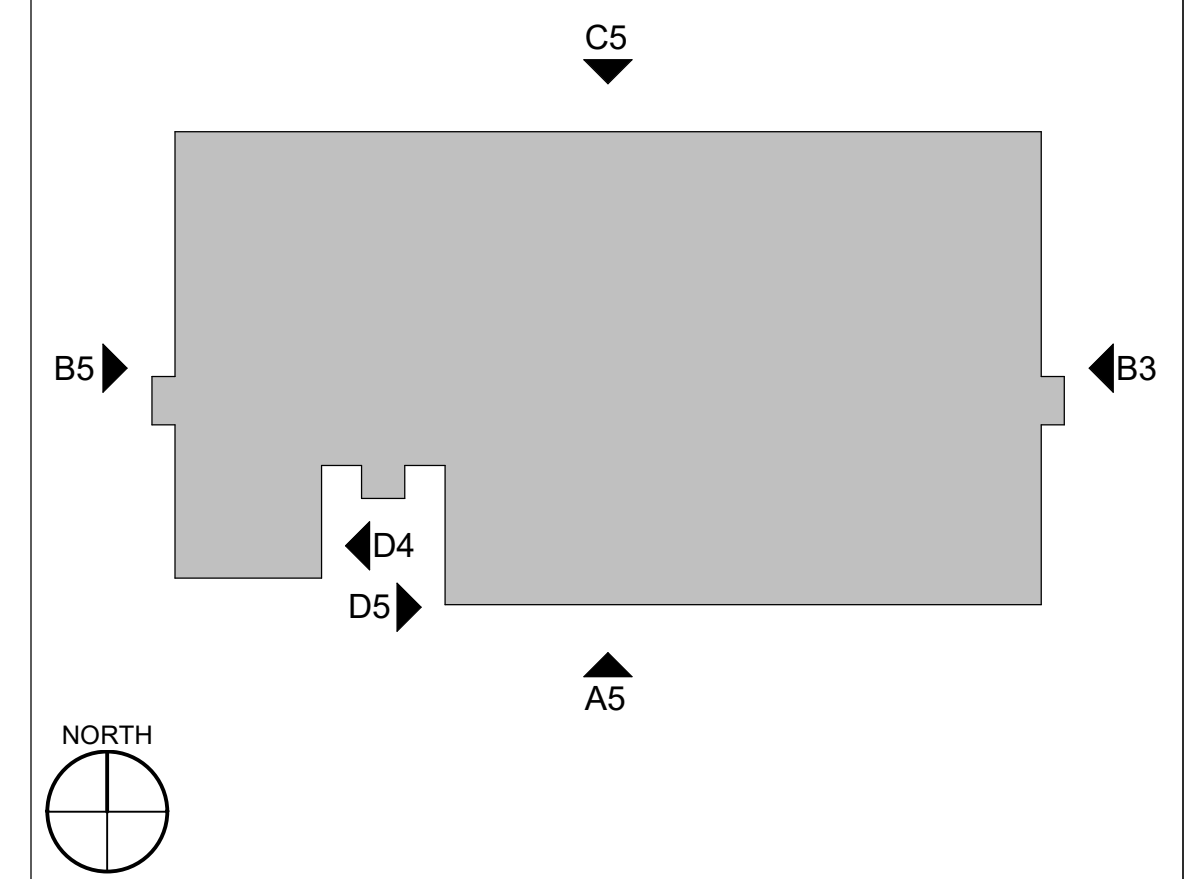
REFERENCE KEYNOTES

- 04 2000-D REINFORCED CMU SCREEN WALL, REFER TO ARCHITECTURAL SITE DETAILS SHEET
- 05 5000-A01 SHOP-FABRICATED TRELLIS FRAME, SEE STRUCTURE / PAINT AESTHETIC REVEAL JOINT
- 07 2400-E PREFINISHED METAL WALL PANEL, FLAT LOCK SEAM MANUFACTURED COPING
- 07 7100-A HOLLOW METAL DOOR AND FRAME
- 10 4400-C RECESS MOUNT ELECTRONIC RAPID ENTRY BOX, KNOX 3200 SERIES OR EQUAL / UNIT TO CONTAIN ACCESS KEYS TO THE BUILDING ENTRANCES AND ALL COMMON-USE AREAS AS REQUIRED BY FIRE CODE OFFICIAL / MOUNT BOTTOM AT 6" AFF
- 10 7113-A EXTERIOR SUN CONTROL DEVICE
- 22 0000-A04 OVERFLOW ROOF DRAIN DOWNSPOUT NOZZLE, REFER TO PLUMBING
- 23 0000-A MECHANICAL EQUIPMENT
- 26 0000-A02 EXTERIOR WALL MOUNTED LIGHT FIXTURE / MOUNT AT 12'-0" AFF
- 28 2300-A VIDEO SURVEILLANCE CAMERA / COORDINATE WITH TECHNOLOGY

LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) MANUFACTURER: STO CORPORATION (OR EQUAL) COLOR: FIELD COLOR; STO COLOR AMARILLA (OR EQUAL) FINISH: FINE
- EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) MANUFACTURER: STO CORPORATION (OR EQUAL) COLOR: ACCENT COLOR 1; STO COLOR MARBLE WHITE (OR EQUAL) FINISH: STONE
- EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) MANUFACTURER: STO CORPORATION (OR EQUAL) COLOR: ACCENT COLOR 2; STO COLOR ADOBE BROWN (OR EQUAL) FINISH: FINE
- PREFINISHED METAL PANEL MANUFACTURER: ATAS INTERNATIONAL (OR EQUAL) COLOR: COPPER BROWN STYLE: VERSA-LOK FLAT SHINGLE STYLE
- ALUMINUM STOREFRONT MANUFACTURER: TUBELITE (OR EQUAL) STOREFRONT: T14000 I/O SERIES STOREFRONT FRAMING (OR EQUAL) FRAMING MEMBER SIZE: 2" X 4-1/2" FINISH: STANDARD PAINTED, 70% PVDF, TO BE SELECTED BY ARCHITECT GLASS: 1" INSULATED GLASS UNIT / SOLARBAN 90 (OR EQUAL)

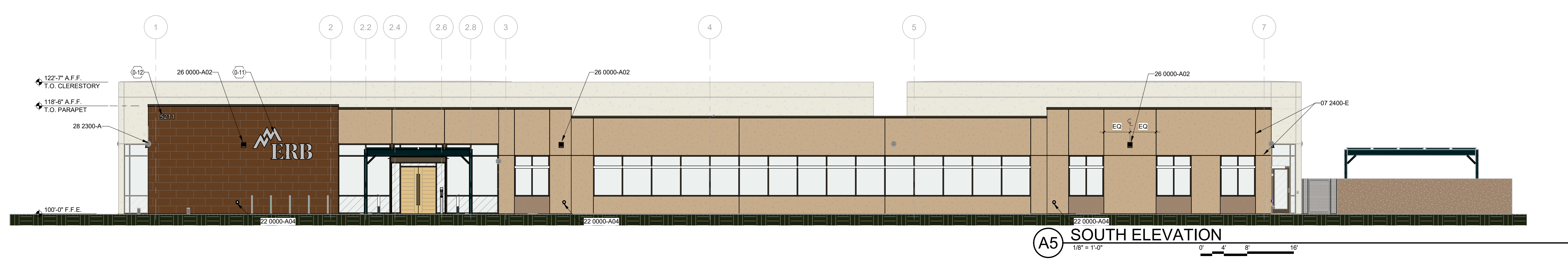
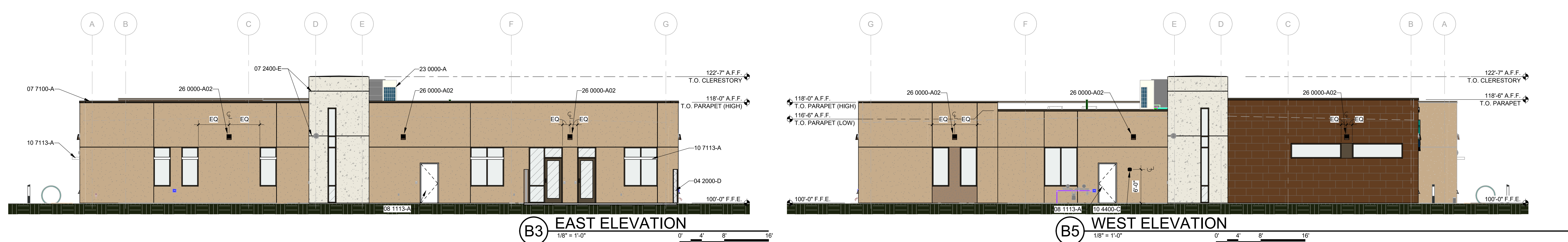
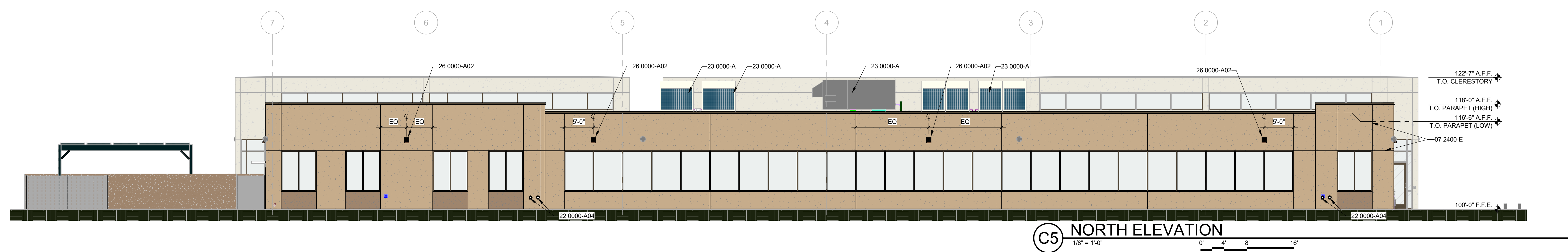
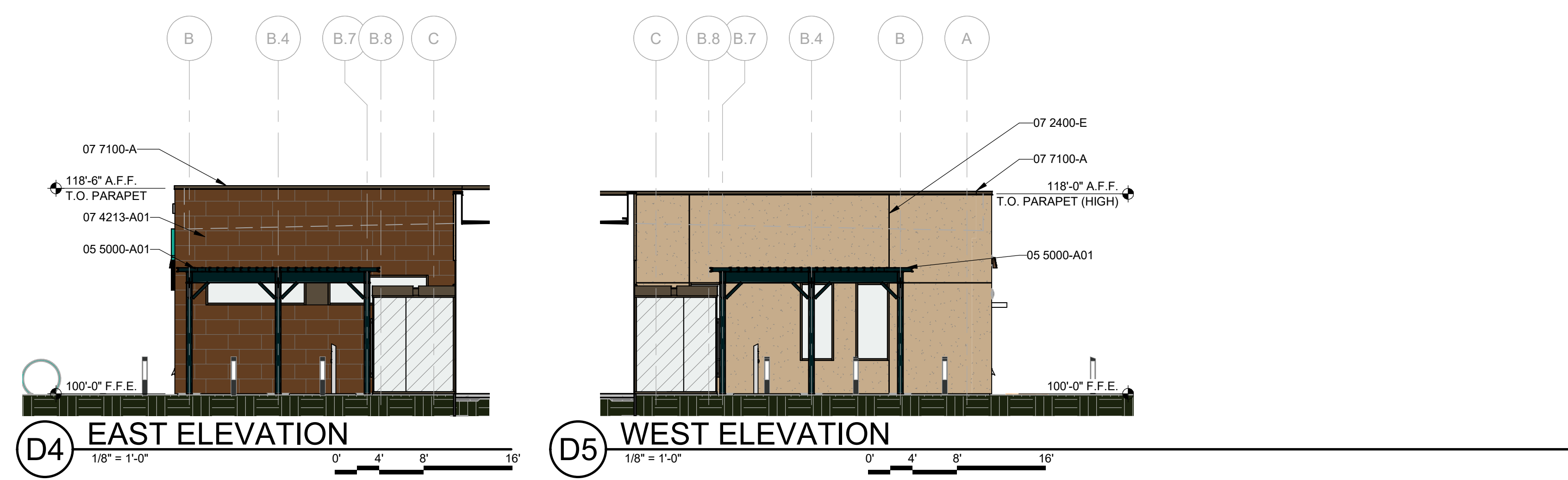
KEY PLAN



DEKKER PERICH SABATINI



SEAL
PROJECT



NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

△	6/29/2023	ADDENDUM #001
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DRAWN BY: KT
REVIEWED BY: DM
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME: EXTERIOR ELEVATIONS
SHEET NO: AE201

