


# City of Santa Fe, New Mexico

# memo

**DATE:** February 11, 2025  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Director, Planning & Land Use Department   
Maggie Moore, Assistant Director  
Gary Moquino, Historic Preservation Division Manager

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2025-009748-HDRB, 502 Cerrillos Rd., Historic Transition Historic District, Non-contributing. Kevin Skelly, agent for Debra Olinger, owner, proposes to enclose existing northeast portal and requests an exception to 14-5.2(D)(4) to enclose an existing portal ([hllamboy@santafenm.gov](mailto:hllamboy@santafenm.gov), Heather Lamboy)

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- District Standards & yard wall  
& fence standards.
- Historic Inventory Form H-13010
- Zoning Review Sheet
- Other:

### APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

## STAFF RECOMMENDATION:

Staff finds that all the exception criteria have been met and recommends approval of the application with regard to its compliance with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(G) Historic Transition District.

**Sample motions:**

- a. Approve or deny Case #2025-009748-HDRB to permit the enclosure of the portal at 502 Cerrillos Road.

**BACKGROUND & SUMMARY:**

The building located at 502 Cerrillos Road is a 3,356 sq. ft. non-contributing commercial building that sits on a triangle wedged lot at the southwest corner of Cerrillos Road and West Manhattan Street in the Historic Transition District. Per the 1997 historic building survey, it was built in 1973 and housed the Schifani Brothers Printing Company, and most recently, an audio-video store, “A Sound Look.” It is a concrete block stuccoed building with flat roofed masses of varying heights, ranging from 10’0” to 14’9” at the northwest corner, battered parapets, wood and metal canals, and metal downspouts. Windows are a mix of 6-over-6 wood double hung units with metal storm windows and steel casements on the facades of the west end of the north wall. Its street-facing front elevation (east) features 12-lite fixed recessed windows with wood lintels.

A remodel of the existing building was approved in 2023. The applicant had requested an exception to enclose the portal using a metal finish, which the HDRB denied (minutes attached). The applicant has since redesigned the proposed enclosure of the portal.

The applicant proposes the following exterior alterations:

**Building**

1. Enclose the east elevation portal. Finishes will match previously approved finishes associated with the renovation.
2. Insert a window in the north elevation portal opening.

An exception is required Section 14-5.2(D)(4), Porches and Portals. According to this code section, porches and portals shall not be enclosed.

**EXCEPTION CRITERIA AND RESPONSES:**

Exception to Section 14-5.2(D)(4): Applicant requests an exception to permit the enclosure of the existing portal on the east elevation.

- (i) *Do not damage the character of the district*

Applicant Response: If anything, this modification enhances the character of the district. There is a myriad of architectural design in this neighborhood from historic to very contemporary. Enclosing the small portal would unify the historic design of the building’s elevation and the neighborhood.

Staff Response: The enclosure of the portal will more clearly define the front door of the building. Furthermore, there will not be divergent styles as the portal’s wooden lintel and wood door will not be compatible with the overall architectural design of the structure.

- (ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: If the entrance to Barrel Cactus Spirits is left “as Is’ it will create confusion as to where the actual entrance is on the exterior as well as the interior. The owner will be constantly re-directing patron foot traffic to the actual entrance and exit. The confusing scenario could result in injury to the public as they try to navigate to the actual entrance. The newly approved entrance provides readily safe access for ADA patrons as well.

Staff Response: The portal will cause confusion for patrons as to the entrance. The new entrance will be more proximate to ADA spaces and will provide the necessary ADA access. The existing door and floor level under the portal is not accessible.

- (ii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Other portals in the district have received previous approval for the HDRB to be enclosed, and references that as a precedent that would provide a rationale for the enclosure of the portal at the subject property.

Staff Response: As this building is listed as non-contributing and the overall design theme and architectural finishes do not match the existing portal. The enclosure will provide for a design option that will be comparable to and compatible with the unique character and materials of the railroad-oriented Historic Transition district.

## **14-5.2 HISTORIC DISTRICTS**

### **(A) General Provisions**

#### **(1) General Purpose**

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

### **(C) Regulation of Significant and Contributing Structures in the Historic Districts**

(Ord. No. 2004-26)

#### **(1) Purpose and Intent**

It is intended that:

- (a) Each *structure* to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical *development*, such as the addition of conjectural features or architectural elements from other *buildings*, shall not be undertaken;
  - (b) Changes to *structures* that have acquired historic *significance* in their own right shall be retained and preserved, recognizing that most *structures* change over time;
  - (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a *structure* be preserved; and
  - (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic *property* and its environment would be unimpaired.
- (2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts
- (a) Status Designation
 

