

Historic Districts and Historic Landmarks

Design Standards and Signage Exception Criteria

General Statement and Explanation:

This is a request to allow the replacement of a previously existing pro-panel roof over a rustic rock shed found to be a contributing historic structure with a bitumen roof that is covered (and hidden) by a deck that is of a similar color to the original red pro-panel roof. The project address is 1182 Cerro Gordo Road.

The reason for the request is that the roof of the stone shed is roughly the same elevation as the floor of the house to which the shed is an accessory. As a result, the “roof” of the shed has also been used as the “deck” of the main house. The propanel roof/deck is an attractive nuisance- it had sharp metal edges where the propanel laps outside the shed and there is an 8’ drop at the end of the roof/deck that is entirely unsafe and unprotected.

The applicant request that we be allowed to use bitumen as a roofing material for the shed and allow us to cover the bitumen roof with a deck and railing for life safety purposes. The applicant requests the use of bitumen roofing material because it is consistent with roofing on other historic contributing structures and has no sharp edges or overlaps. The bitumen will protect and preserve the structure and prevent water damage and infiltration. Without some roof the structure will degrade quickly and propanel is uneven and has sharp edges that are a hazard to the residents of the main house who use the roof as a deck. We request that we be allowed to install a deck close in color to the propanel because the exposed bitumen roof alone will be unsafe and uneven. The covering deck prevents trip hazards and since the roof is used as a deck by the main house it should have decking material to allow safe use. In addition, the deck will hide the bitumen roof, leaving the outward appearance of the project roughly the same as it was when the propanel was in place.

There will be little or no visible change to the structure when the work is complete.

Request for Exception to replace roof “not in kind” on a contributing structure.

The first request is to section 14-5.2(D)(6) for replacing the roof of an approximate 12x10 contributing structure not in-kind. We are proposing to remove a red pro-panel (ridged) roof and install a bitumen (BRAI) roof covered by a trex deck similar in color to the propanel. Since the contributing structure roof also serves as a deck for the principal residence behind it, this roof/deck should be flat by life/safety building code and should not have flash/sharp edges on its perimeter.

(i) Do not damage the character of the district

(a) Please find attached a sketch detailing the proposed roofing structure.

The design incorporates 2 x 8 stub roof rafters on 16-inch centers, with a quarter-inch slope per foot. The roofing consists of 5/8ths OSB, 30lbs roofing felt, and a BRAI layer overlapping onto the stone structure. The slope guarantees water will slide off the side and not erode the structure. This configuration ensures the protection and longevity of the structure.

Importantly, the roof joists are supported by four interior posts, eliminating any load bearing on the exterior stone walls. This measure prevents further deterioration of the original structure. The Trex deck will be installed only after the roof is completed and will not bear on any portion of the stone walls.

As the attached sketch illustrates, the design ensures that no additional load is placed on the stone walls, while providing a protective roof to preserve the structure. By preserving the structure we ensure that we do not damage the character of the district – we maintain it.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

- (a) The change from pro-panel to trex is required to prevent a hardship to the applicant or an injury to the public welfare because the previous roof presented a sharp metal edge (cutting hazard) to people walking in the back yard and the ProPanel ridges presented a trip hazard for people walking on the “roof” of the stone structure, which roof was used as a deck by people walking in the backyard. This roof/deck was rimmed by an unprotected (no railing) 8’ drop. This structure violated multiple provisions of the building code (nonflat surface, unrailed 8’ drop/fall) and presented a serious safety hazard. The proposed bitumen roof covered by a flat deck meets present building codes, protects against serious injury and is in character with the property.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

- (a) High Desert Contractors wishes to confirm that the proposed project will not alter the height, scale, massings, or floor step backs of the existing stone structure, thus preserving the unique and historic shed. As the deck is located in the backyard and out of public view, the proposed changes will not impact the public or surrounding neighbors within the historic district.

High Desert Contractors is dedicated to preserving the City's historic character. We will be using BRAI/Bitumen because it is a common material used in the historic area. Modified bitumen roofing can withstand both high and low temperatures. The bitumen roofing systems offer greater thickness and redundancy to protect the assets of the shed building. When properly installed and maintained, bitumen system can last up to 20 years.