GENERAL SHEET NOTES

A. THE WORK INDICATED ON THE ELECTRICAL SITE PLAN AND THE POWER RISER DIAGRAM IS THE RESULT OF INITIAL CONTACT BY THE DESIGN ENGINEER WITH THE LOCAL ELECTRICAL UTILITY COMPANY. ADDITIONAL WORK MAY BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL REQUIREMENTS OF THE ELECTRICAL SERVICE WITH THE LOCAL ELECTRICAL UTILITY COMPANY AND PROVIDE PRIMARY AND SECONDARY TRENCHING, CONDUITS, PRIMARY CONDUCTORS, CONCRETE ENCASMENT (WHERE APPLICABLE), PULL BOXES, BACKFILL AND PATCHING. ALL ASSOCIATED WORK REQUIRED FOR INSTALLATION OF THE ELECTRICAL SERVICE AND PRIMARY SYSTEMS BY THE CONTRACTOR, INCLUDING FIELD COORDINATION AND ROUTING WITH PNM IS THAT OF THE ELECTRICAL CONTRACTOR AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID WITHOUT EXCEPTION.

KEYNOTES

1. PARKING CANOPY BY SOLAR CONTRACTOR. PROVIDE ELECTRICAL CONNECTION TO CANOPY MOUNTED LIGHTING SUPPLIED BY SOLAR CONTRACTOR. CONNECT TO EXTERIOR PARKING LOT LIGHTING CIRCUIT.
2. PAD MOUNT PNM SERVICE TRANSFORMER WITH METER CAN. COORDINATE REQUIREMENTS WITH PNM.
3. SOLAR METER AND DISCONNECT. COORDINATE WITH SOLAR CONTRACTOR FOR ALL REQUIRED WORK. REFER TO PV SHEETS.
4. UNDERGROUND SECONDARY. REFER TO ONE LINE DIAGRAM. COORDINATE ROUTING IN FIELD WITH EXISTING CONDITIONS AND BURIED UTILITIES.
5. 120V CIRCUIT FOR CAMERAS. REFER TO IT DETAILS FOR POLE BASE REQUIREMENTS.
6. 120V CIRCUIT FOR PIV HOT BOX. COORDINATE EXACT LOCATION WITH CIVIL PRIOR TO ROUGH-IN.
7. FIRE ALARM TAMPER SWITCH FOR PIV HOT BOX. MAKE CONNECTIONS TO FIRE ALARM AS REQUIRED.
8. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH EXTERIOR RELAY LIGHTING CONTROL PANEL. REFER TO LIGHTING SEQUENCE OF OPERATION.
9. STUB OUT FOR FUTURE EV CHARGING TANDUM STATION. EXTEND 1.5" CONDUIT BACK TO PANEL INDICATED. CAP AND MARK FOR FUTURE USE.
10. FLAG POLE LIGHTING, IN GRADE. ROUTE CIRCUIT THROUGH LIGHTING CONTROL RELAY PANEL FOR DUSK TILL DAWN OPERATION. COORDINATE MOUNTING DETAILS WITH MANUFACTURER. FIXTURES TO BE LSI #XIG-LED-19-350-CW-JE-22 WATTS.
11. PROVIDE 120V CONNECTION TO IRRIGATION CONTROLLER AND HOT BOX. EXTEND AN ADDITIONAL 1.5" CONDUIT BACK TO DATA/IT BACKBOARD FOR DATA CONNECTION TO IRRIGATION CONTROLLER. COORDINATE WITH LANDSCAPE.
12. RUN CONDUIT TO APPROXIMATE LOCATION. STUB AND CAP AS REQUIRED FOR FUTURE POLE LIGHT AT APPROXIMATE LOCATION. COORDINATE WITH ARCHITECTURAL.

