

City of Santa Fe, New Mexico

memo

DATE: April 25, 2023
TO: Historic Districts Review Board Members
FROM: Heather Lamboy, Assistant Director, Planning & Land Use Department

Case # 2023-006360-HDRB

Address: 502 Cerrillos Road
Historic Status: Non-Contributing
Historic District: Historic Transition

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form H-13010
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

With the exception of the portal enclosure, Staff finds that the proposed project complies with Section 14-5.2(D) for the Historic Transition District.

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Because of the design of the portal enclosure, staff does not recommend approval of the application with regard to its compliance with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(D) Historic Transition District.

BACKGROUND & SUMMARY:

The building located at 502 Cerrillos Road is a 3,356 square foot non-contributing commercial building that sits on a triangle wedged lot at the southwest corner of Cerrillos Road and West Manhattan Street in the Historic Transition District. Per the 1997 historic building survey, it was built in 1973 and housed the Schifani Brothers Printing Company, and most recently, an audio-video store, "A Sound Look." It is a concrete block stuccoed building with flat roofed masses of varying heights, ranging from 10' to 14' – 9" at the northwest corner, battered parapets, wood and metal canals, and metal downspouts. Windows are a mix of 6-over-6 wood double hung units with metal storm windows and steel casements on the facades of the west end of the north wall. Its street-facing front elevation (east) features 12-lite fixed recessed windows with wood lintels.

The applicant proposes the following exterior alterations:

Building

1. Shift the main entrance from the existing portal entry on the north end of the east street-facing elevation to the south. The current 10' tall wall will be increased to 14' – 3" for the main entrance and signage. The southern end parapet will be raised from 12' – 5" to 13' – 2." The north elevation parapet will be raised from 11' – 8" to 12' – 10.' The maximum allowable height for this building in this streetscape is 14' – 3."
2. Enclose the 84 square foot entry portal on the east elevation.
3. Existing dark metal clad divided lite windows will be replaced with dark bronze anodized finished aluminum frame windows.
4. New commercial grade metal doors will replace existing at the north elevation loading dock.
5. Re-roof with bitumen torch down or equal and insulate.

Patio and Yard Walls

6. Create a 362 Square foot patio on the north side of the building between the building and the existing yard wall along West Manhattan Avenue. Add a shade structure over the patio, consisting of supporting steel columns and steel beam with a peeled wood-latilla covering.
7. Raise the existing front (east) elevation stucco yard wall from 2' – 8" to 4' – 3" and add about 3" to the west end yard wall existing height at 4' – 3." Both proposed heights are within the maximum allowable height for this streetscape.
8. Add a wood and steel gate to the east yard wall.
9. Stucco will be El Rey's "Buckskin."

Signage

A separate application for the building's new business signage has been submitted to the Land Use Department.

An exception is required Section 14-5.2(D)(4), Porches and Portals. According to this code section, porches and portals shall not be enclosed. As this is a design standard, the HDRB will

either recommend or not recommend approval to the Governing Body, which has the final decision-making authority.

The applicant proposes to retain the existing portal's lintel and enclose it with 16 GA rusted steel plates with cut outs for signage. The applicant states that steel details are used on other buildings within the Historic Transition District for both signage and canopy features. Photographs have been provided. While steel is used as an accent material, it is not used for an entire wall. Staff suggests using steel as an accent material and include windows or stucco as a predominant part of this elevation.

EXCEPTION CRITERIA AND RESPONSES:

Exception to Section 14-5.2(D)(4): Applicant requests an exception to permit the enclosure of the existing portal on the east elevation.

(i) *Do not damage the character of the district*

Applicant Response: The applicant did not respond to this criterion.

Staff Response: As designed, the predominantly metal feature is not consistent with the overall character of the district. Staff suggests using metal as an accent material and utilize either windows or stuccoed insets.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The applicant states that the portal would prevent a hardship to the owner and the moving of the main entrance will improve accessibility from ADA parking spots.

Staff Response: While moving the main entrance has merit in providing better access to the building, the reason of the hardship to the applicant has not been stated.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The applicant states that other portals in the district have received previous approval from the HDRB to be enclosed, and references that as a precedent that would provide a rationale for the enclosure of the portal at the subject property.

Staff Response: While previous portal enclosures have been permitted in the district, none of them have a wall of sheet metal. This is a design feature not found in the district.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

14-5.2(G) Historic Transition District Standards

(G)Historic Transition District (1)Purpose(a)In order to promote the economic, cultural and general welfare of the people of the city and to ensure the harmonious, orderly, and efficient growth and development of the city , it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserves property values and attracts tourists and residents alike, be preserved, some of the qualities being:(i)The continued existence and preservation of historic areas and buildings ;(ii)The continued construction of buildings in the historic styles; and(iii)A general harmony as to style, form, color, proportion, texture, and material between buildings of historic design and those of more modern design.(b)The governing body hereby establishes a process for review of style, form, color, proportion, texture, and materials as part of the building permit process in the historic transition district.(2)Applicability Submittals of required elevations and plans and approval of these submittals by the planning and land use department are required before a building permit is given for construction, renovation, or exterior remodeling of any exterior feature of a building or structure subject to public view from any public street , way, or other public place. Demolition shall not require prior approval by the planning and land use department. (Ord. No. 2007-45 § 30; Ord. #2020-22 , § 16)

(3)District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street , way, or other public place are erected or altered:

(a)Architectural Style(i)Materials

It is intended that exterior wall materials express a monolithic and massive appearance. Stucco, brick, slump block, and stone are allowed. Materials such as aluminum siding, metal panels, mirrored glass, and unstuccoed masonry units or cement are not allowed. Wood siding is not allowed for an entire wall ;

(ii)Color

The color of stuccoed buildings shall predominantly be in brown, tans, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone or brick shall be in the natural color. Entries and portals may be emphasized by the use of white or other colors or materials. Painting of buildings with bold repetitive patterns, or using buildings as signs is prohibited;

(iii)Roof Form, Slope and Shape

It is intended that buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, and hipped roofs can be designed as "wall dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the walls . Folded plate roofs, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tone colors are preferred. See Illustration 14-5.2-7, "Examples of Roof Types"; 14-5_2-7

(iv)Solar EquipmentA.It is intended that the use of solar and other energy collecting and conserving strategies be encouraged. The use of large glazed areas on south facing walls for collectors, trombe walls , greenhouses , garden rooms, direct gain, or other collecting purposes is allowed. Solar equipment shall be screened as follows:1.raising the parapet;2.setting back from the edge of the roof;3.framing the collector with wood;4.in the case of pitched roofs, by integrating the collector into the pitch;5.in case of ground solar collectors by a wall or vegetation;6.in the case of wall collectors or greenhouses , by

enclosing by end or other walls ;7.other means that screen the collector or integrate it into the overall structure . Non-glare materials shall be used in solar collectors.B.Roof-mounted equipment: roof-mounted mechanical, electrical and telephone equipment and other obtrusive structures shall be architecturally screened with opaque materials, for example, by raising the parapet, and shall be of a low profile to minimize the screening problem;C.Cantilevers, arches: no cantilever or long apparently unsupported openings are allowed except over the projecting vigas, beams, or wood corbels or as part of the roof. The use of arches is discouraged except in free standing walls ;(b)Size, Mass and Shape(i)In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that structures be designed to appear essentially as structures with massive walls . Structures with massive walls are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry openings showing, the massiveness of the structures . Solid wall space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing walls for solar equipment as provided in Subsection (G)(3)(a)(iv) of this section, and under portales; (Ord. No. 2002-37 § 29)(ii)The mass elements which make up the building composition shall appear as single blocks;(iii)Buildings with ground coverage of over twenty thousand (20,000) square feet and over one story shall be designed to appear more as an aggregation of smaller " building blocks" rather than a single large box or block. A human scale shall be achieved near ground level on large commercial, multi-family residential and public buildings and along street façades and entryways through the use of such scale elements as windows, doors, columns, and beams. Human scale means the entrances, windows, doors, columns, and beams on large buildings are in proportion to the people using the building . For example, a ten-foot high entrance cover is in proportion to a person using it. A thirty (30) foot high colonnade is not;(c)Walls and Fences

Walls and fences visible from the street shall be built of brick, adobe , rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. Walls of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the wall or fence is not visible from the street ;

(d)Remodeling and Alteration

Persons requesting approval for building permits for remodeling or alteration of nonconforming structures shall not be required to bring the total structure into conformance with the standards for the historic transition area. However, the portion of the building that is remodeled or altered shall conform to those standards. Remodeling of structures of architectural and historic interest or individually entered on the state register of cultural properties or national register of historic places or designated as significant on either register shall be related to and compatible with the structure . "Related to and compatible with" means existing together with unity and coherence.

(4)Final Review(a)All applicants for final review shall submit:(i)Three copies of four building elevations drawn to scale . Elevations shall be drawn with sufficient detail to show the architectural design of the structures , including proposed exterior finish materials, textures and colors;(ii)Three copies of a dimensioned plan drawn to scale which shows building location and configuration in relation to other site improvements, including but not limited to parking lots and utilities.(b)The planning and land use department shall make a determination of whether the plans and elevations are in compliance with the requirements of this section within five working days from the date of the application to the city . If the submitted information is inadequate, the division may postpone action until a date agreed upon by the division and the applicant . (Ord. No. 2007-45 § 30; Ord. #2020-22 , § 16)(c)Final approval, disapproval, or conditional approval shall be noted on the face of the application and signed by a representative of the planning and land use department. If conditional approval is given, the list of conditions shall be

attached to the application . If the application is disapproved, the sections of the historic transition district with which the application did not comply shall be noted on the application . (Ord. No. 2007-45 § 30; Ord. #2020-22 , § 16)(d)No approval by the planning and land use department shall be required for repairs that do not in any way alter any exterior feature in view from any public street , way, or public place, or for repainting it the same color. (Ord. No. 2007-45 § 30; Ord. #2020-22 , § 16)(5)Property Use and Zoning District

The property in the historic transition district may be used for any use permitted in the zoning district of which the property in question is a part. The property in the historic transition district shall be subject to the requirements, uses, height, and other regulations of the zoning district of which the property is a part.

Minutes

2/28/2023

APPLICANT PRESENTATION

Jeff Seres, 122 Lorenzo Road, was sworn. He said he and the owners agree with the new HCPI and with staff's recommendation for the main residence to remain noncontributing. He said John Murphy was available on Zoom if there were any questions on the HCPI.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2023-006359-HDRB, 1170 Camino Delora, Member Biedscheid moved to retain noncontributing status of the house. The motion was seconded by Member Guida.

VOTE: The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, and Guida voting in favor and none voting against.

6. **2023-006360-HDRB. 502 Cerrillos Rd.** Historic Transition District. Noncontributing. K.M. Skelly, Inc., agent for Deborah Olinger, owner, proposes to enclose 84 sq.ft. portal on a 3,544 sq.ft. building, raise parapet heights (none to exceed maximum allowable height of 14'- 3"), add patio area with trellis, increase yard wall heights to 4'-3" and to 4'- 6" (within maximum allowable height for this streetscape), and window and door alterations. (Angela Schackel Bordegaray)

Attorney Ruybalid said some legal issues were discussed and not everyone is on the same page as to how they would be resolved. He thought it beneficial to take a brief recess for discussion with staff off the record. He apologized for the delay.

Chair Rios called for a short recess at 7:30 p.m. for staff and legal to discuss an issue off the record.

Chair Rios resumed the meeting at 7:45 pm.

STAFF REPORT

502 Cerrillos Road is a 3,356 square foot non-contributing commercial building that sits on a triangle wedged lot at the southwest corner of Cerrillos Road and West Manhattan Street in the Historic Transition District. Per the 1997 historic building survey, it was built

in 1973 and housed the Schifani Brothers Printing Company, and most recently, an audio-video store, "A Sound Look." It is a concrete block stuccoed building with flat roofed masses of varying heights, ranging from 10' to 14' – 9" at the northwest corner, battered parapets, wood and metal canals, and metal downspouts. Windows are a mix of 6-over-6 wood double hung units with metal storm windows and steel casements on the facades of the west end of the north wall. Its street-facing front elevation (east) features 12-lite fixed recessed windows with wood lintels.

The applicant proposes the following exterior alterations:

Building

1. Shift the main entrance from the existing portal entry on the north end of the east street-facing elevation to the south. The current 10' tall wall will be increased to 14' – 3" for the main entrance and signage. The southern end parapet will be raised from 12' – 5" to 13' – 2." The north elevation parapet will be raised from 11' – 8" to 12' – 10.' The maximum allowable height for this building in this streetscape is 14' – 3."
2. Enclose the 84 square foot entry portal on the east elevation.
3. Existing dark metal clad divided lite windows will be replaced with dark bronze anodized finished aluminum frame windows.
4. New commercial grade metal doors will replace existing at the north elevation loading dock.
5. Re-roof with bitumen torch down or equal and insulate.

Patio and Yard Walls

6. Create a 362 Square foot patio on the north side of the building between the building and the existing yard wall along West Manhattan Avenue. Add a shade structure over the patio, consisting of supporting steel columns and steel beam with a peeled wood latilla covering.
7. Raise the existing front (east) elevation stucco yard wall from 2' – 8" to 4' – 3" and add about 3"to the west end yard wall existing height at 4' – 3." Both proposed heights are within the maximum allowable height for this streetscape.
8. Add a wood and steel gate to the east yard wall.
9. Stucco will be El Rey's "Buckskin."

Signage

A separate application for the building's new business signage has been submitted to the Land Use Department.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and Historic Districts Standards.

APPLICANT PRESENTATION

Edward Fitzgerald, who lives in Albuquerque, was sworn. He said Ms. Bordegaray did a good job describing the project. This is a transitional zone. They feel this has some Santa Fe Pueblo style but is Transitional and industrial towards the Railyard and the distillery. The idea is to pull from the Railyard and historic Santa Fe and meld the two. The materials like the steel beam with wood latillas attempts to combine the two styles.

Member Guida asked the material proposed for the patio wall.

Mr. Fitzgerald said the side facing Cerrillos will be board-formed concrete and along Manhattan will be all stucco. He was trying to do minimalist contemporary.

Member Guida asked if it is just the small portion facing Cerrillos.

Mr. Fitzgerald pointed to the location noting the gate would be steel frame with horizontal wood slats.

Member Aguilar Medrano said this year marks the building's 50th year. She said she brought up to staff whether this warrants a status review. The HCPI form has this as a minor degree of remodeling; window openings will remain unchanged, and the portal will remain. She still questions whether status should be revisited. She also noticed a decent amount of metal siding is proposed. She said even in the Transition District metal paneling is not allowed. She said she is confused how the signage can be separate.

Mr. Fitzgerald said an example of the steel with the cut-outs is in the packet.

Member Aguilar Medrano said she understands what the sign is, but Ms. Bordegaray mentioned the Board would not hear the case on signage. She considers the distillery portion as signage and didn't know how the two cases can be separate.

Ms. Bordegaray asked the applicant to confirm if this elevation was not presented to the Board because they have to go through the case on the signage. She said they previously eliminated proposing the distillery sign tonight.

Mr. Fitzgerald asked if they could say it is rusted metal without cutout letters at this point.

Member Aguilar Medrano said the first question is whether the Board would approve the metal siding, which is clearly not allowed, even in this district. She understood this is on the cusp of the Transition District and a building could be close by that has steel.

Member Bienvenu asked Mr. Fitzgerald to identify everywhere he plans to put metal siding.

Mr. Fitzgerald referred to the front elevation, east. He said they will remove that entrance that is clad in steel. The infill has metal panels with the street address cutout as a way to bring the graphics into it with the street numbers and distillery.

Member Bienvenu said he is okay with the steel trellises in this district, because it is semi-industrial. He said there are two other material issues contrary to Code: one says no metal signs and the other, no concrete walls. He thought that would require Mr. Fitzgerald to qualify for exceptions.

Mr. Fitzgerald asked if stucco was the only approved material.

Member Bienvenu read from Code, "may be built of brick, adobe, rock, wood, coyote fencing, wrought iron, slump rock or similar materials", masonry, or stucco.

PUBLIC HEARING

John Eddy, previously sworn, said he was worried Member Aguilar Medrano's suggestion on the 50-year rule would be overlooked. He suggested the Board postpone the case to address that, or a status review.

Stefanie Beninato, previously sworn, agreed there should be a status review while changes are being requested. If metal siding is prohibited, exceptions are needed. She said it may be a block from the Railyard, but the street before Hotel Santa Fe has a lot of small homes with character. She said the Board should be careful about appropriating features of a different district.

BOARD DISCUSSION

Member Biedscheid thought the Board would not be able to approve the project because the exceptions were not called for. She deferred to staff to address that. She appreciated the comment about the age of the building. It does seem that may be lost without consideration of the building's contribution.