*Structures* within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of *structures* located in the Historic Districts.
  - (b) Board Authority to Review Status Designation
    - (i) The Board is authorized to change the status of a *structure* or to designate a status for a *structure* with no status designated.
    - (ii) A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
  - (c) Appeals (Ord. No. 2009-42 § 16)
 

Decisions made by the historic districts review board may be appealed to the *governing body* as set forth in Section 14-3.17.
  - (d) Restoration of Status
 

If a *property owner* makes changes to a *structure* without the proper *city* approvals which result in the lowering of the *structure's* status, staff or the board may require the *property owner* to restore the *structure* such that its former status is restored.
- (4) Compliance with General and Specific Design Standards Required
- All *development* located within the historic districts and subject to this Section 14-5.2 shall comply with all applicable general *development* standards set forth in Subsection 14-5.2(D), as well as any applicable specific *development* standards set forth in Subsections 14-5.2(E) through (I).
- (5) Exceptions

Staff shall determine whether an exception to this section is required. The historic board may grant an exception to the regulations set forth in this section provided that such exception does not exceed the underlying zoning.

(a) Height

If the *applicant* requests approval of a height in the historic district that exceeds the underlying zoning district requirement, the *applicant* shall first receive an exception to this Section 14-5.2. If approved by the historic board, the *applicant* shall proceed to the board of adjustment or other applicable *city* body for consideration of the proposed variance.

(b) Design Standards and Signage

The board may recommend exceptions to Subsections 14-5.2(D)(1-8, 10-11) and 14-5.2(E) through (I) for construction or alterations within the historic district. The recommendation for exceptions shall be made to the *governing body*. Procedures for public notice and hearing before the *governing body* shall be as set forth in Section 14-3.6(B)(3). Exceptions are *project* specific and do not apply to the subject *property* in perpetuity. If approved by the *governing body*, the inspections and enforcement *office* shall accept and review an *application* for, and issue, as appropriate, a *building permit*. The *applicant* for such exceptions shall conclusively demonstrate and the board shall make a positive finding of fact that such exceptions comply with all the criteria listed as follows:

- (i) Do not damage the character of the district;
- (ii) Are required to prevent a hardship to the *applicant* or an injury to the public welfare; and
- (iii) Strengthen the unique heterogeneous character of the *City* by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

(c) Height, Pitch, Scale, Massing, and Floor Stepbacks

The board is the *city* administrative board reviewing and granting or denying requests for exceptions from regulations set forth in Subsection 14-5.2(D)(9). When requesting exceptions the *applicant* shall use the procedures for public notice and hearing set forth in Section 14-3.6(B)(3), unless the *applicant* also requests a variance to the underlying zoning. In such a case the *applicant* for the H ordinance exception shall not be required to publish a legal ad in the local newspaper. Exceptions are *project* specific and do not apply to the subject *property* in perpetuity. The board may grant exceptions and impose conditions thereon to Subsection 14-5.2(D)(9) for height of *structures* within the historic districts as specified in Subsection 14-5.2(D)(9)(a). The *applicant* for such exceptions shall conclusively demonstrate and the board shall make a positive finding of fact that such exceptions comply with all the criteria listed as follows:

- (i) Do not damage the character of the *streetscape*;
- (ii) Prevent a hardship to the *applicant* or an injury to the public welfare;

- (iii) Strengthen the unique heterogeneous character of the *city* by providing a full range of design options to ensure that residents can continue to reside within the historic districts;
- (iv) Are due to special conditions and circumstances which are peculiar to the land or *structure* involved and which are not applicable to other lands or *structures* in the related *streetscape*;
- (v) Are due to special conditions and circumstances which are not a result of the actions of the *applicant*; and
- (vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

**14-12 Significant Structure:**

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

**14-12 Contributing Structure:**

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

**14-12 Noncontributing Structure:**

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.

**14-12 Primary Façade:**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

**14-12 Historic Compound**

An identifiable grouping of historic resources, including buildings, structures and landscaping elements, as described in Section 14-5.2(K)(2)(a). Historic compounds may be comprised of more than one lot.

**(D) General Design Standards for All H Districts**

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural *treatments* and styles, features, and details as the existing *structure*, but shall not duplicate those of the existing *structure* in a manner that will make the addition indistinguishable from the existing *structure*.
- (b) Additions to *buildings* that meet the standards of Subsection 14-5.2(E) shall continue to meet those standards set forth in Subsection 14-5.2(E) in addition to the standards set forth in this section.
- (c) Additions are not permitted to *primary façades*.
- (d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of *structures* instead of attaching them to the significant or contributing portion.
- (e) The height of additions:
  - (i) For significant and *landmark structures* shall be a minimum of six (6) inches less than the parapet or equivalent roof-feature of the existing adjacent connecting facade.
  - (ii) For contributing *structures* shall be no more than one additional *story* higher than the existing *structure*. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the *structure*. When an additional *story* is to be placed upon an existing contributing *structure*, that footprint may be no greater than fifty percent of the footprint of the existing *structure*, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional *story* shall not exceed twelve (12) feet from the existing rooftop to the highest point of that *story*.