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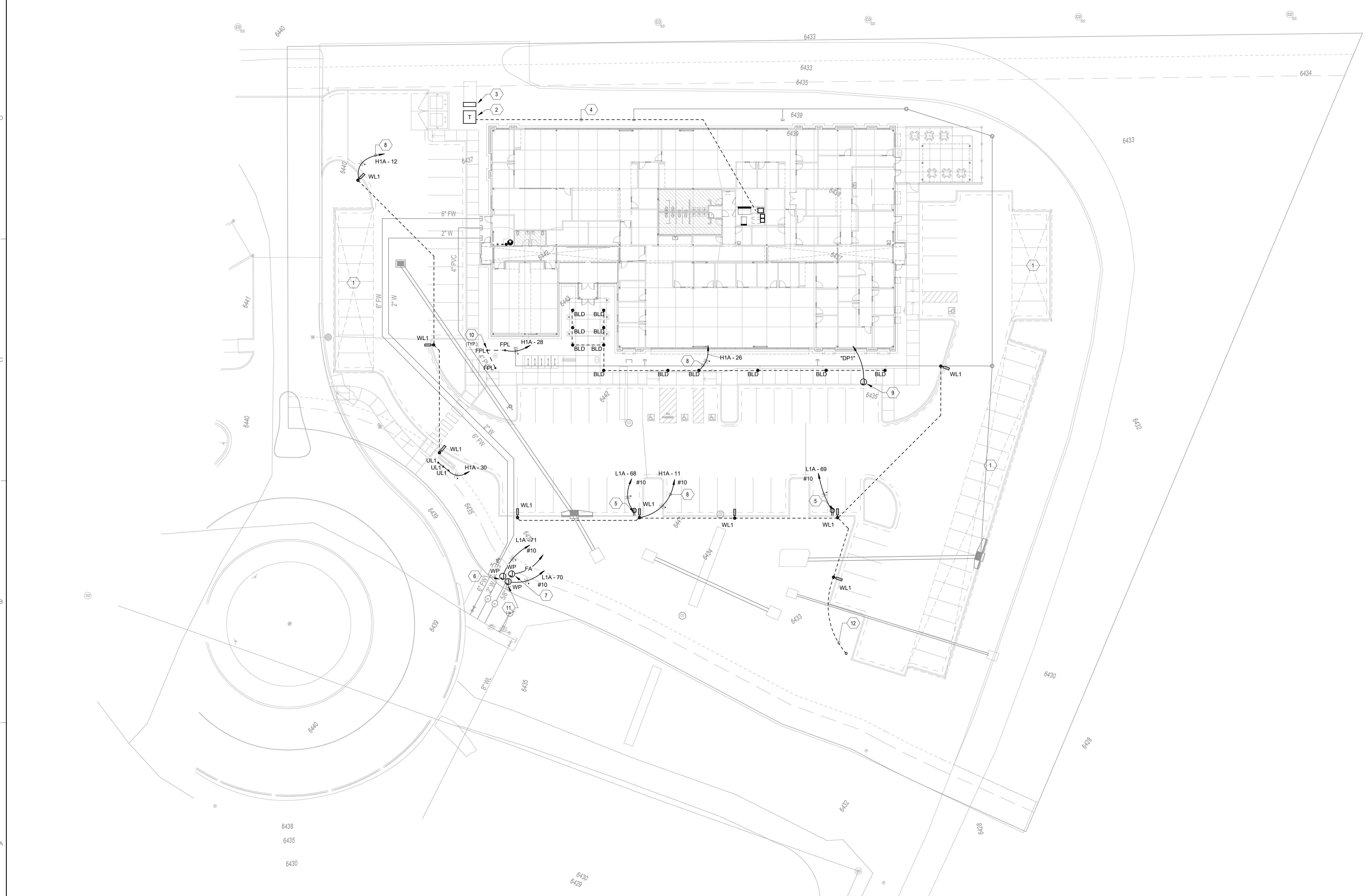
REVISIONS

8/15/24	ASI 005
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DRAWN BY _____ Author
REVIEWED BY _____ Approver
DATE 12/21/2022
PROJECT NO 20-0371.001