The ability to construct a full roof system under the deck is essential for maintaining the residential character and vitality of the Historic District by protecting the stone structure. The earth-toned color of the deck will harmonize with the existing house, and the design of the addition is consistent with the architectural vocabulary of the surrounding area.

Request for an exception from section 14-5.2(D)(2)(5)(b):

“Adding” an architectural feature to a primary façade. This is the existing stairs on the now contributing yard wall.

(i) Do not damage the character of the district

(a) The stairs do not damage the character of the district because the steps have been there at least 15 years and have not hurt anything yet. The stairs are only visible from the rear yard of the property immediately downhill from the subject residence, and that property has gone undergone a complete remodel over the last three years and has a new occupant.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

(a) the exception is required to prevent a hardship to the applicant or an injury to the public welfare because the steps allow a fire exit to the rear should the house catch on fire, providing a second fire exit (front and rear) mandatory for life safety.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

(a) The steps are only there for life safety (fire exit) and are consistent with construction in this cul-de-sac. Any other form of rear exit could impact the rumored “acequia” to the rear of the subject property. Therefore, the steps preserve the character of the community.



October 7, 2024

High Desert Contractors, LLC
M Kay
P.O. Box 33136
Santa Fe, NM 87594

**RE: 1182 CERRO GORDO
SANTA FE, NM**

Dear Ms. Kay:

Per your request, we visited the referenced site on September 25, 2024. The purpose of the visit was to evaluate the existing stone structure supporting a new roof deck. Please note that the evaluation was limited to visual observation only and plans were not available at the time of the visit.

The existing stone structure was estimated to be constructed in the 1960's. A new wood deck was under construction over the stone structure. Based on our observations, the wood deck was framed independently of the stone structure. The stone structure will be unaffected by the placement of the deck and is acceptable to proceed.

The conclusions and opinions stated are based on our understanding of the facts and evidence stated in the discussion above. Should additional facts or evidence become available pertaining to this project, we reserve the right to review that information and revise our opinions when appropriate.

Please do not hesitate to contact our office should you have questions or if we can be of further assistance.

Respectfully submitted,

Robert H. Wichmann, PE
Owner

RHW





Figure 3: This is the Trex decking color that we propose will be used over the roof as deck space.



Figure 4: Example of proposed square steel to be used as a the railing



Figure 12: Example of proposed round steel to be used as railing



Figure 1: TPO color “Tan” is what is currently being used as the roof of the stone structure.

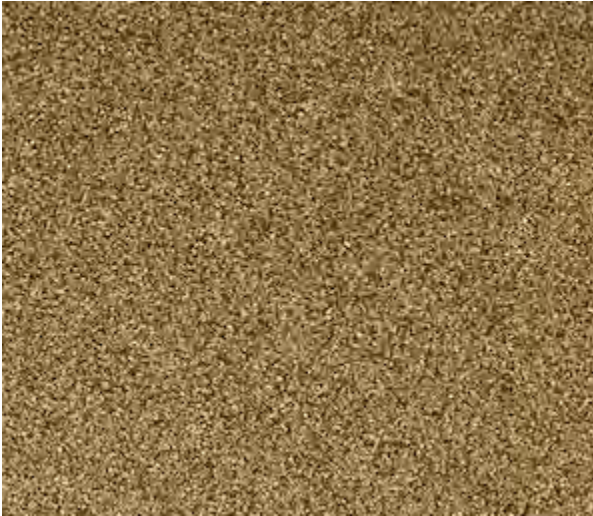


Figure 2: BRAI roof color “Tan” is what we are proposing we use as the roof of the stone structure.



This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. The Red propanel material served as the stone shed's roof prior.



This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. Old, illegal coyote fence lines the backyard area. Its illegal because this fence is only 30 feet tall and poses a risk of injury or death. Also in this picture is another view of the propanel material used as a roof for the stone shed below.



**Previously
installed Red,
ProPanel Roof
above stone
shed below**

This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. In this picture is another view of the ProPanel material used as a roof for the stone shed below.