(3) Remodeling to Increase Height; Rooftop Appurtenances

- (a) For *remodeling* of existing significant and *landmark structures*, no increase in height of the *structures* is permitted. (For standards relating to additions to existing *structures*, see paragraph (2) above.)

- (b) For significant and *landmark structures*, *publicly visible* roof top appurtenances, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, shall not be added nor shall the parapet be raised to conceal the *rooftop appurtenances*. For contributing *buildings* solar collectors, clerestories, decks, or mechanical equipment if *publicly visible* shall not be added.
- (4) Porches and Portals  
Existing *porches* or *portals* shall not be enclosed.
- (5) Windows, Doors, and Other Architectural Features
  - (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
    - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
    - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
    - (iii) No existing opening shall be closed.
  - (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.
- (6) Roofs  
The existing roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing or historical feature of the *structure*.
- (8) Archaeological Resources  
Discovery of archaeological resources made during the historic districts review process shall be referred to the archaeological review committee.

**(G) Historic Transition District**

- (1) Purpose
  - (a) In order to promote the economic, cultural and general welfare of the people of the *city* and to ensure the harmonious, orderly, and efficient growth and *development* of the *city* , it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserves *property* values and attracts tourists and residents alike, be preserved, some of the qualities being:

- (i) The continued existence and *preservation* of historic areas and *buildings*;
  - (ii) The continued construction of *buildings* in the historic styles; and
  - (iii) A general harmony as to style, form, color, proportion, texture, and material between *buildings* of historic design and those of more modern design.
- (b) The *governing body* hereby establishes a process for review of style, form, color, proportion, texture, and materials as part of the *building permit* process in the historic transition district.

(2) Applicability

Submittals of required elevations and plans and approval of these submittals by the planning and land use department are required before a *building permit* is given for construction, renovation, or exterior *remodeling* of any exterior feature of a *building* or *structure* subject to public view from any public *street*, way, or other public place. Demolition shall not require prior approval by the planning and land use department. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

(3) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected or altered:

(a) Architectural Style

(i) Materials

It is intended that exterior *wall* materials express a monolithic and massive appearance. Stucco, brick, slump block, and stone are allowed. Materials such as aluminum siding, metal panels, mirrored glass, and unstuccoed masonry *units* or cement are not allowed. Wood siding is not allowed for an entire *wall*;

(ii) Color

The color of stuccoed *buildings* shall predominantly be in brown, tans, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone or brick shall be in the natural color. Entries and *portals* may be emphasized by the use of white or other colors or materials. Painting of *buildings* with bold repetitive patterns, or using *buildings* as signs is prohibited;