DRAWING NAME
ELECTRICAL SITE PLAN

SHEET NO
ES101

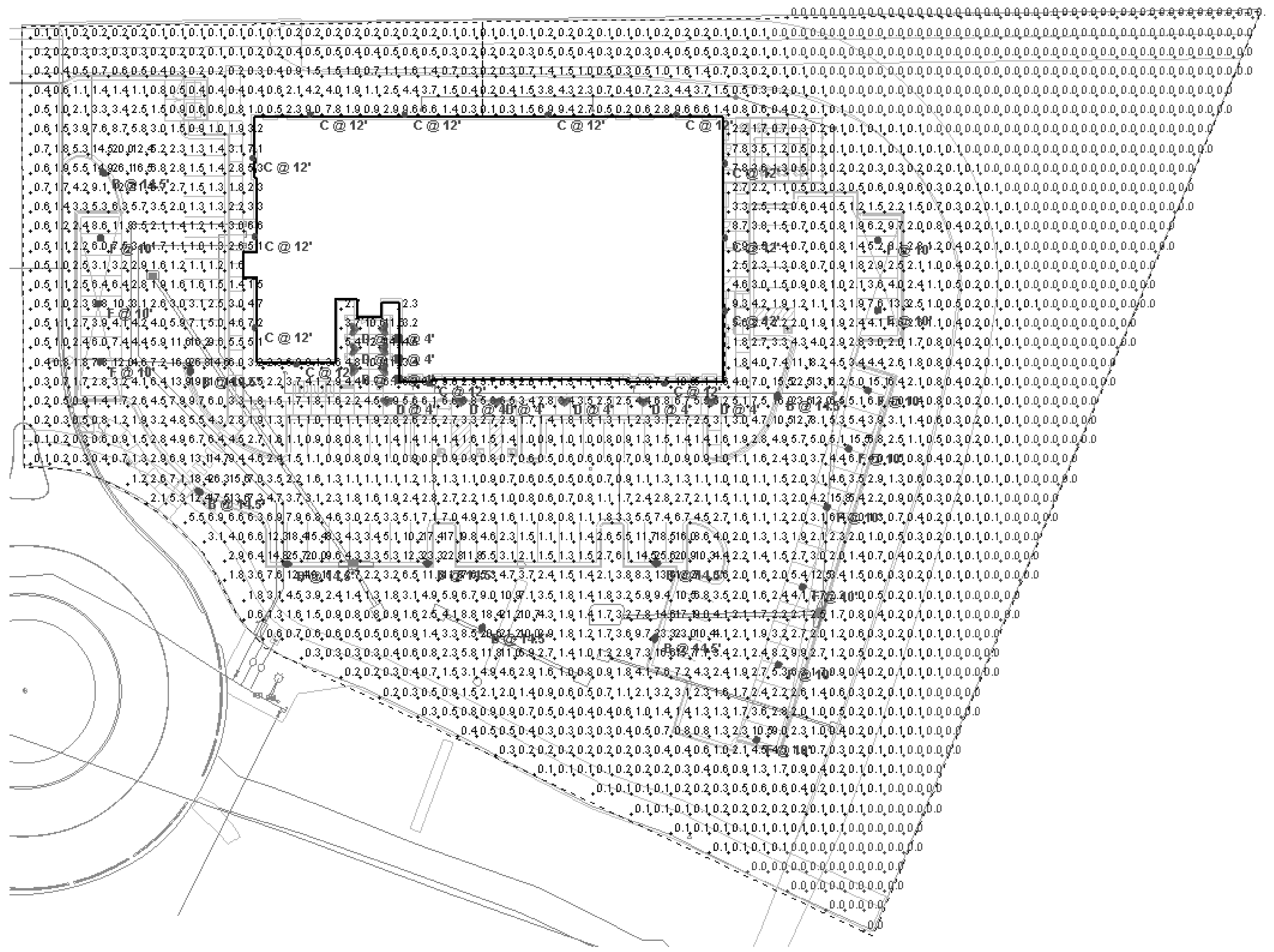


NORTH
A2 ELECTRICAL SITE PLAN
1" = 20'-0"
0' 10' 20' 40'

REVISIONS

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DRAWN BY: Author
REVIEWED BY: Approver
DATE: 12/21/2022
PROJECT NO: 20-0371.001



Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Number Lamps	Li
B	9	KIM LIGHTING	ALT2-100L-200-4K7-3HDL	ALTITUDE 2.0	C-70-CRI WITH DIFFUSE LENS DATA SHOWN IS ABSOLUTE Educational, Government, Healthcare, Hospitality, Hotel, Industrial, Institutional,	2-100L-200-4K7-3HDL	1	
C	13	WHITEWAY LIGHTING	SG1-30-4K7-FT	Sling Series		SG1-30-4K7-FT.ies	1	
D	12	ARCHITECTURAL AREA LIGHTING	KB6-Y5-C-2040	KICK BOLLARD, ALUMINUM HOUSING, LED ARRAY CONSIST OF HEATSINK, LEDS	12 LED 4000K	KB6-Y5-C-2040.ies	1	
F	11	RAB Lighting Inc.	VAN17-30 @ 30W/4000K			_30w_4000k_dff23121	1	

CalcZone
Average 2.4 fc
Maximum 26.8 fc
Minimum 0.0 fc

NOTE: PER THE IESNA, LIGHTING LEVELS AT ALL PEDESTRIAN AREAS WHERE TRAFFIC IS PREVALENT SHALL BE 5 FC'S MINIMUM. IT IS NOT POSSIBLE TO HAVE ZERO FOOTCANDLES IN THESE AREAS WITHOUT POTENTIAL LIABILITY.