Ms. Bordegaray said the HCPI says 1973, and going on that, she had evaluated the building had not reached the threshold, combined with changes made since the HCPI and the windows have been replaced. She hasn't reviewed a lot of buildings in this district and did not realize it was metal siding to this degree. Code says expressly no metal siding and the way it was proposed tonight does not meet Code. A lot of work is ahead that is needed on this Code and Transition will be coming before the Board. She said the research has been ongoing on the buildings but is not yet finalized or adopted yet.

Member Aguilar Medrano said she knows which windows on the east façade that were talked about as having been replaced. On the north façade, the windows appear to be newer. However, there appears to be a number of wood windows original to the building she believes are on the east and north and some of the materials appear to be original to the house from 1973. She said that is a question the Board should explore more.

Member Guida agreed with the district standards pointed out by members on the Board. He said the Board cannot rule on the case this evening. He also wanted to flag that this is the historic Transition District. Staff can work with the applicant to look at that issue further. He said the building may be 50 years old, but he doesn't see much beyond that. He would be challenged to hold up a commercial applicant to this degree for a full status review. He said this is within the purview of City staff and would ask that staff look at this issue outside the meeting. He said the basis of the motion should be for staff to work with the applicant as to whether they want to propose a redesign because of materials, or seek exceptions.

Member Bienvenu said he hates to send people back to do more work. He found it hard to imagine the Board would designate this as contributing, but there is an argument for prudence to be certain they are not making an irrevocable mistake. He asked if they asked for a status review, what is the shortest period of time the applicant could return to the Board.

Ms. Bordegaray said the earliest would be the end of March or first meeting in April depending on how soon the applicant can get the historical information. Also it has to be re-noticed as the first part of the case.

Member Bienvenu said if motion was to defer to a date certain for a status review and potential redesign and/or requests for exceptions, what could the date certain be for the motion.

Ms. Lamboy said the earliest would be the March 28th or the beginning of April to get into the newspaper and give time for the applicant to get the information.

Member Bienvenu asked if that would be the same if deferred for a request for exceptions.

Ms. Lamboy said a request for exceptions still requires notice and would have to be at least a month out.

Member Biedscheid said several projects were approved tonight that did not have a HCPI. The applicant does not need to do a full HCPI. The report indicates this has always been a commercial building. She said there is no question this is a house being converted to a business and the Board should keep that in mind with what is proposed. She suggested an explanation of why the materials were chosen and the philosophy behind those choices could be crafted through an exception. The Board should know why the exception should be granted and how criteria has been met. She said the project could just be reformatted.

Chair Rios confirmed that Member Biedscheid did not think a status review is in order.

Member Biedscheid said it would not change her mind.

Member Bienvenu said he saw no harm since the case was being delayed. He was in favor of a status review and request for exceptions and/or redesign. He offered to make a motion.

MOTION: In Case 2023-006360-HDRB, 502 Cerrillos Rd., Member Bienvenu moved to defer the case to the next meeting possible, depending on staff's final determination, for a status review, and the request for exceptions and/or redesign to eliminate the need for exceptions, noting an additional HCPI is not required by the Board. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

1. **2023-006286-HDRB. 1564 Canyon Rd.** Downtown and Eastside Historic District. Non-contributing. PPC Solar, agent for Kate Lopez, owner, proposes to install two solar arrays consisting of 8 panels on existing casita's roof and 12 panels as part of a new ground-mounted structure 8' tall. (Angela Schackel Bordegaray)

Previous
Staff
Report
2/28/23

City of Santa Fe, New Mexico

memo

DATE: February 28, 2023
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2023-006360-HDRB

Address: 502 Cerrillos Road
Historic Status: Non-Contributing
Historic District: Historic Transition

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form H-13010
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts.

BACKGROUND & SUMMARY:

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A separate application for the building's new business signage has been submitted to the Land Use Department.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

14-5.2(A)(1) Historic Transition District Standards



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant:</p> <p>Date Submitted: <u>1/27/23</u></p> <p>Property Owner of Record: <u>Debra Olinger Rev. Trust</u></p> <p>Applicant/Agent Name: <u>Kevin Skelly</u></p> <p>Contact Person Phone Number: <u>(505) 577 - 7909</u></p>	<p>Site Address: <u>502 Cerrillos Rd , Santa Fe, NM 87501</u></p> <p>Proposed Construction Description: <u>New Entry, Replace windows and one door, enclose portal.</u></p> <p>TOTAL ROOF AREA: <u>3,440 sq ft</u></p>
<p>Zoning District: <u>Historic - Transitional</u></p> <p>Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____</p> <p>Submittals Reviewed with PZR: <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: <u>Distillery / Restaurant</u></p> <p>Terrain: <input type="checkbox"/> 30% slopes <u>N/A</u></p>	<p>Lot Coverage: <u>37.5</u> % <input type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: Proposed Front: <u>37'</u> Minimum: <u>16'</u> 2nd Front? _____ Proposed Rear: <u>15'</u> Minimum: <u>10' 2"</u> Proposed Sides: L <u>12"</u> R <u>14"</u> Minimum: <u>8'</u></p> <p>Height: Proposed _____ Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed <u>8</u> Accessible <u>1</u> Minimum: _____</p> <p>Bicycle Parking**: Proposed: <u>3</u> Minimum: <u>2</u> ** Commercial Requirement</p>

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Kevin Skelly _____ [OWNER APPLICANT AGENT]

PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

<p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: <u> / / </u> <input type="checkbox"/> Flood Plain Approval by _____ Date: <u> / / </u> <input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u> / / </u></p> <p>Notes: _____</p> <p>Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: _____</p> <p>REVIEWER: <u>Stephanie Perca</u> DATE: <u>2/1/23</u></p>	<p style="font-size: 1.2em;">2023-006341-PAR</p>
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Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1997

IDENTIFICATION	ADDRESS: <u>502 Cerrillos</u>	OLD ID NUMBER: 0516 10107	
		SANTA FE ID NUMBER: <u>H13010</u>	
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	BUILDING NAME:
	ZONE <u>12 13</u>	TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>24</u> SW 1/4 SW 1/4	
BUILDING DATA	FIELD MAP Santa Fe Historic Status Map 1996	PHOTO	
	DATE OF CONSTRUCTION: SOURCE(S) ____ ESTIMATE <u>1973</u> ACTUAL owner		
	ARCHITECTURAL STYLE: <u>Spanish Pueblo Revival</u>		
	USE: HISTORIC: residential OTHER <u>N/A</u> PRESENT: residential OTHER <u>commercial</u> <u>Schifani Bros. Printing Co.</u>		
	SURROUNDINGS: <u>commercial</u>		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WHAT TYPE? IF INVENTORIED, LIST ID NUMBER(S) _____		
	DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR EXPLAIN: <u>some windows replaced</u> <u>new door</u>		
	OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
	SIGNIFICANCE		
LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE			
LOCAL DESIGNATION: <u>Historic Trans.</u> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input type="checkbox"/> CONTRIBUTING <input checked="" type="checkbox"/> NON-CONTRIBUTING LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
SITE PLAN			
	SURVEYED <u>7/97</u> BY <u>DB</u>		

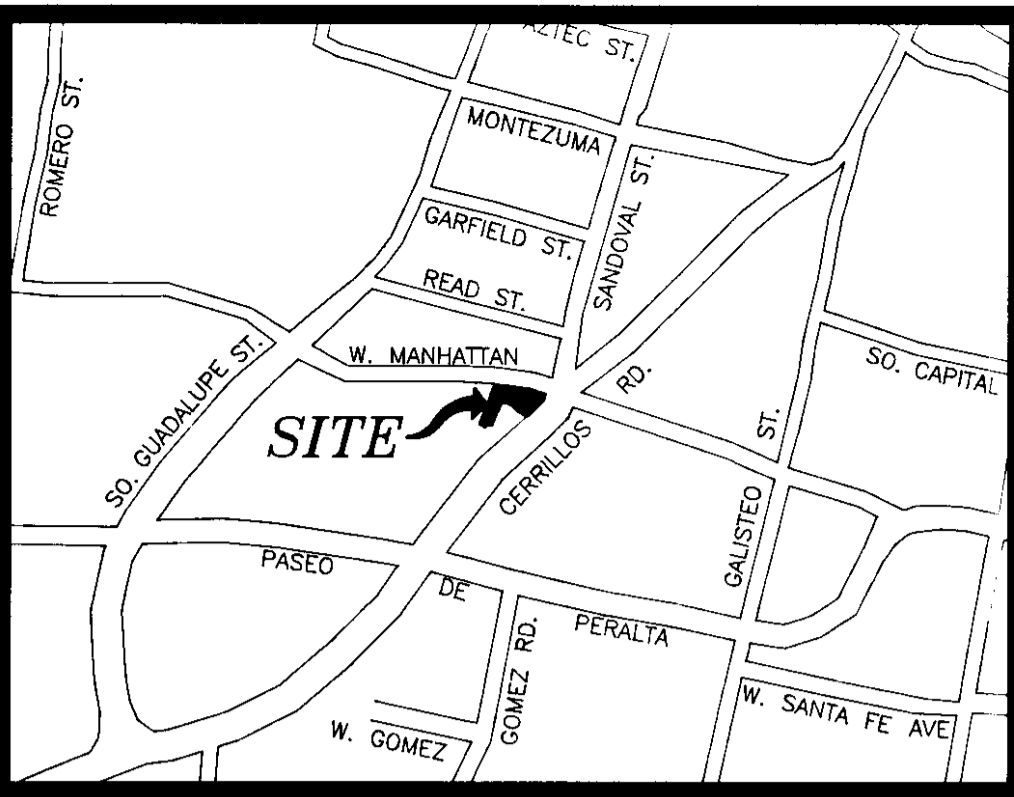
ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	flat with wood & metal canals, metal downspouts battered parapets	
	BUILDING WALLS	beige stucco	
	FOUNDATIONS	not visible	APPROX. HEIGHT (FT.) 13
	DOORS	E - wood 32 panel (tiny square panels), wrought iron gates, steel casement sidelights	
	WINDOWS	W - wood DHWs w/ metal storm windows, N steel casement on W end of N wall E - tall fixed wood 12 light fixed, recessed w/ wood lintels	
	PORCHES OR PORTALES	NE corner - simple portal with corner pier, end wall with rectangular opening, wood beam, battered parapet	
	ARCHITECTURAL DETAILS	exposed lintels in shaped openings	
	FENCES/WALLS		
	SITE FEATURES		
OTHER/ COMMENTS	Owner says the building was built in 1973.		



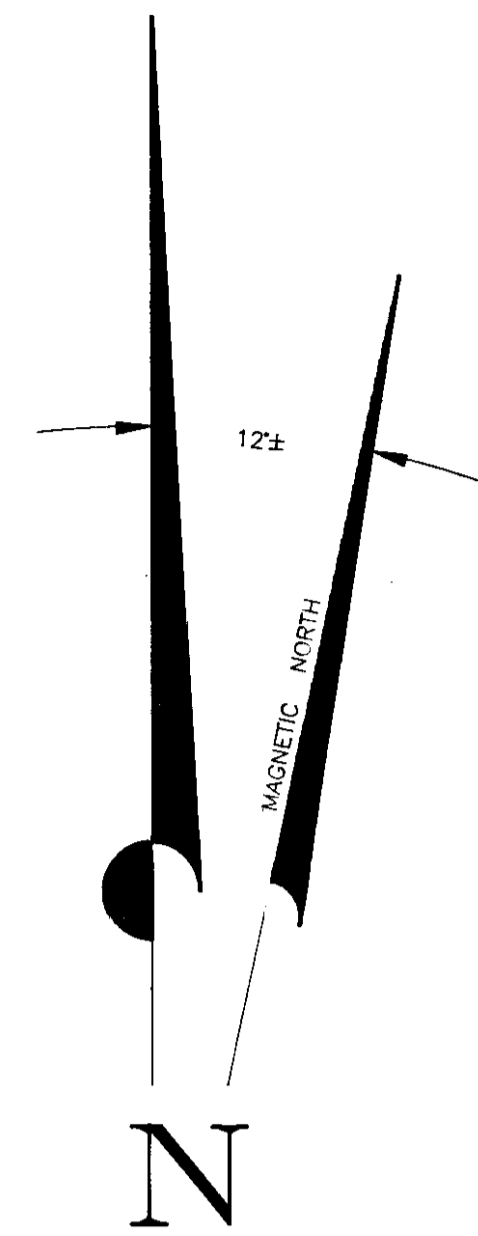
NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1997 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 0516 10107
	502 Cerrillos	SANTA FE ID NUMBER: H13010
		SURVEYED/RESEARCHED DATE 7/97 BY DB

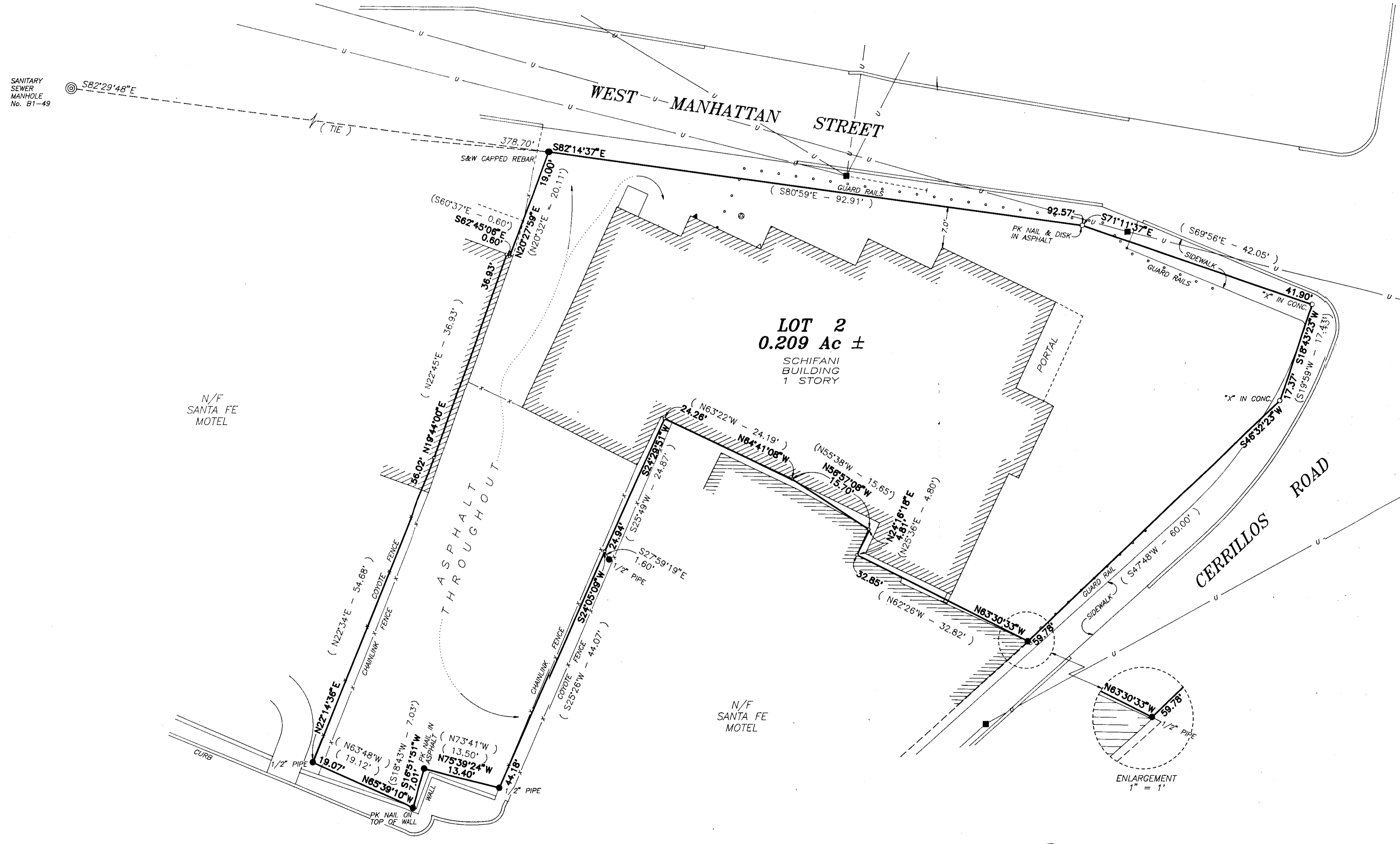




VICINITY MAP SCALE 1"=500'



SCALE 1" = 10'



LEGEND / PLAT REFERENCE

BEARINGS BASED ON THAT PLAT ENTITLED "LOT CONSOLIDATION PLAT OF LOT 3, 4, 5, 6 AND A PORTION LOT 7, BLOCK 113, KING'S OFFICIAL MAP," BY RICHARD E. SMITH, N.M.P.L.S. No. 5837, DATED APRIL 1987. (Project No. 2780)

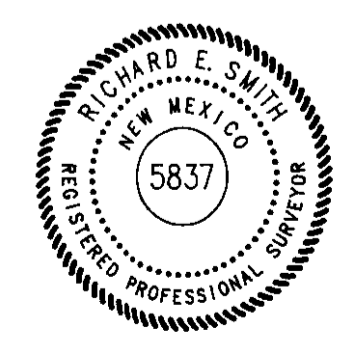
"PLAT OF SURVEY FOR 502 CERRILLOS ROAD, SANTA FE NEW MEXICO," BY WALLACE LUCHETTI, N.M.L.S. No. 5040, DATED SEPTEMBER 29, 1972 AND AMENDED NOVEMBER 14, 1972. SAID PLAT BEARS PROJECT No. 01-LS-1032. DATA WHERE DIFFERENT IN PARENTHESES.