(iii) Roof Form, Slope and Shape

*buildings*

*building's*

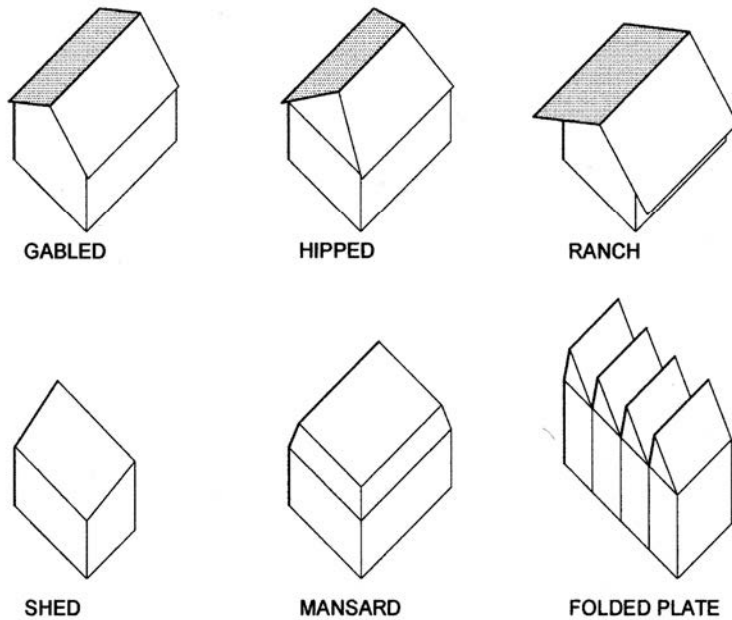
*walls*

*Buildings*

*hipped roofs*

*wall*

walls



**Illustration 14-5.2-7 Examples of Roof Type**

(iv) Solar Equipment

- A. It is intended that the use of solar and other energy collecting and conserving strategies be encouraged. The use of large glazed areas on south facing *walls* for collectors, *trombe walls*, *greenhouses*, garden rooms, direct gain, or other collecting purposes is allowed. Solar equipment shall be screened as follows:
1. raising the parapet;
  2. setting back from the edge of the roof;
  3. framing the collector with wood;
  4. in the case of pitched roofs, by integrating the collector into the pitch;
  5. in case of ground solar collectors by a *wall* or vegetation;
  6. in the case of *wall* collectors or *greenhouses*, by enclosing by end or other *walls*;
  7. other means that screen the collector or integrate it into the overall *structure*. Non-glare materials shall be used in solar collectors.
- B. Roof-mounted equipment: roof-mounted mechanical, electrical and telephone equipment and other obtrusive *structures* shall be architecturally screened with opaque materials, for example, by

raising the parapet, and shall be of a low profile to minimize the *screening* problem;

- C. Cantilevers, arches: no cantilever or long apparently unsupported openings are allowed except over the projecting vigas, beams, or wood corbels or as part of the roof. The use of arches is discouraged except in free standing *walls*;

(b) Size, Mass and Shape

- (i) In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that *structures* be designed to appear essentially as *structures* with massive *walls*. *Structures* with massive *walls* are defined as being built or appearing to be built of *adobe* construction, *wall* thickness appearing massive in relation to *wall* height, and where applicable, the depths of windows, doors and entry openings showing, the massiveness of the *structures*. Solid *wall* space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing *walls* for solar equipment as provided in Subsection (G)(3)(a)(iv) of this section, and under *portales*; (Ord. No. 2002-37 § 29)
- (ii) The mass elements which make up the *building* composition shall appear as single blocks;
- (iii) *Buildings* with ground coverage of over twenty thousand (20,000) square feet and over one *story* shall be designed to appear more as an aggregation of smaller " *building* blocks" rather than a single large box or block. A human *scale* shall be achieved near ground level on large commercial, multi-family *residential* and public *buildings* and along *street* façades and entryways through the use of such *scale* elements as windows, doors, columns, and beams. Human *scale* means the entrances, windows, doors, columns, and beams on large *buildings* are in proportion to the people using the *building*. For example, a ten-foot high entrance cover is in proportion to a *person* using it. A thirty (30) foot high colonnade is not;

(c) Walls and Fences

*Walls* and fences visible from the *street* shall be built of brick, *adobe*, rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. *Walls* of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not visible from the *street*;

(d) Remodeling and Alteration

*Persons* requesting approval for *building permits* for *remodeling* or alteration of nonconforming *structures* shall not be required to bring the total *structure* into conformance with the standards for the historic transition area. However, the portion of the *building* that is remodeled or altered shall conform to those standards. *Remodeling* of *structures* of architectural and historic interest or individually entered on the *state* register of cultural properties or national register of historic places or designated as significant on either register shall be related to and

compatible with the *structure*. "Related to and compatible with" means existing together with unity and coherence.

(4) Final Review

(a) All *applicants* for final review shall submit:

- (i) Three copies of four *building* elevations drawn to *scale*. Elevations shall be drawn with sufficient detail to show the architectural design of the *structures*, including proposed exterior finish materials, textures and colors;
- (ii) Three copies of a dimensioned plan drawn to *scale* which shows *building* location and configuration in relation to other site improvements, including but not limited to parking *lots* and utilities.

(b) The planning and land use department shall make a determination of whether the plans and elevations are in compliance with the requirements of this section within five working days from the date of the *application* to the *city*. If the submitted information is inadequate, the division may postpone action until a date agreed upon by the division and the *applicant*. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

(c) Final approval, disapproval, or conditional approval shall be noted on the face of the *application* and signed by a representative of the planning and land use department. If conditional approval is given, the list of conditions shall be attached to the *application*. If the *application* is disapproved, the sections of the historic transition district with which the *application* did not comply shall be noted on the *application*. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

(d) No approval by the planning and land use department shall be required for repairs that do not in any way alter any exterior feature in view from any public *street*, way, or public place, or for repainting it the same color. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

(5) Property Use and Zoning District

The *property* in the historic transition district may be used for any use permitted in the zoning district of which the *property* in question is a part. The *property* in the historic transition district shall be subject to the requirements, uses, height, and other regulations of the zoning district of which the *property* is a part.