- INDICATES POINT FOUND AND USED AS NOTED.
- INDICATES POINT SET AS NOTED.
- INDICATES CALCULATED POINT NOT SET.
- ⊙ INDICATES CITY OF SANTA FE SANITARY SEWER MANHOLE.
- U— INDICATES UTILITY POLE, OVERHEAD UTILITY LINES, AND POLE GUY ANCHOR WHERE APPLICABLE.
- ▲ INDICATES ELECTRIC METER.
- △ INDICATES GAS METER.
- ⊙ INDICATES WATER METER.
- x- INDICATES FENCE LINE.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL, AND THAT THE DATA SHOWN HEREON ARE TRUE AND CORRECT. I FURTHER CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS. FIELD WORK COMPLETED ON MAY 31, 1995.

Richard E. Smith 6/15/95
 RICHARD E. SMITH, N.M.P.S. No. 5837, DATE



PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

COUNTY OF SANTA FE, STATE OF NEW MEXICO
 I hereby certify that this instrument was filed for record on the 02 day of June A.D. 1995 at 11:22 o'clock A.M. and was duly recorded in book 307 page 216 of the records of Santa Fe County.

Witness my hand and Seal of Office
 Jona S. Armijo
 County Clerk, Santa Fe County, N.M.
Jona S. Armijo Deputy

909,003



INDEXING INFORMATION FOR COUNTY CLERK	
TYPE OF SURVEY:	BOUNDARY SURVEY
OWNER:	SCHIFANI BROTHERS PRINTING CO.
SECTION:	PROJECTED S. 24, T.17 N. R.9 E. N.M.P.M.
SUBDIVISION NAME:	SANTA FE GRANT
OTHER:	LOT 2 AT 502 CERRILLOS RD.

SMITH WILLIAMSON & ASSOCIATES
 1210 Lugo Street, Suite 3, Santa Fe, New Mexico 87505
 (505)983-5234 FAX (505)983-5391

BOUNDARY SURVEY PREPARED FOR				
SCHIFANI BROTHERS PRINTING CO.				
LOT 2,				
502 CERRILLOS ROAD,				
CITY OF SANTA FE,				
SANTA FE COUNTY, NEW MEXICO				
SCALE	DATE	DRAWN BY	CHECKED BY	PROJECT NO.
1" = 10'	June 1995	P.A.R.	R.E.S.	4092



January 30, 2023

City of Santa Fe
Historic District Review
Proposal Letter

RE: Barrel Cactus Distillery Renovation
502 Cerrillos Road
Santa Fe, NM 87505

HD: Transition Zone

To the Historic Review Board,

The existing building at 502 Cerrillos Road was built around the 1960s-1970s. It is of block construction with a stucco exterior. The style of architecture is "Pueblo Revival." The previous business occupying the building was an audio-video store named: A Sound Look.

It is located at the corner of Cerrillos and W Manhattan Ave.

The existing square footage for the building is :

Roofed - 3,356 sq ft

Un-roofed - 84 sq ft (portal - to be enclosed)

Proposed square footage for the renovation:

Roofed - 3,440 sq ft (We will re-roof with a bitumen torch down or equal and insulate)

Flat area (patio) - 362 sq ft

The existing height of the building ranges from a low point of 10' to a high point of 14' 9" (at the North West corner).

The proposed changes to height are as follows:

- On the East elevation, we will be raising the existing height from 10' to a proposed height of 14' 3" for the main entrance and signage.
- Also, on the East elevation (south of the new entrance) we will be raising the parapet and scuppers as required for the new roof from 12' 5" to 13' 2".

- On the North elevation, we will be raising the parapet from the existing height of 11' 8" to the proposed height of 12' 10" in order to hide the roof top mechanical equipment.

The existing windows, which are dark metal clad with divided lites, will be replaced with dark bronze anodized finished aluminum frame windows. New commercial-grade metal doors will be installed at the loading dock to replace the existing ones.

We will be enclosing the existing portal on the East side of the building to create a new office space.

The proposed new use for the building is a distillery with a tasting bar and restaurant named: Barrel Cactus Distillery.

The interior of the distillery will be large open spaces with separate areas for the distillery, kitchen, and dining. A proposed outside dining area is to be located on the north side of the building between the building and an existing site wall along W Manhattan Ave.

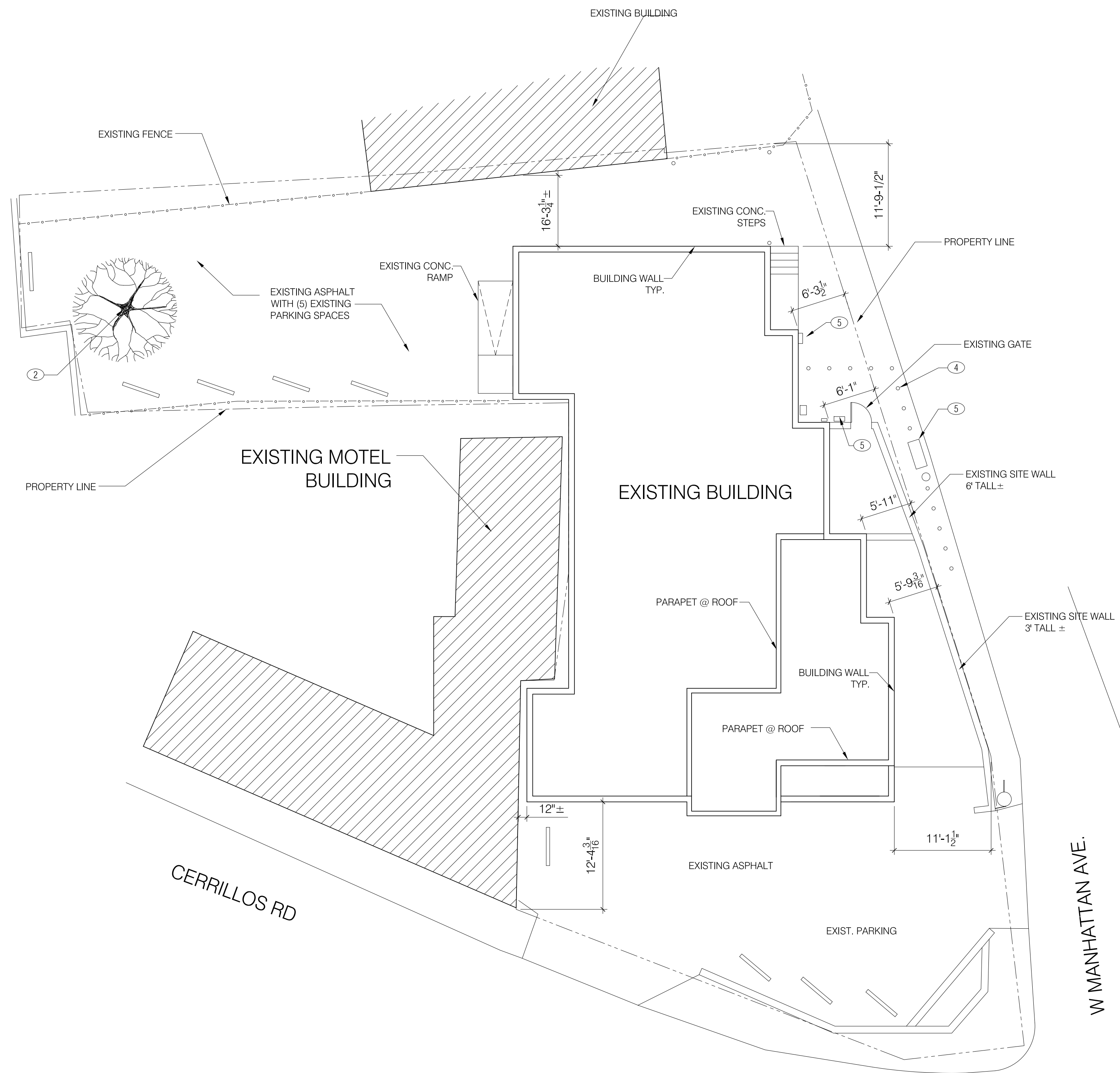
A new shade structure will cover the exterior dining, consisting of supporting steel columns and steel beam with a peeled wood-latilla covering.

We will be raising the stucco yard wall for the exterior dining to account for the raised concrete slab. The wall is currently 2'8" on the East end and 3' 4" on the West end (from the existing grade). We are proposing to raise the wall to approx. 4' 3" on the east wend and 4' 6" on the west end (from the existing grade). The yard wall will keep the existing stucco finish (El Rey Buckskin). We will be adding a wood + steel gate on the East elevation for access to the dining area.

The proposed treatment of the exterior of the building is to keep the existing "pueblo" style and stucco finish (El Rey Buckskin) with naturally rusted steel accents at a newly renovated entrance.

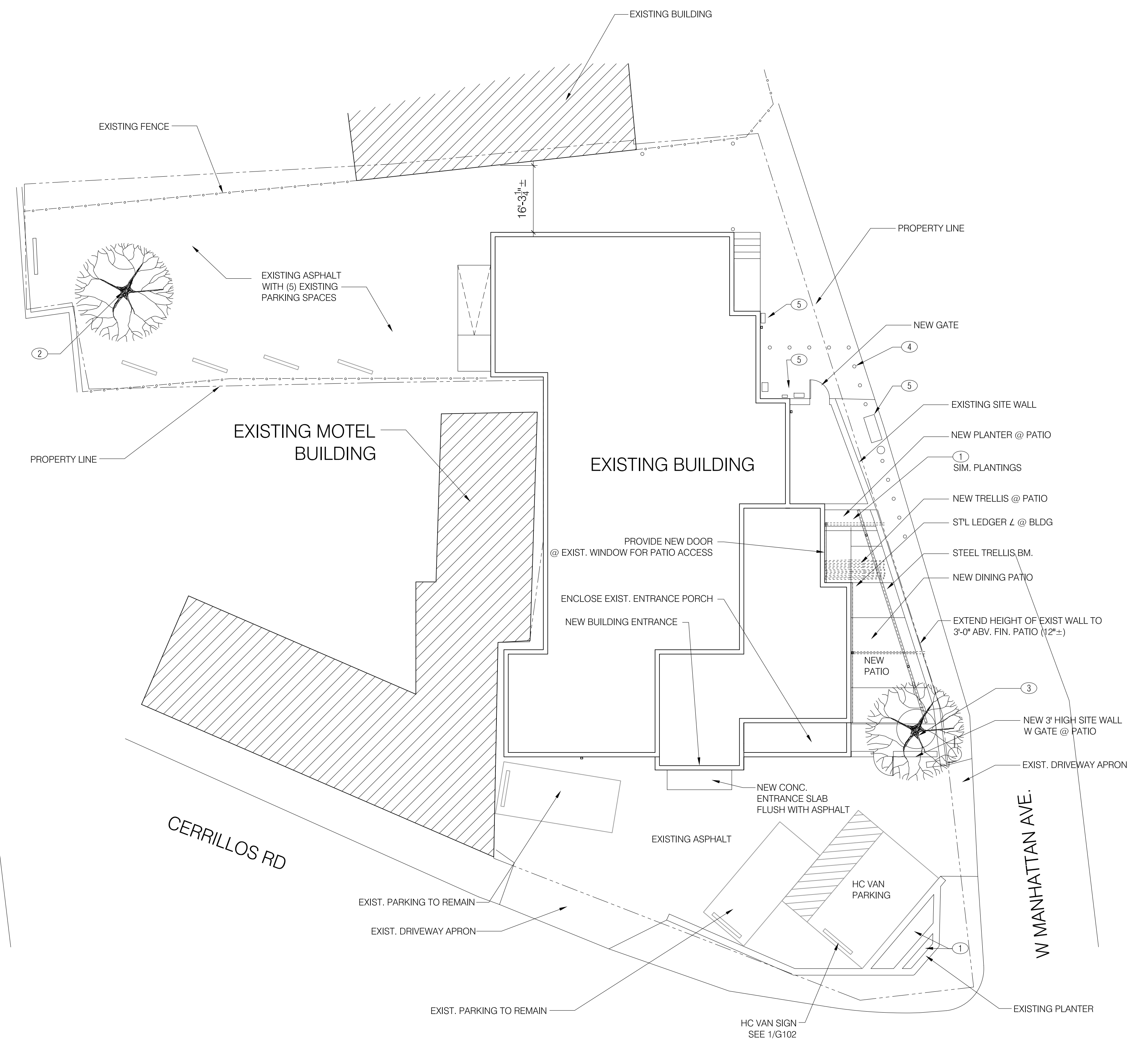
Sincerely,

Kevin Segura
Project Manager
K. M. Skelly, Inc
ksegura@kmskelly.com



EXISTING SITE PLAN

scale: 1:10



PROPOSED SITE PLAN

scale: 1:10



PARKING SPACES

EXISTING
 FRONT: 4 SPACES (INCLUDES ONE HC SPACE)
 REAR: 5 SPACES

PROPOSED
 FRONT: 3 SPACES (INCLUDES ONE HC SPACE)
 REAR: 5 SPACES

KEYED NOTES

- NEW PLANTINGS @ EXISTING PLANTER TO INCLUDE:
 FLOWERS: YELLOW COREOPSIS; MEXICAN HAT (RUTIBIDA SP.);
 BLANKET FLOWER (GAILLORDIA SP.)
 GRASSES: SACTON GRASS (SPOROBOLUS WRIGHTII); AGASTACHE
 'BLUE FORTUNE'; ALLIUM AND PURPLE CONEFLOWERS
 (ECHINACEAPURPUREA).
- EXISTING SIBERIAN ELM
- NEW DESERT WILLOW
- EXISTING BOLLARDS
- EXISTING ELECTRICAL UTILITIES

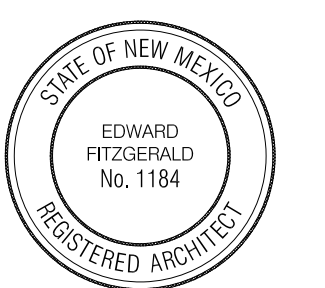
EXISTING + PROPOSED SITE PLANS

Barrel Cactus Spirits
 502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

EDWARD
 FITZGERALD
 ARCHITECTS

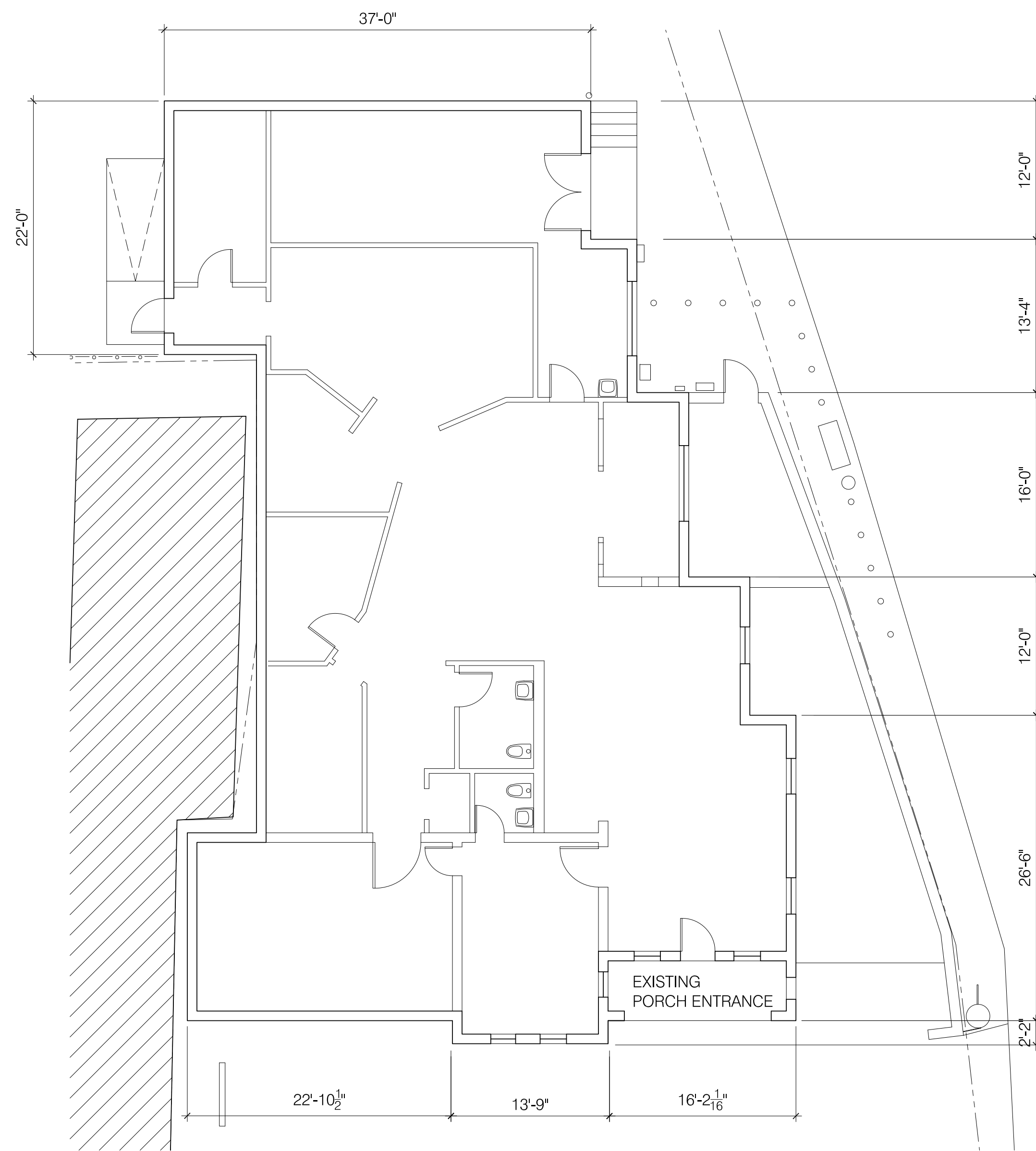
121 JEFFERSON STREET NE
 ALBUQUERQUE, NEW MEXICO
 8 7 1 0 8
 TEL 505.268.9055
 EFARCHITECTS.COM



date: 01/29/23
 drawn by: EF

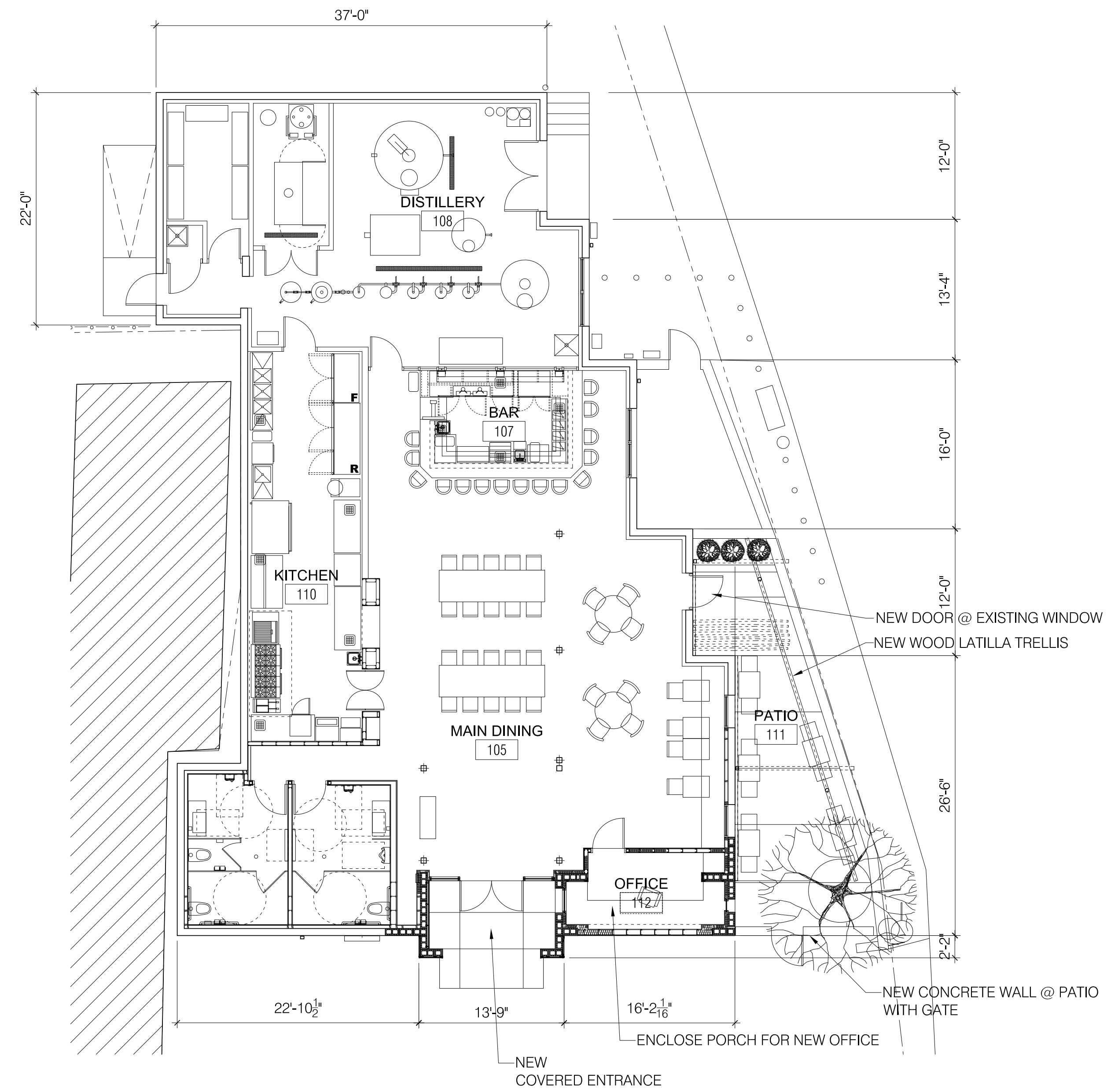
HS101

revisions



EXISTING FLOOR PLAN

scale: 1/8"=1'-0"



PROPOSED FLOOR PLAN

scale: 1/8"=1'-0"

BUILDING PLANS

Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

EDWARD
FITZGERALD
ARCHITECTS

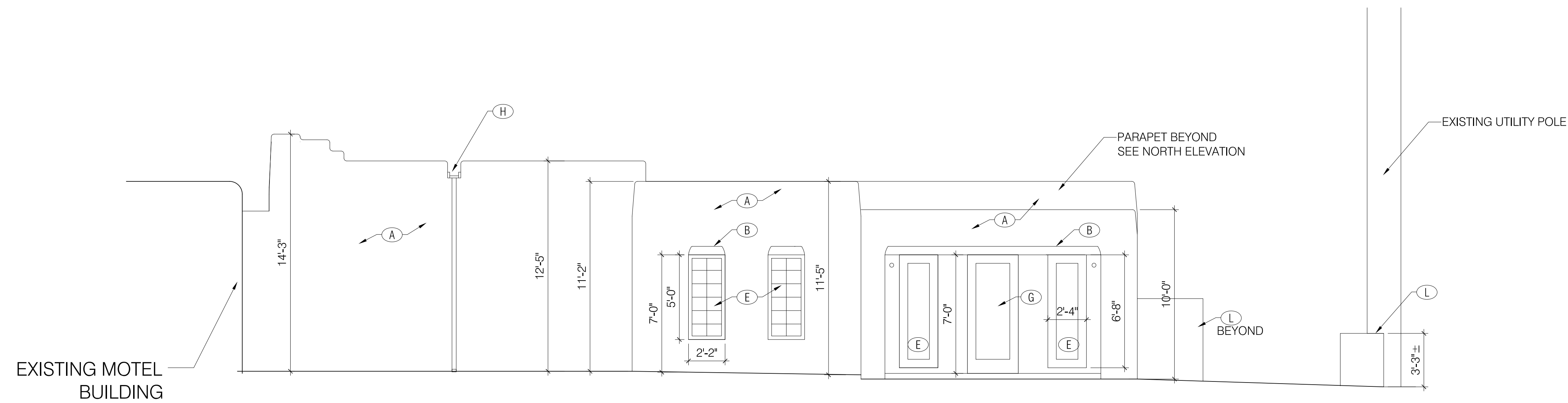
121 JEFFERSON STREET NE
ALBUQUERQUE, NEW MEXICO
877108
TEL 505.268.9055
EFARCHITECTS.COM



date: 01/29/23
drawn by: EF

H101

revisions

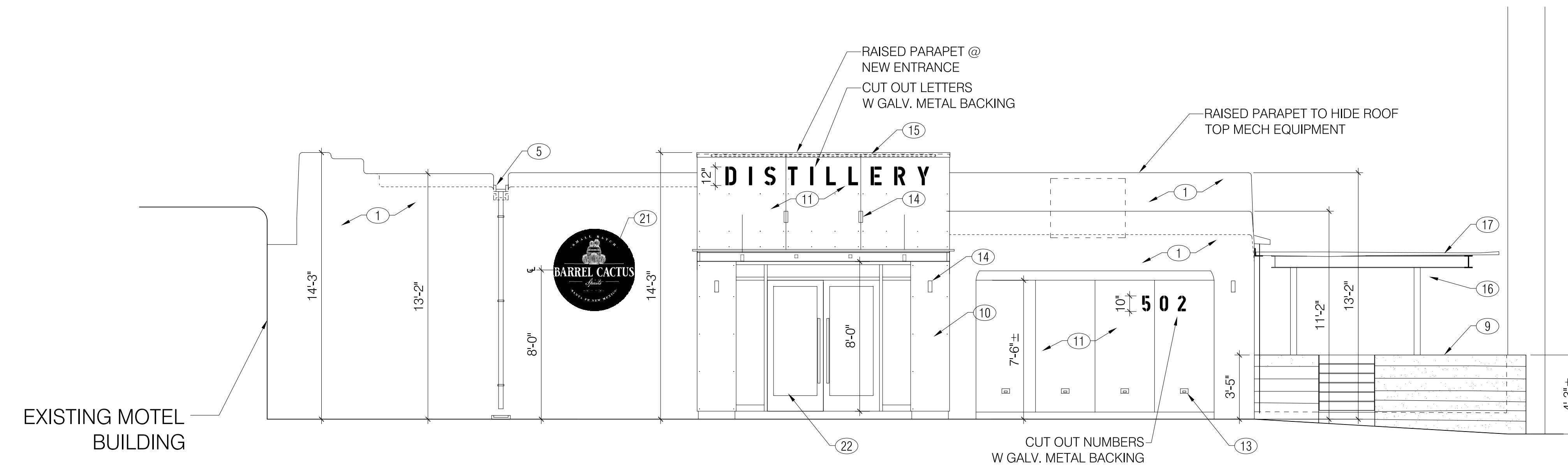


EXISTING EAST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - EXISTING BUILDING

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-6" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
- E. EXISTING WINDOWS: FIXED WOOD FRAME WINDOWS
- F. EXISTING DOORS: 6'-4" W (DOUBLE DOORS) X 7' TALL, HOLLOW METAL.
- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE STEPS AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS



PROPOSED EAST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - PROPOSED RENOVATION

1. STUCCO - EL REY BUCKSKIN
2. ALUMINUM FRAMED AWNING WINDOW REPLACEMENT. DARK BRONZE FINISH. SAME SIZE AS EXISTING OPENING. EXISTING WOOD LINTEL TO REMAIN.
3. NEW FIXED ALUMINUM FRAMED WINDOW @ EXISTING OPENING.
4. NEW ALUMINUM + GLASS DOOR AT EXISTING WINDOW (DARK BRONZE). ENLARGE OPENING TO ACCOMMODATE DOOR.
5. DEMO EXIST. SCUPPER. RAISE AS REQUIRED FOR NEW ROOF. REPLACE WITH STEEL SCUPPER + DOWNSPOUT PER DETAIL 1/H204.
6. RE-SURFACE OR REPLACE EXISTING CONCRETE AS REQUIRED.
7. EXISTING SITE WALL TO REMAIN.
8. RAISE EXISTING STUCCO SITE WALL 12" ± TO BE 36" ABOVE PATIO.
9. EXPOSED BOARD FORMED CONC. WALL WITH WOOD STEEL + WOOD GATE
10. 16 GA RUSTED STEEL PLATE
11. 16 GA RUSTED STEEL PLATE WITH CUT OUTS FOR SIGNAGE: DISTILLERY; STREET NUMBERS & STEP LIGHTS.
12. GALVANIZED STEEL CANOPY @ ENTRANCE.
13. STEP LIGHTS RECESSED IN WALL.
14. SURFACE MOUNTED DOWNLIGHTS (DARK BRONZE FIN).
15. CONCEALED LED LIGHT AT TOP OF ENTRANCE FACADE.
16. EXPOSED STEEL COLUMN AND BEAM TO SUPPORT TRELIS.
17. WOOD LATILLA TRELIS.
18. NEW HOLLOW METAL DOORS TO REPLACE EXISTING. ENLARGE HEIGHT FROM 7'-0" TO 8'-0".
19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
20. EXISTING BOLLARDS TO REMAIN
21. 48" DIAMETER, ILLUMINATED, "BARREL CACTUS SPIRITS" SIGN
22. NEW ENTRANCE (RECESSED) WITH ALUMINUM + GLASS STOREFRONT (ALUMINUM TO BE DARK BRONZE FINISH)

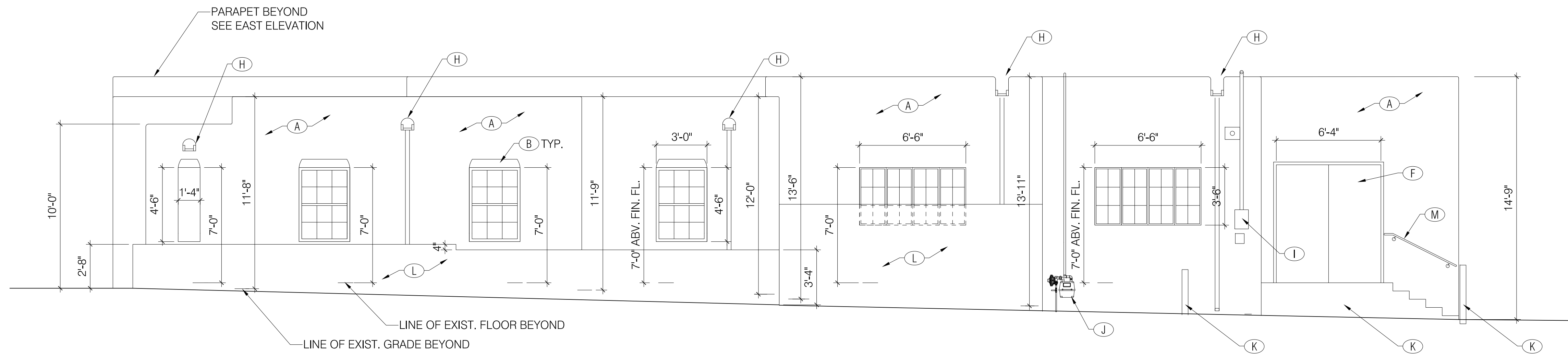
BUILDING ELEVATIONS

Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

EDWARD FITZGERALD ARCHITECTS <small>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 87701 TEL 505.268.9055 EF ARCHITECTS.COM</small>	<small>date:</small> 01/29/23
	<small>drawn by:</small> EF

H201

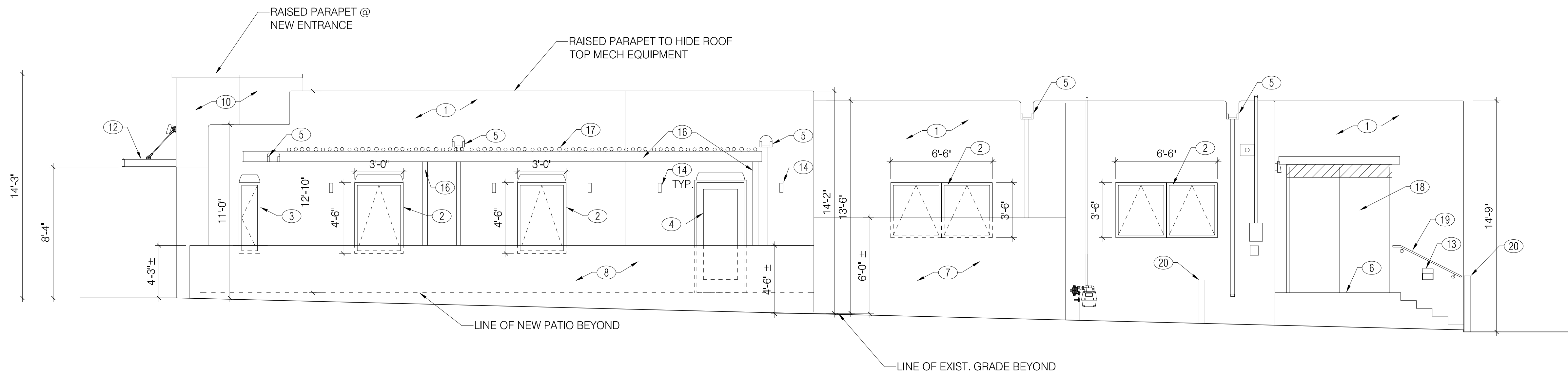


EXISTING NORTH ELEVATION

scale: 1/4"=1'-0"

KEYED NOTES - EXISTING BUILDING

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-6" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
- E. EXISTING WINDOWS: FIXED WOOD FRAME WINDOWS
- F. EXISTING DOORS: 6'-4" W (DOUBLE DOORS) X 7' TALL, HOLLOW METAL.
- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE STEPS AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS



PROPOSED NORTH ELEVATION

scale: 1/4"=1'-0"

KEYED NOTES - PROPOSED RENOVATION

- 1. STUCCO - EL REY BUCKSKIN
- 2. ALUMINUM FRAMED AWNING WINDOW REPLACEMENT. DARK BRONZE FINISH. SAME SIZE AS EXISTING OPENING. EXISTING WOOD LINTEL TO REMAIN.
- 3. NEW FIXED ALUMINUM FRAMED WINDOW @ EXISTING OPENING.
- 4. NEW ALUMINUM + GLASS DOOR AT EXISTING WINDOW (DARK BRONZE). ENLARGE OPENING TO ACCOMMODATE DOOR.
- 5. DEMO EXIST. SCUPPER. RAISE AS REQUIRED FOR NEW ROOF. REPLACE WITH STEEL SCUPPER + DOWNSPOUT PER DETAIL.
- 6. RE-SURFACE OR REPLACE EXISTING CONCRETE AS REQUIRED 1/H204.
- 7. EXISTING SITE WALL TO REMAIN.
- 8. RAISE EXISTING STUCCO SITE WALL 12" ± TO BE 36" ABOVE PATIO.
- 9. EXPOSED BOARD FORMED CONC. WALL
- 10. 16 GA RUSTED STEEL PLATE
- 11. 16 GA RUSTED STEEL PLATE WITH CUT OUTS FOR SIGNAGE: DISTILLERY; STREET NUMBERS & STEP LIGHTS.
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- 17. WOOD LATILLA TRELLIS.
- 18. NEW HOLLOW METAL DOORS TO REPLACE EXISTING. ENLARGE HEIGHT FROM 7'-0" TO 8'-0".
- 19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
- 20. EXISTING BOLLARDS TO REMAIN

BUILDING ELEVATIONS

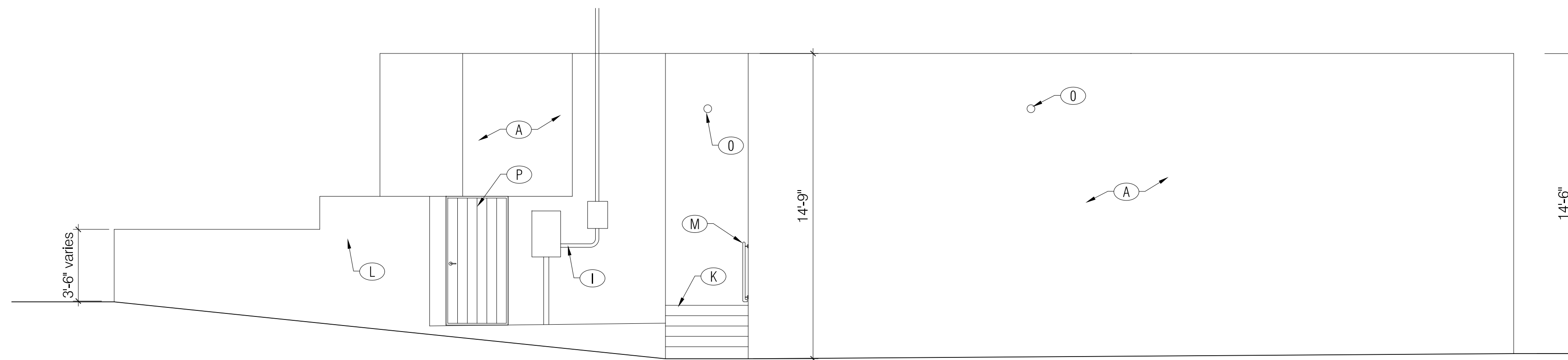
Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

<p>EDWARD FITZGERALD ARCHITECTS</p> <p>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 87710 TEL 505.268.9055 EFARCHITECTS.COM</p>	<p>date: 01/29/23</p> <p>drawn by: EF</p>
	<p>H202</p>



revisions

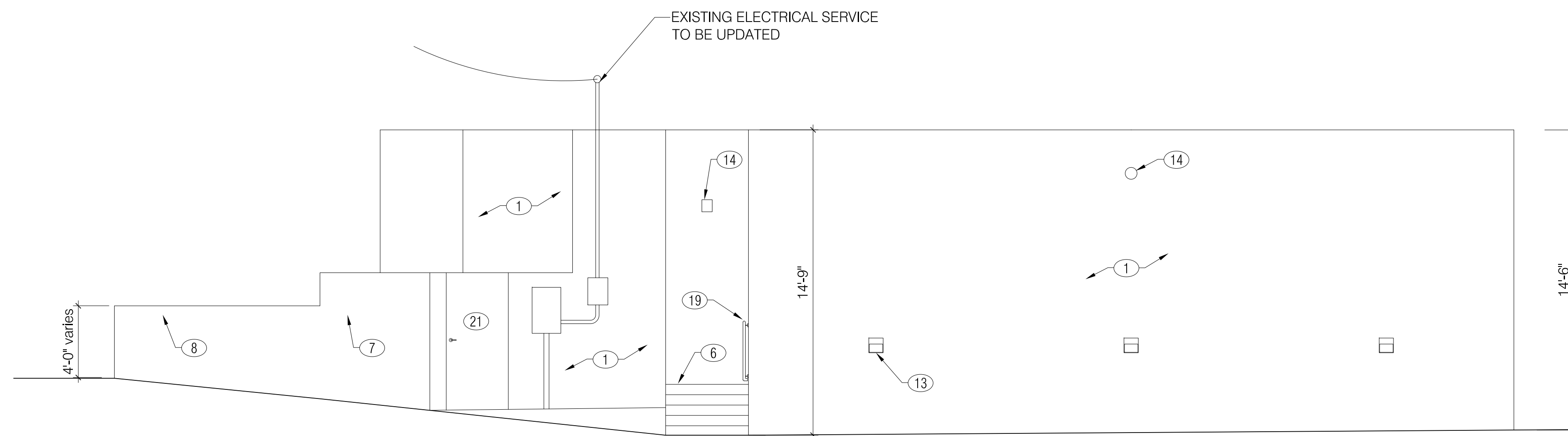


EXISTING WEST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - EXISTING BUILDING

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-6" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
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- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE STEPS AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS
- O. EXISTING LIGHT FIXTURE
- P. EXISTING GATE



PROPOSED WEST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - PROPOSED RENOVATION

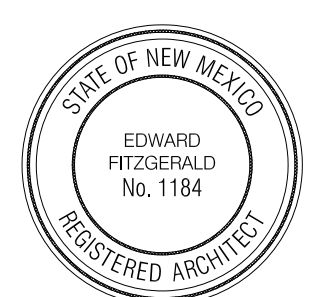
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- 19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
- 20. EXISTING BOLLARDS TO REMAIN
- 21. NEW GATE

BUILDING ELEVATIONS

Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

EDWARD
FITZGERALD
ARCHITECTS

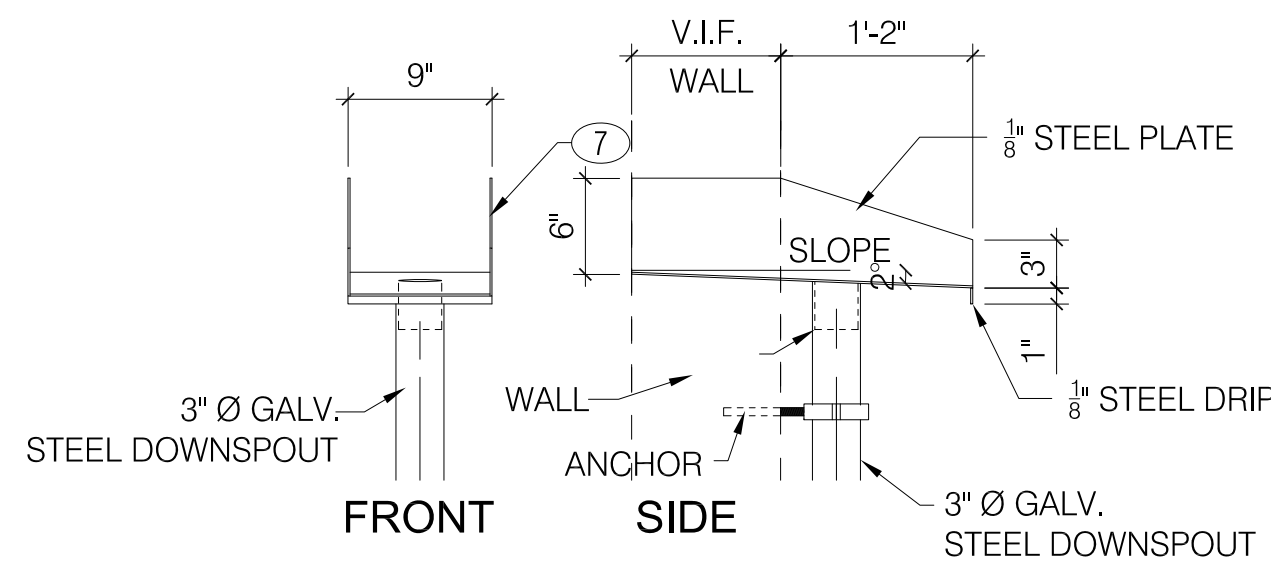


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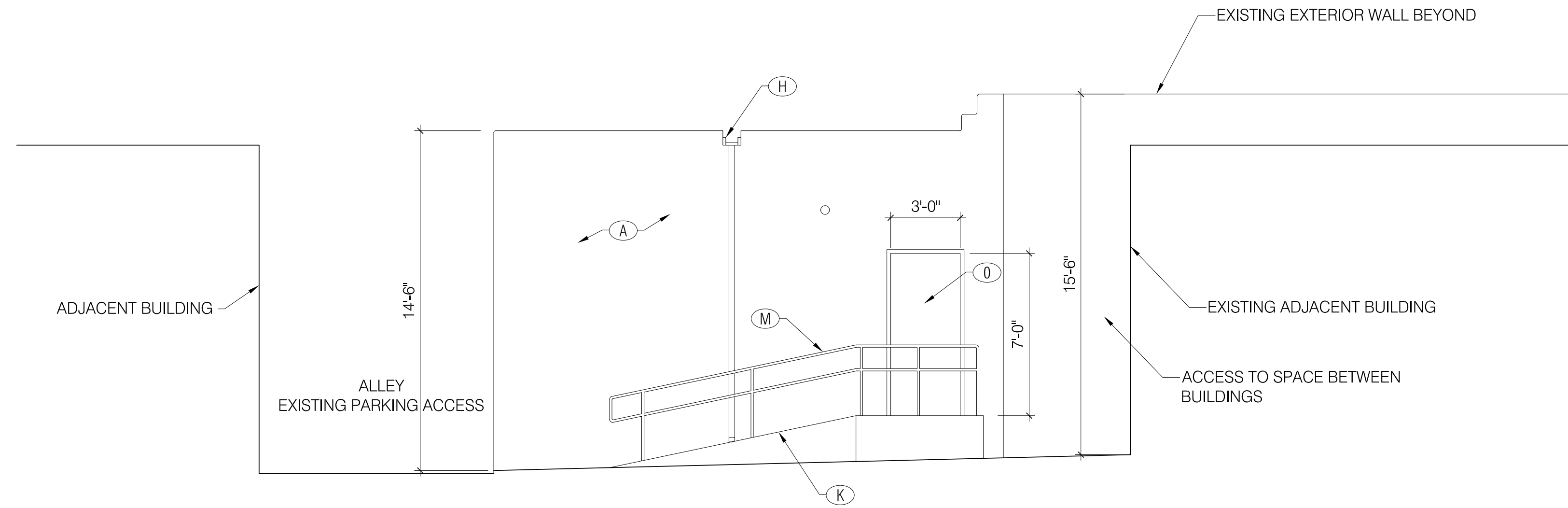
date: 01/29/23
drawn by: EF

H203

revisions



1
H204
SCUPPER DETAIL TYPICAL
scale: 1"=1'-0"

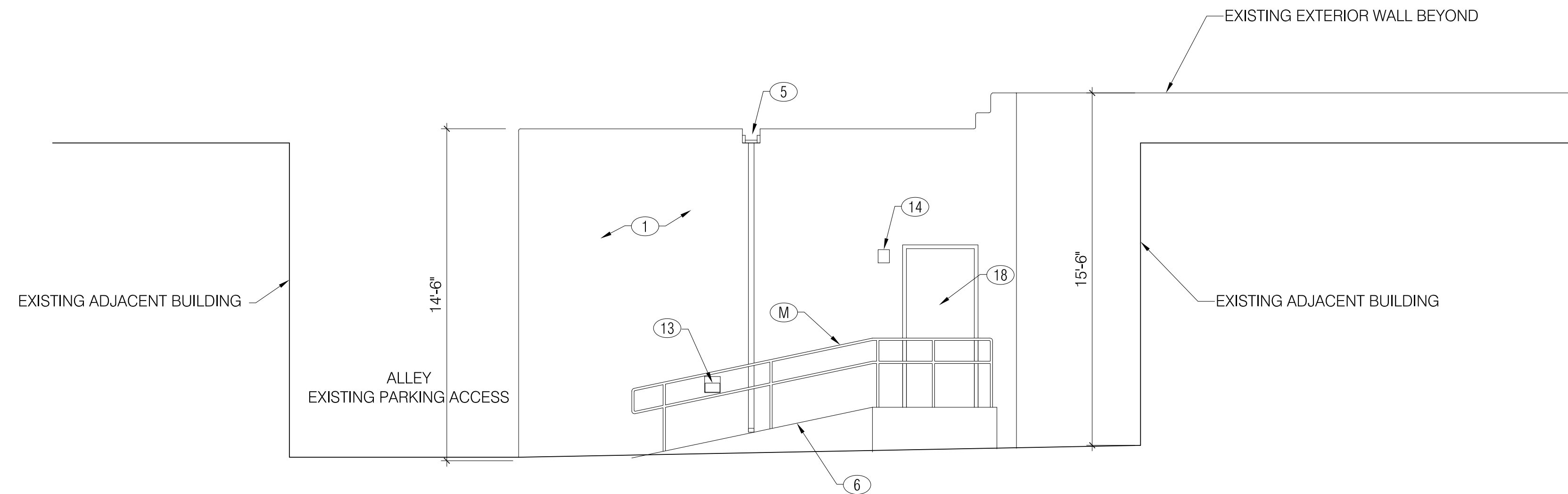


EXISTING SOUTH ELEVATION

scale: 1/4"=1'-0"

KEYED NOTES - EXISTING BUILDING

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-6" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
- E. EXISTING WINDOWS: FIXED WOOD FRAME WINDOWS
- F. EXISTING DOORS: 6'-4" W (DOUBLE DOORS) X 7' TALL, HOLLOW METAL.
- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE RAMP AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS
- O. EXISTING DOOR: 3'-0" HOLLOW METAL



PROPOSED SOUTH ELEVATION

scale: 1/4"=1'-0"

KEYED NOTES - PROPOSED RENOVATION

- 1. STUCCO - EL REY BUCKSKIN
- 2. ALUMINUM FRAMED AWNING WINDOW REPLACEMENT. DARK BRONZE FINISH. SAME SIZE AS EXISTING OPENING. EXISTING WOOD LINTEL TO REMAIN.
- 3. NEW FIXED ALUMINUM FRAMED WINDOW @ EXISTING OPENING.
- 4. NEW ALUMINUM + GLASS DOOR AT EXISTING WINDOW (DARK BRONZE). ENLARGE OPENING TO ACCOMMODATE DOOR.
- 5. DEMO EXIST. SCUPPER. RAISE AS REQUIRED FOR NEW ROOF. REPLACE WITH STEEL SCUPPER + DOWNSPOUT PER DETAIL 1/H204.
- 6. RE-SURFACE OR REPLACE EXISTING CONCRETE AS REQUIRED.
- 7. EXISTING SITE WALL TO REMAIN.
- 8. RAISE EXISTING STUCCO SITE WALL 12" ± TO BE 36" ABOVE PATIO.
- 9. EXPOSED BOARD FORMED CONC. WALL
- 10. 16 GA RUSTED STEEL PLATE
- 11. 16 GA RUSTED STEEL PLATE WITH CUT OUTS FOR SIGNAGE: DISTILLERY; STREET NUMBERS & STEP LIGHTS.
- 12. GALVANIZED STEEL CANOPY @ ENTRANCE.
- 13. STEP LIGHTS RECESSED IN WALL.
- 14. SURFACE MOUNTED DOWNLIGHTS (DARK BRONZE FIN).
- 15. CONCEALED LED LIGHT AT TOP OF ENTRANCE FACADE.
- 16. EXPOSED STEEL COLUMN AND BEAM TO SUPPORT TRELLIS.
- 17. WOOD LATILLA TRELLIS.
- 18. NEW HOLLOW METAL DOOR @ EXISTING OPENING
- 19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
- 20. EXISTING BOLLARDS TO REMAIN

BUILDING ELEVATIONS

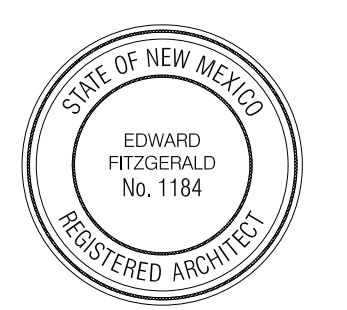
Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

EDWARD FITZGERALD

ARCHITECTS

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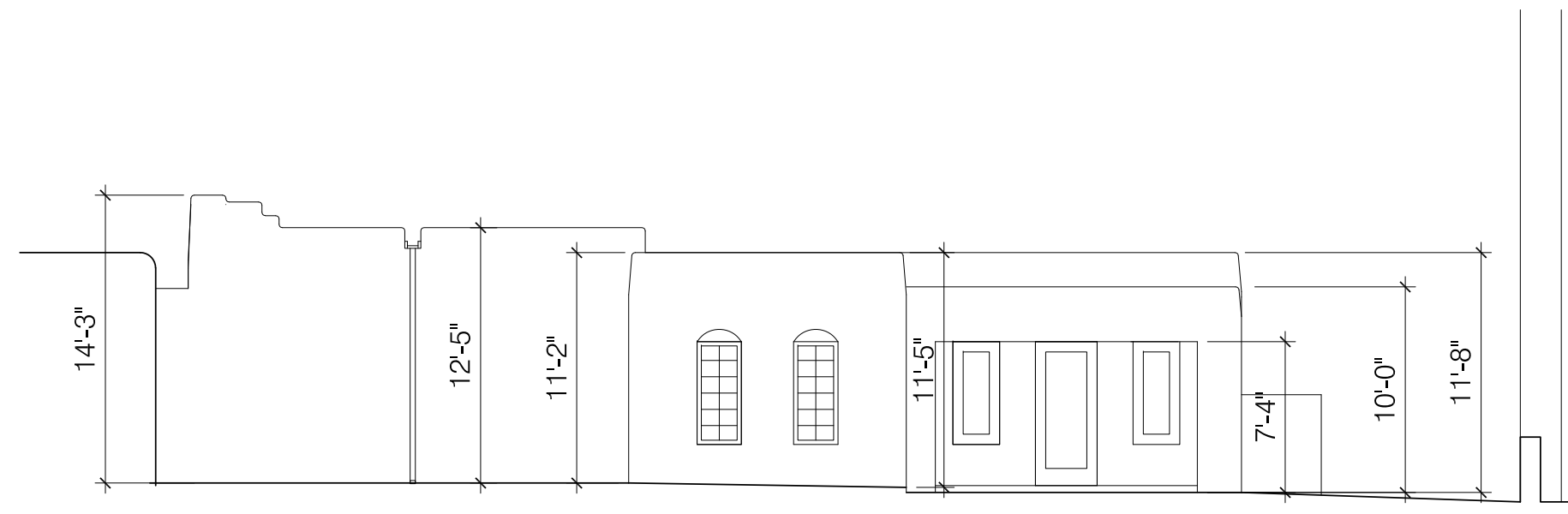


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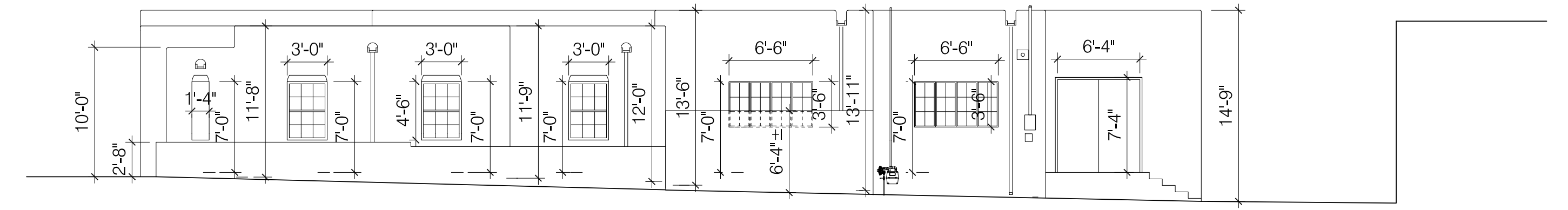
H204

revisions



EXISTING EAST ELEVATION

scale: 1/8"=1'-0"



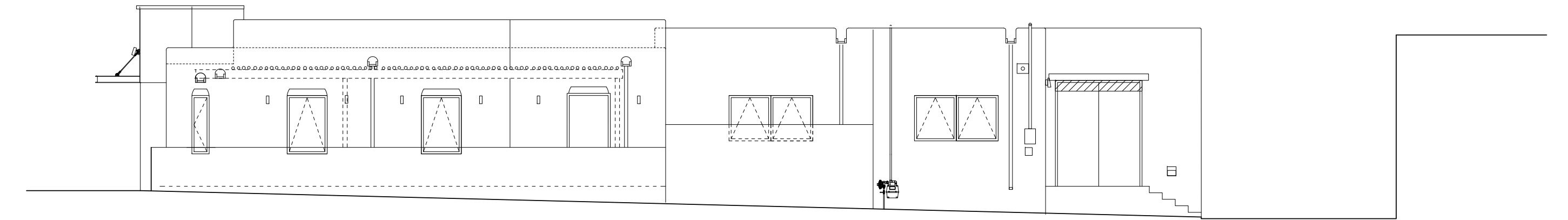
EXISTING NORTH ELEVATION

scale: 1/8"=1'-0"



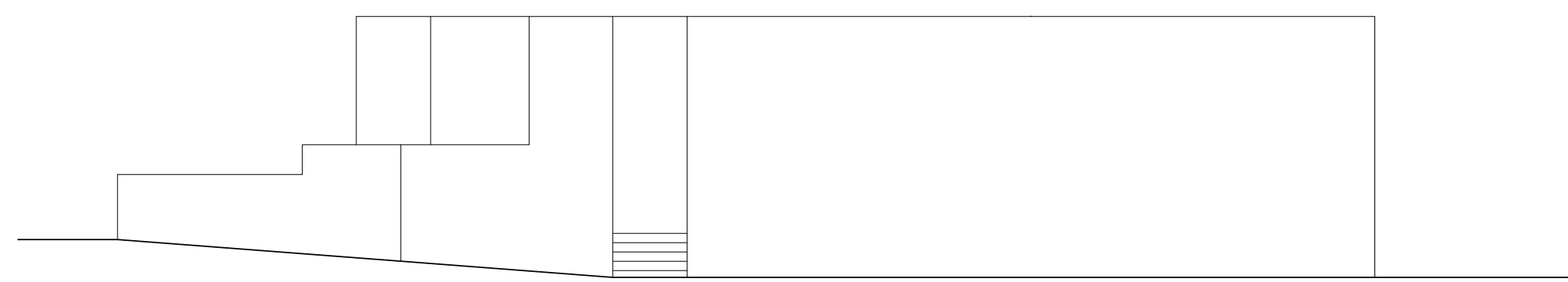
PROPOSED EAST ELEVATION

scale: 1/8"=1'-0"



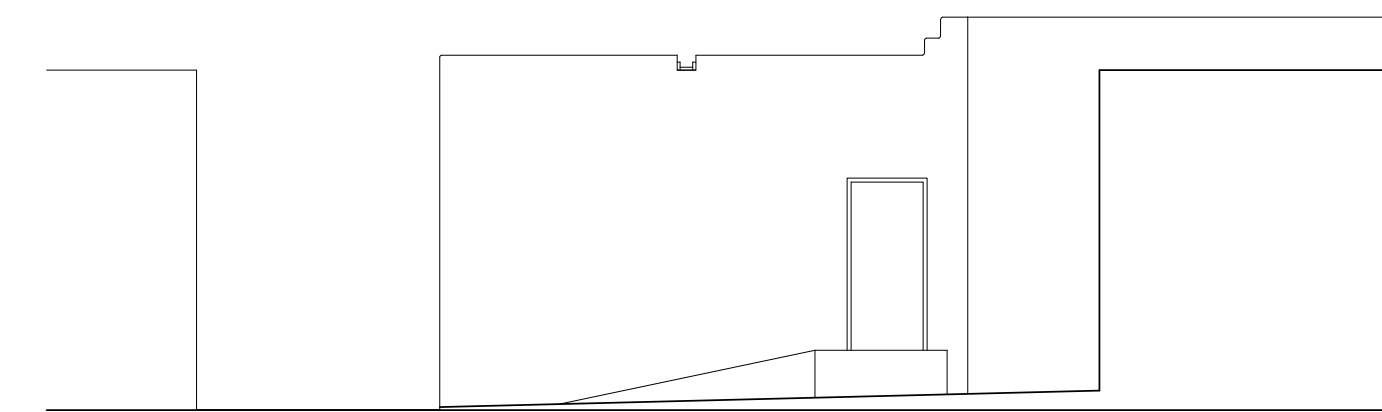
PROPOSED NORTH ELEVATION

scale: 1/8"=1'-0"



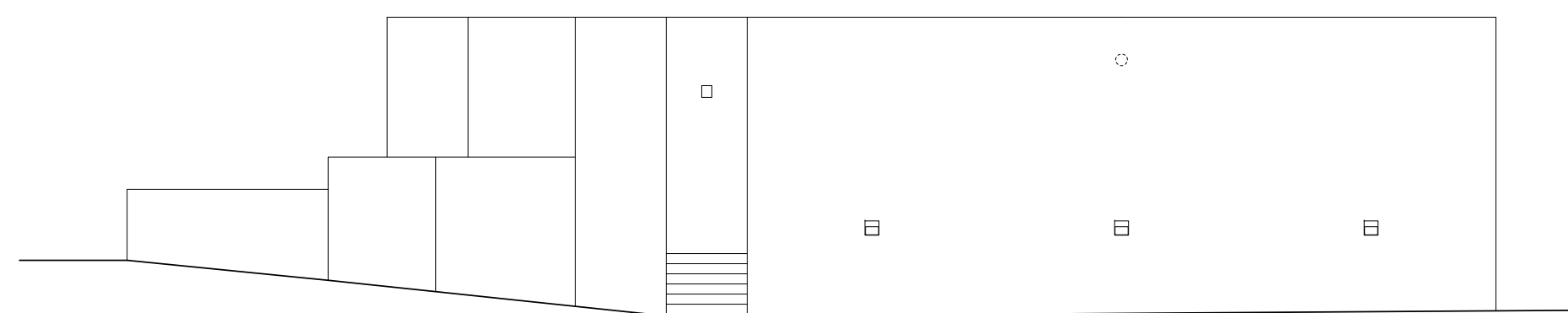
EXISTING WEST ELEVATION

scale: 1/8"=1'-0"



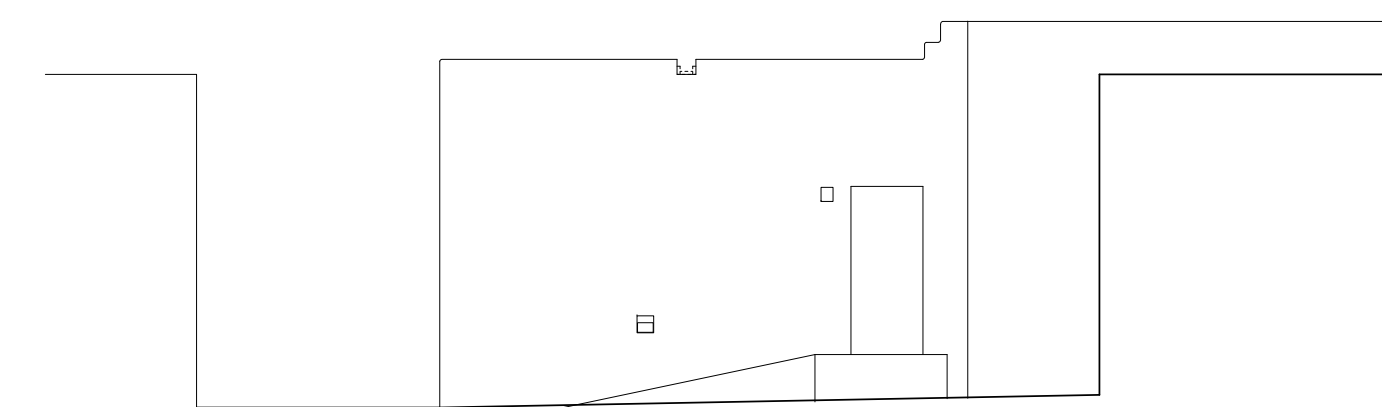
EXISTING SOUTH ELEVATION

scale: 1/8"=1'-0"



PROPOSED WEST ELEVATION

scale: 1/8"=1'-0"



PROPOSED SOUTH ELEVATION

scale: 1/8"=1'-0"

BUILDING ELEVATIONS

Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

TRANSITIONAL HISTORIC DISTRICT

**EDWARD
FITZGERALD
ARCHITECTS**

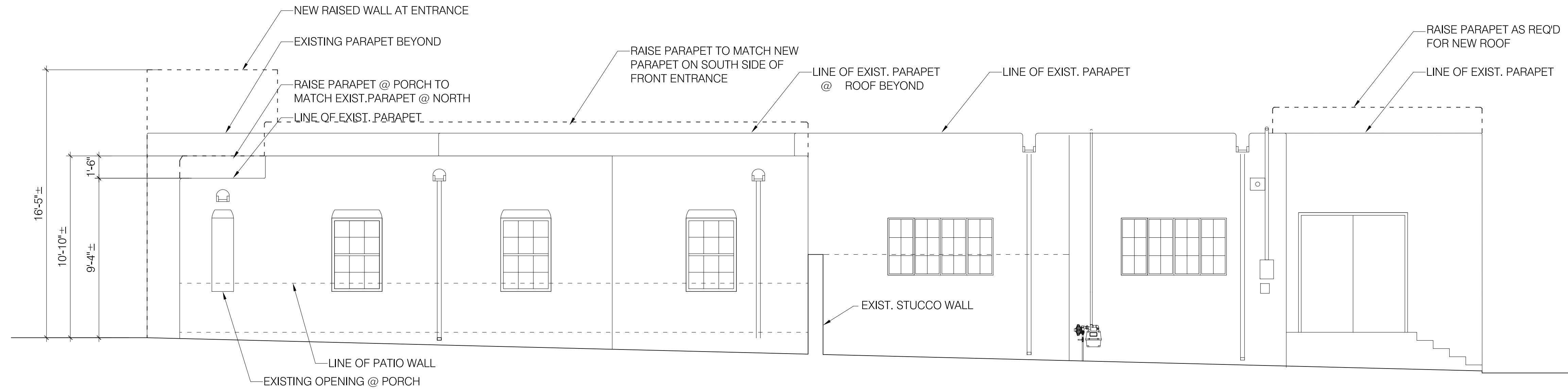
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H201C

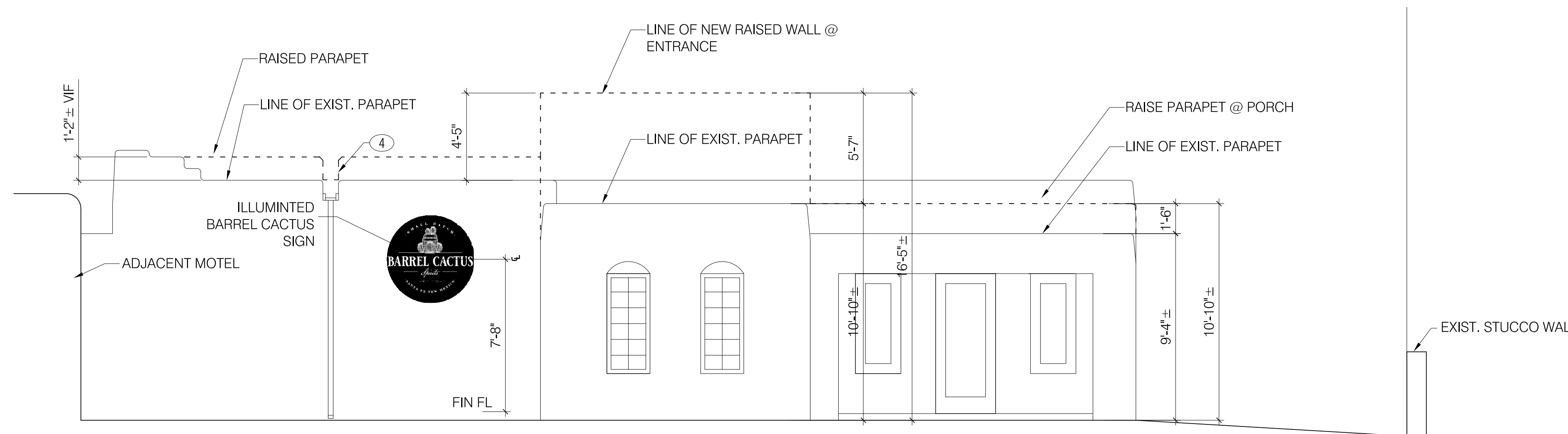
revisions



3
A201c NORTH ELEVATION
scale: 1/4"=1'-0"

GENERAL NOTES

1. STUCCO FINISH: EL REY BUCKSKIN BROWN
2. STEEL FINISH: NATURAL RUST FINISH



2
A201c EAST ELEVATION (FRONT)
scale: 1/4"=1'-0"



1
A201c EXISTING BUILDING
scale: Not To Scale

BUILDING ELEVATIONS COMPARISON

Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

100% CONSTRUCTION DOCUMENTS

EDWARD FITZGERALD ARCHITECTS	date: 01/26/23 drawn by: EF
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BARREL CACTUS DISTILLERY
502 Cerrillos Road Santa Fe New Mexico

EXISTING BUILDING



EAST ELEVATION



NORTH ELEVATION

BARREL CACTUS DISTILLERY
502 Cerrillos Road Santa Fe New Mexico

EXISTING BUILDING



NORTH ELEVATION



NORTHWEST ELEVATION

BARREL CACTUS DISTILLERY
502 Cerrillos Road Santa Fe New Mexico

EXISTING BUILDING



NORTHWEST ELEVATION



SOUTH ELEVATION

502 Cerrillos Rd. Height Calculation



Total: 171.80
Count: 14
Average: 12.28
Maximum Allowable Height: 14' 3"

DAR
12.02.03

Building rooflines

- C
- L
- N
- NA
- NON
- NR
- S
- Hdist.shp



BARREL CACTUS DISTILLERY
502 Cerrillos Road Santa Fe New Mexico

BUILDING FINISHES

EXISTING

STUCCO FINISH



WINDOW TRIM



WOOD LINTELS



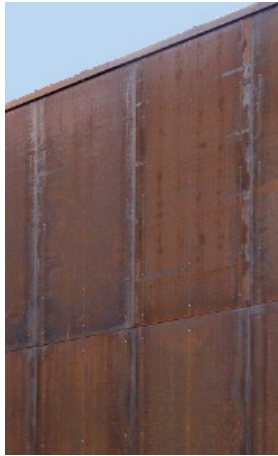
BARREL CACTUS DISTILLERY
502 Cerrillos Road Santa Fe New Mexico

PROPOSED MATERIALS

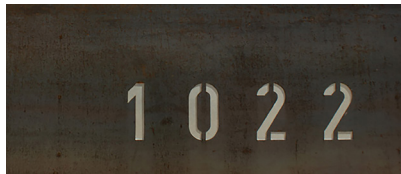
STUCCO FINISH
EL REY BUCKSKIN #106



STEEL SIDING



CUT OUT LETTERS



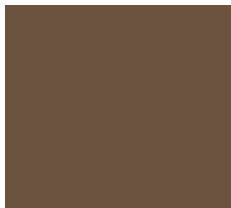
WINDOW TRIM



Anodized Finishes



WOOD LINTELS



Resubmittal

April 21,
2023



April 17, 2023

City of Santa Fe
Historic District Review
Exception to Enclosing Portal

RE: Barrel Cactus Distillery Renovation
502 Cerrillos Road
Santa Fe, NM 87505

Historic District : Transition Zone
(Non-contributing)

To the Historic Review Board,

We propose renovating the existing non-contributing building at 502 Cerrillos Road, which was built in 1973, to accommodate a new restaurant and distillery by the name of *Barrel Cactus Spirits*. The remodel involves creating space for both the distillery and restaurant to operate.

To provide a secure and private office location, we propose enclosing the 4' 6" deep portal on the East (front) elevation of the building. The owners will need a space that can be used as an office to manage the business. With the current layout and footprint of the building, no other space would allow for an office.

To provide patrons with safer access to the building, we needed to move the front entrance to the center of the building. The existing entrance is located right next to the entrance to the parking lot from Manhattan Ave. From the proposed location, patrons could safely walk from their vehicles into the business without worrying about traffic coming in and out. This also provides ample spacing for ADA patrons to make their way into the building safely.

The centered entrance created an ideal layout for the interior of the building and meant we could use the existing entrance and portal as the office. This also allowed us to design an entrance that would strengthen the city's character by taking inspiration and materials from the

surrounding historic buildings. We hope this design will help to create interest in a new local Santa Fe business and the rest of the transition district.

To complement the surrounding architecture while preserving elements of the existing building, we propose installing a 16 GA rusted steel plate with cutout letters to match the existing 502 numbers placed at the right of the portal and to keep the existing exposed beam above the newly formed wall. The wall will have recessed step lights for patrons' walking path.

We learned that other projects in the historic districts had been allowed to enclose a portal. We believe that in the interest of the public's safety and preventing any hardships for the owner, this portal enclosure also warrants an exception.

Please see the attached photos and architectural elevations.

Sincerely,

Kevin Segura
Project Manager
K. M. Skelly, Inc
ksegura@kmskelly.com

502 Cerrillos Rd Portal Enclosure Proposal

Parking Satellite view:



This photo shows a car coming in from Manhattan Ave. and highlights the concern for patrons entering at the existing entry.

Current East Elevation :



Proposed Material:



16 GA Rusted steel plate w/ cut out letters



Steel Siding

Surrounding Non-contributing Buildings

Incorporating similar styles/materials:



Radish & Rye @ 505 Cerrillos Rd



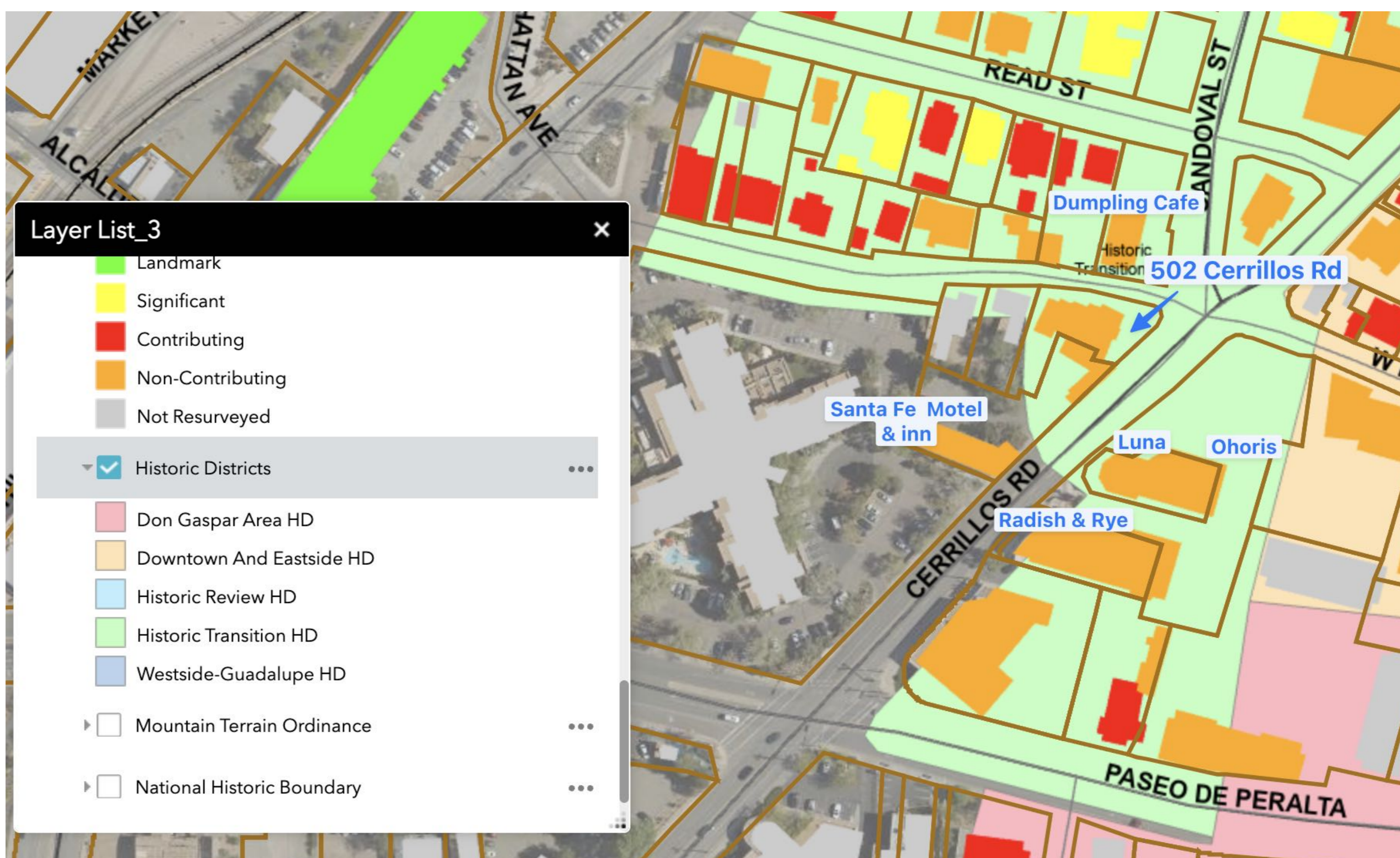
Santa Fe Motel & Inn @ 510 Cerrillos Rd



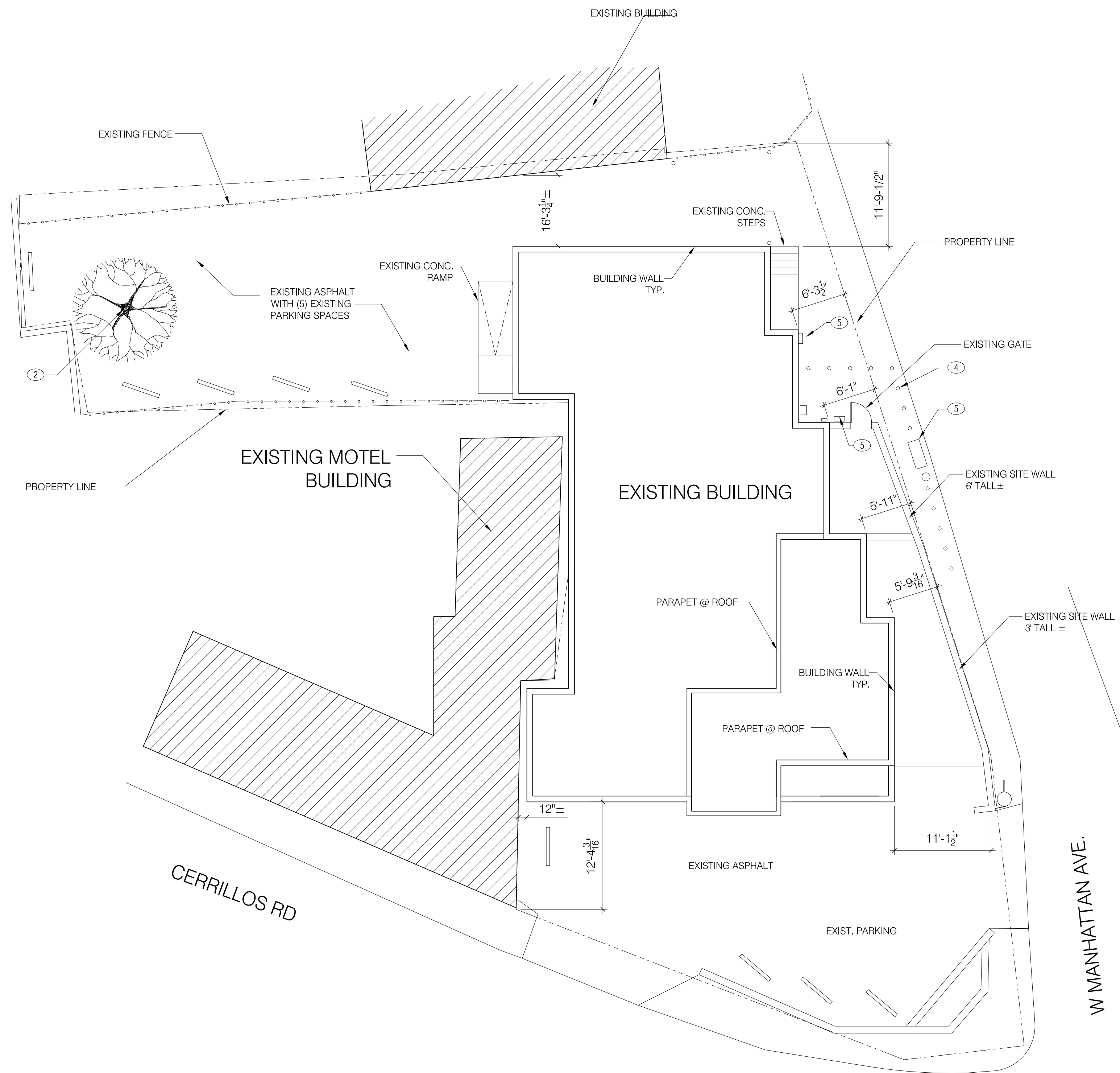
Ohoris Cafe @ 505 Cerrillos Rd



Luna Community @ 505 Cerrillos Rd

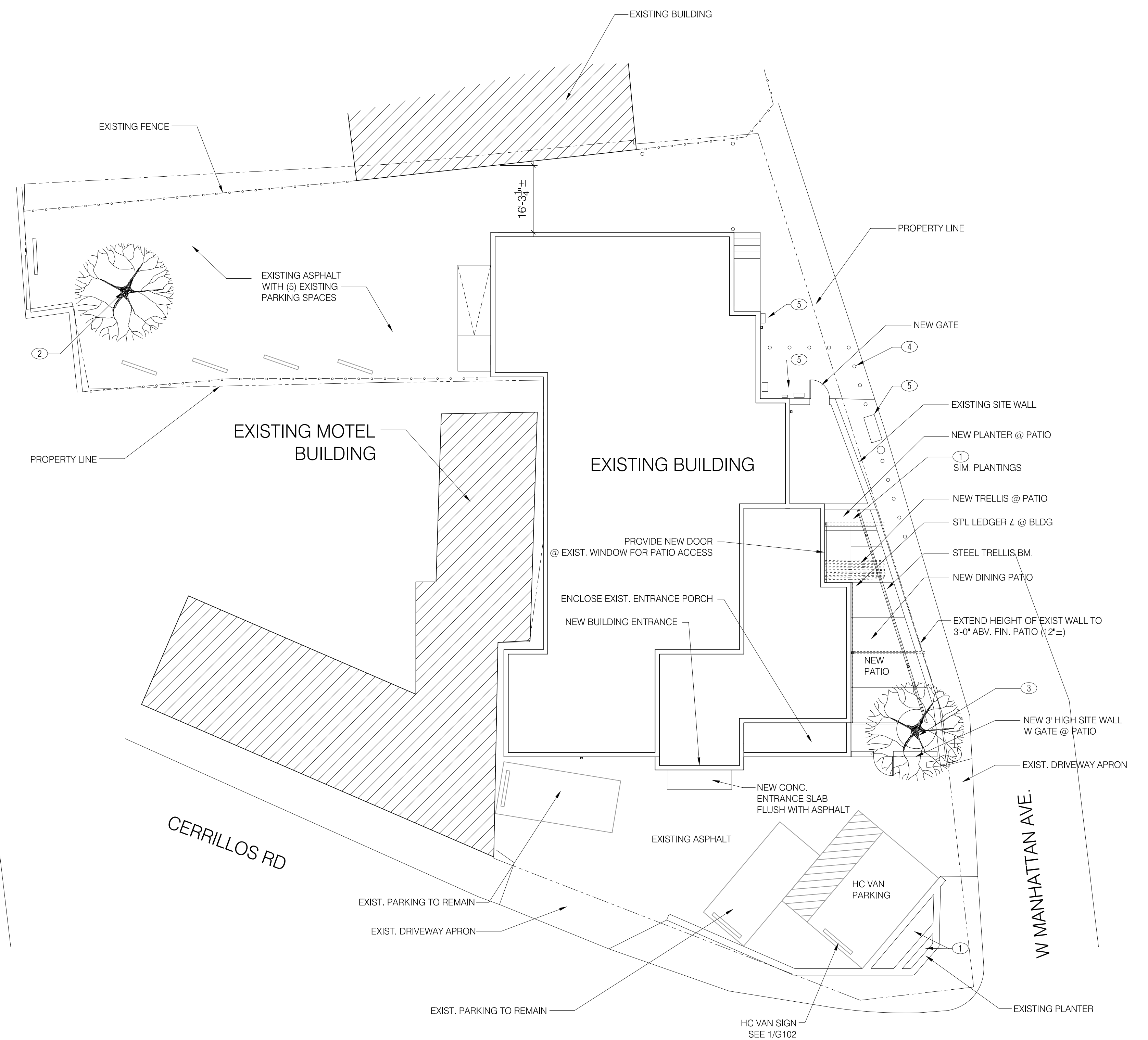


Locations and historical status for the included photos



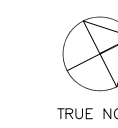
EXISTING SITE PLAN

scale: 1:10



PROPOSED SITE PLAN

scale: 1:10



PARKING SPACES

EXISTING
 FRONT: 4 SPACES (INCLUDES ONE HC SPACE)
 REAR: 5 SPACES

PROPOSED
 FRONT: 3 SPACES (INCLUDES ONE HC SPACE)
 REAR: 5 SPACES

KEYED NOTES

- NEW PLANTINGS @ EXISTING PLANTER TO INCLUDE:
 FLOWERS: YELLOW COREOPSIS; MEXICAN HAT (RUTIBIDA SP.);
 BLANKET FLOWER (GAILLORDIA SP.)

 GRASSES: SACTON GRASS (SPOROBOLUS WRIGHTII); AGASTACHE
 'BLUE FORTUNE'; ALLIUM AND PURPLE CONEFLOWERS
 (ECHINACEAPURPUREA).
- EXISTING SIBERIAN ELM
- NEW DESERT WILLOW
- EXISTING BOLLARDS
- EXISTING ELECTRICAL UTILITIES

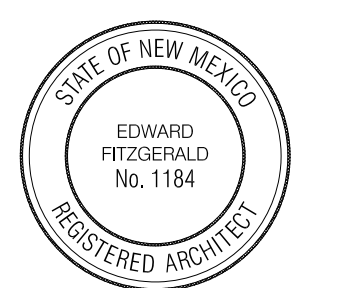
EXISTING + PROPOSED SITE PLANS

Barrel Cactus Spirits
 502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

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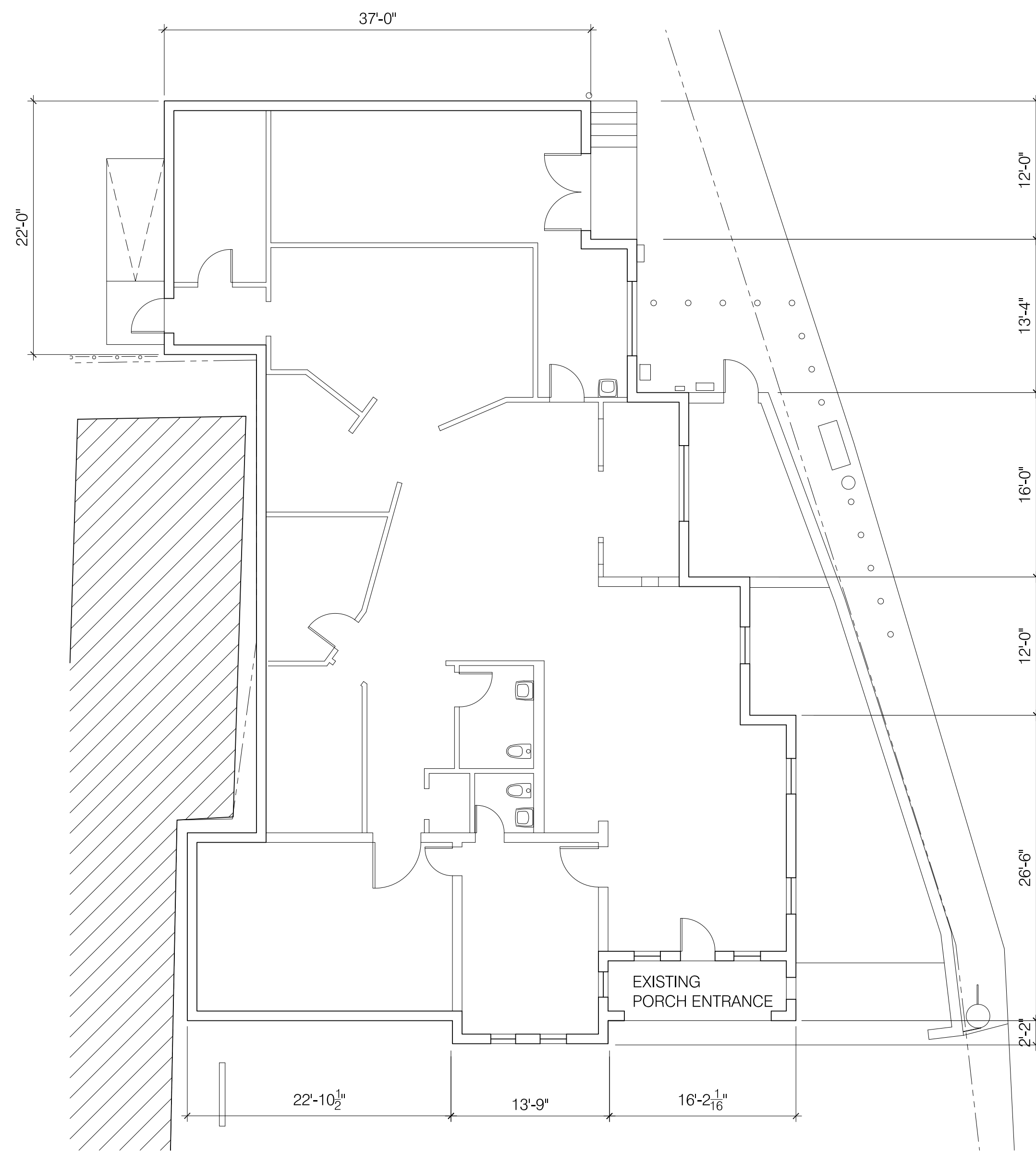
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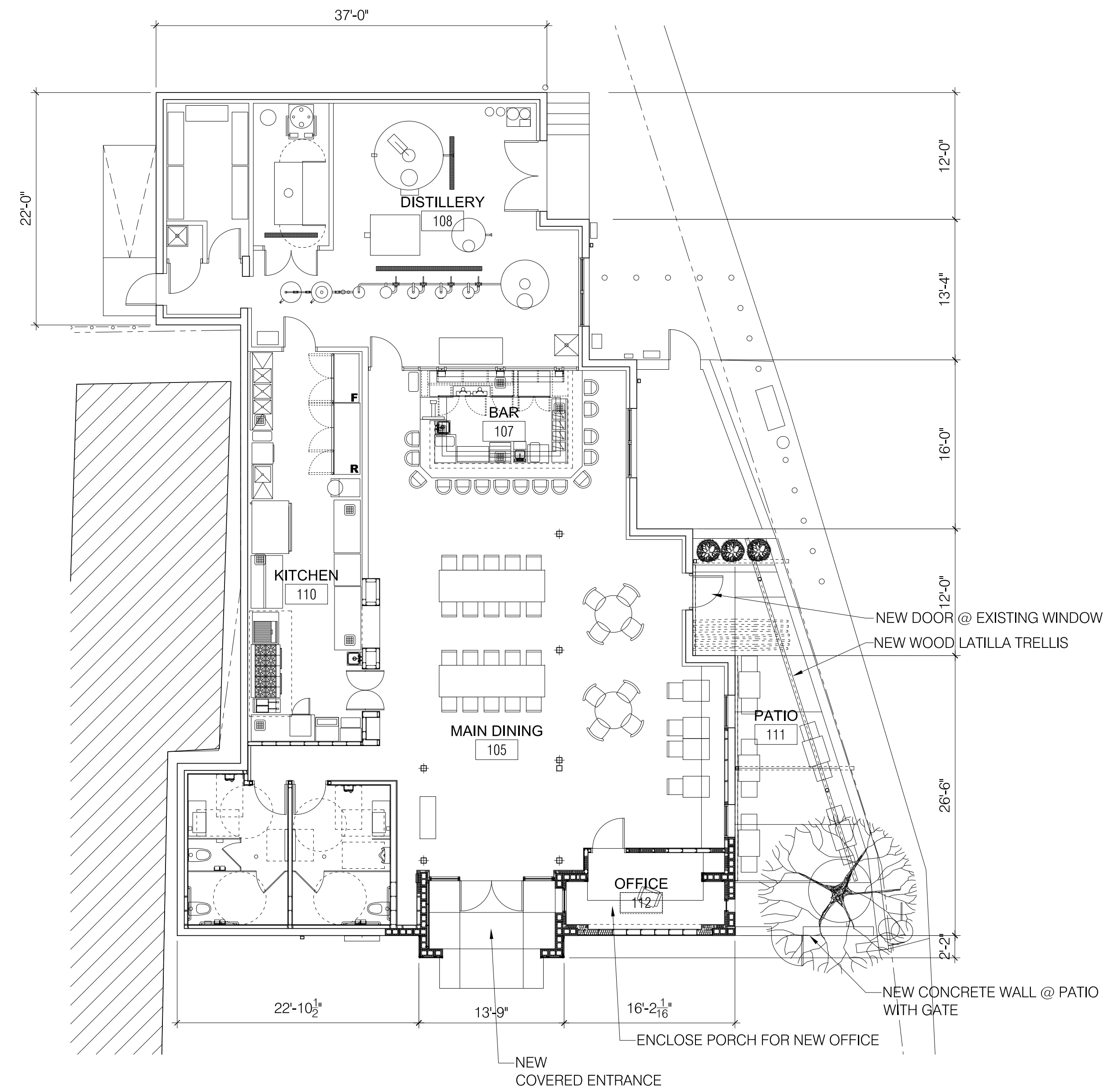
HS101

revisions



EXISTING FLOOR PLAN

scale: 1/8"=1'-0"



PROPOSED FLOOR PLAN

scale: 1/8"=1'-0"

BUILDING PLANS

Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

EDWARD
FITZGERALD
ARCHITECTS

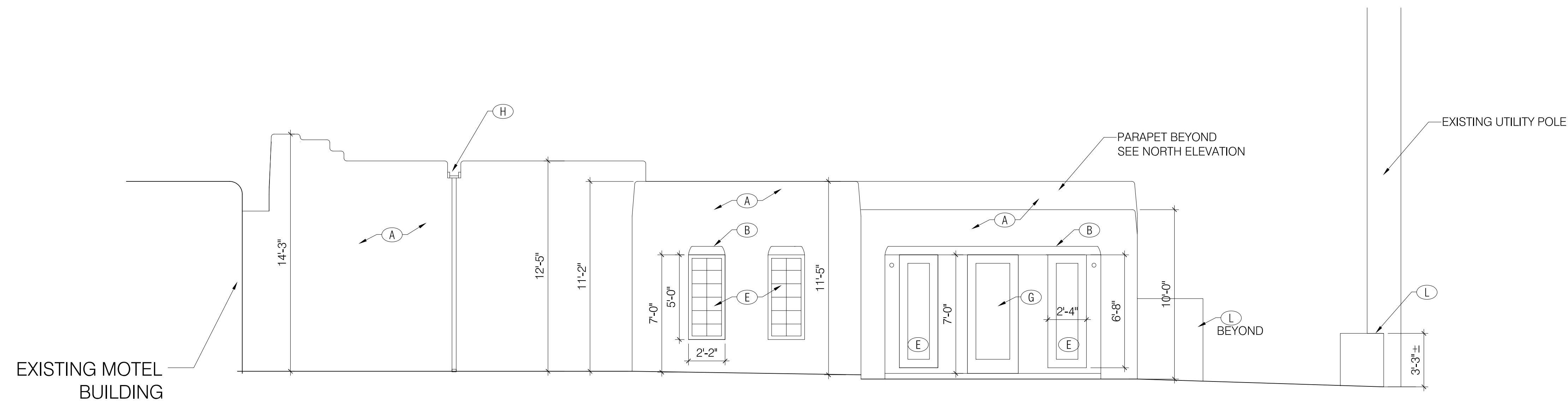
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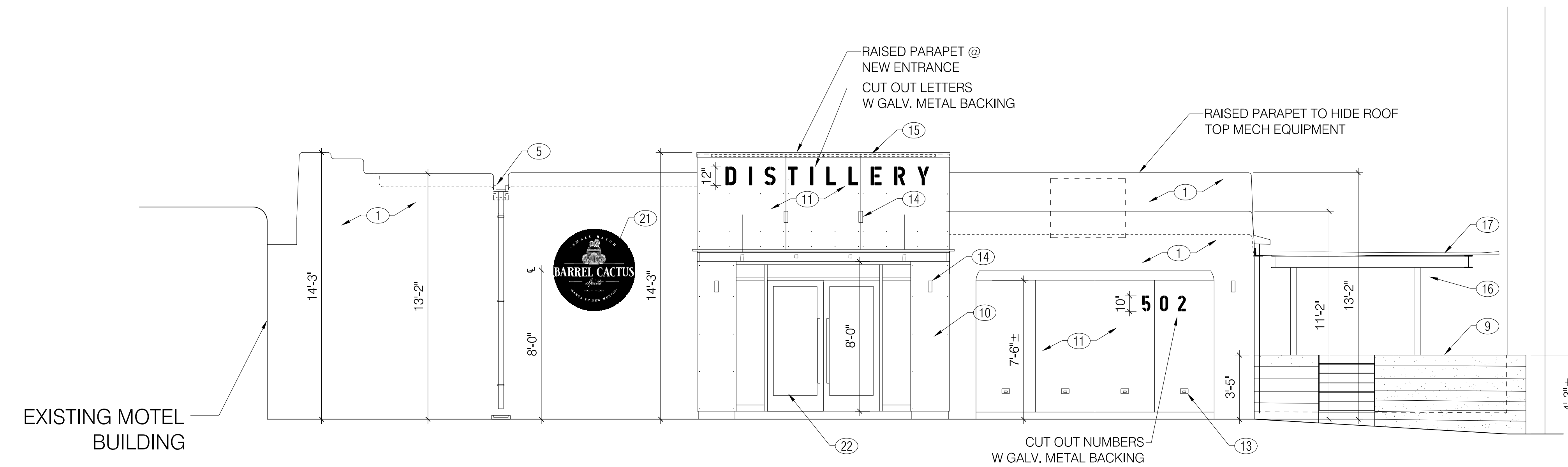


EXISTING EAST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - EXISTING BUILDING

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-6" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
- E. EXISTING WINDOWS: FIXED WOOD FRAME WINDOWS
- F. EXISTING DOORS: 6'-4" W (DOUBLE DOORS) X 7' TALL, HOLLOW METAL.
- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE STEPS AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS



PROPOSED EAST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - PROPOSED RENOVATION

1. STUCCO - EL REY BUCKSKIN
2. ALUMINUM FRAMED AWNING WINDOW REPLACEMENT. DARK BRONZE FINISH. SAME SIZE AS EXISTING OPENING. EXISTING WOOD LINTEL TO REMAIN.
3. NEW FIXED ALUMINUM FRAMED WINDOW @ EXISTING OPENING.
4. NEW ALUMINUM + GLASS DOOR AT EXISTING WINDOW (DARK BRONZE). ENLARGE OPENING TO ACCOMMODATE DOOR.
5. DEMO EXIST. SCUPPER. RAISE AS REQUIRED FOR NEW ROOF. REPLACE WITH STEEL SCUPPER + DOWNSPOUT PER DETAIL 1/H204.
6. RE-SURFACE OR REPLACE EXISTING CONCRETE AS REQUIRED.
7. EXISTING SITE WALL TO REMAIN.
8. RAISE EXISTING STUCCO SITE WALL 12" ± TO BE 36" ABOVE PATIO.
9. EXPOSED BOARD FORMED CONC. WALL WITH WOOD STEEL + WOOD GATE
10. 16 GA RUSTED STEEL PLATE
11. 16 GA RUSTED STEEL PLATE WITH CUT OUTS FOR SIGNAGE: DISTILLERY; STREET NUMBERS & STEP LIGHTS.
12. GALVANIZED STEEL CANOPY @ ENTRANCE.
13. STEP LIGHTS RECESSED IN WALL.
14. SURFACE MOUNTED DOWNLIGHTS (DARK BRONZE FIN).
15. CONCEALED LED LIGHT AT TOP OF ENTRANCE FACADE.
16. EXPOSED STEEL COLUMN AND BEAM TO SUPPORT TRELIS.
17. WOOD LATILLA TRELIS.
18. NEW HOLLOW METAL DOORS TO REPLACE EXISTING. ENLARGE HEIGHT FROM 7'-0" TO 8'-0".
19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
20. EXISTING BOLLARDS TO REMAIN
21. 48" DIAMETER, ILLUMINATED, "BARREL CACTUS SPIRITS" SIGN
22. NEW ENTRANCE (RECESSED) WITH ALUMINUM + GLASS STOREFRONT (ALUMINUM TO BE DARK BRONZE FINISH)

BUILDING ELEVATIONS

Barrel Cactus Spirits
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

<p>EDWARD FITZGERALD ARCHITECTS</p> <p>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 87710 TEL 505.268.9055 EFARCHITECTS.COM</p>	<p>date: 01/29/23</p> <p>drawn by: EF</p>
	<p>H201</p>