Figure 18: This is a picture of the south elevation from Zillow. This shows what the Backyard area looked like before Lisa Andree Falls took over ownership. In this picture is another view of the ProPanel material used as a roof for the stone shed below. Also the red arrows point out where the fencing used to be. Both picket and coyote fence were used. Both sections of fence were 30" tall



Another picture of the deck floating above the shed



Shed



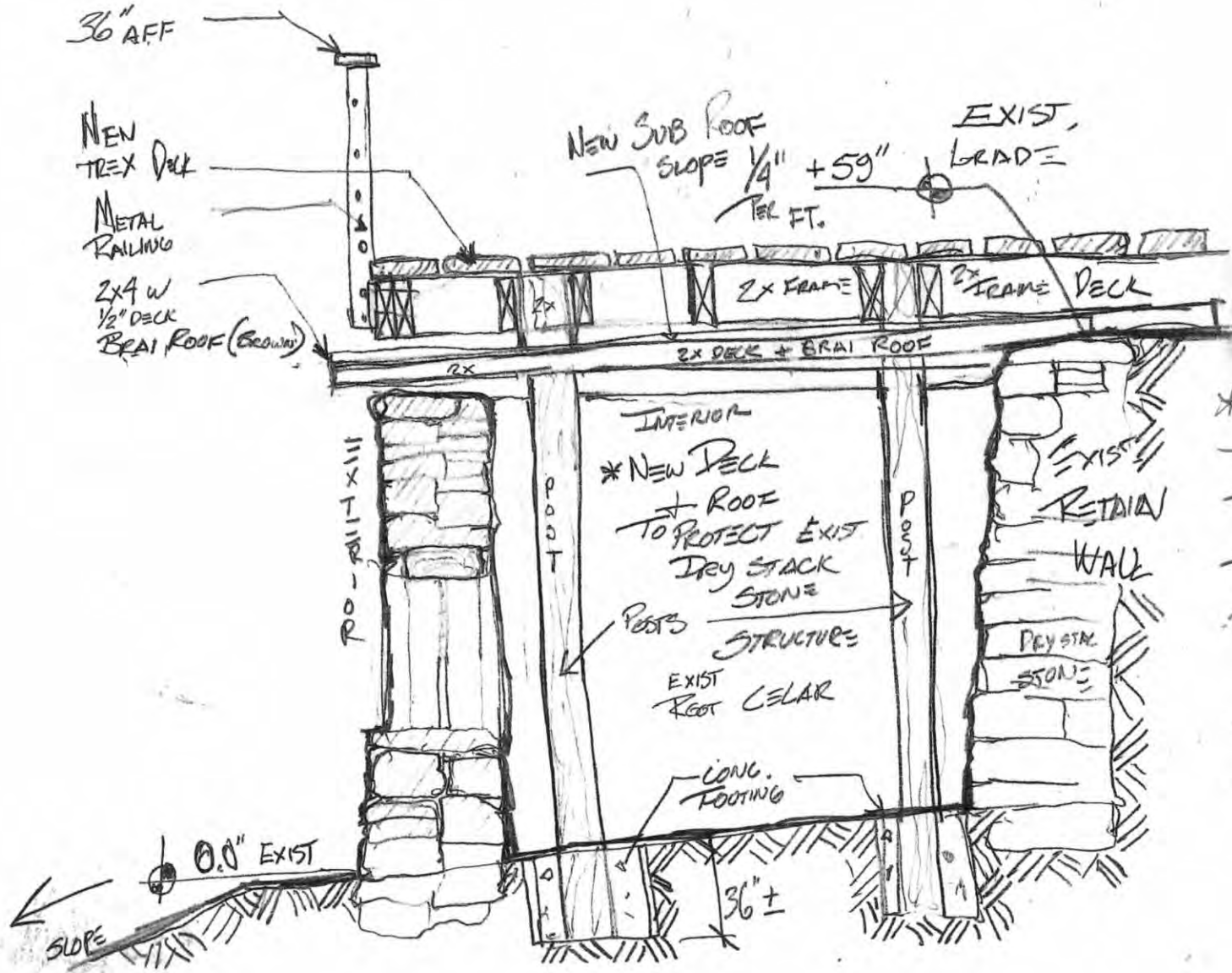
Inside shed



Inside shed



Outside shed



* PROVIDE
 INDEPENDENT
 POST STRUCTURE
 TO SUPPORT
 ROOF + DECK
 NO LOADS TO
 BE DISTRIBUTED
 TO EXISTING WALLS!

CERRO GORDO 1182

① SECTION SKETCH OF ROOF + PEDESTRIAN DECK
 TO PROTECT EXISTING ROOT CELLAR

1/20/25
~~AWES~~
 NTS

DECK & RAILING REHAB

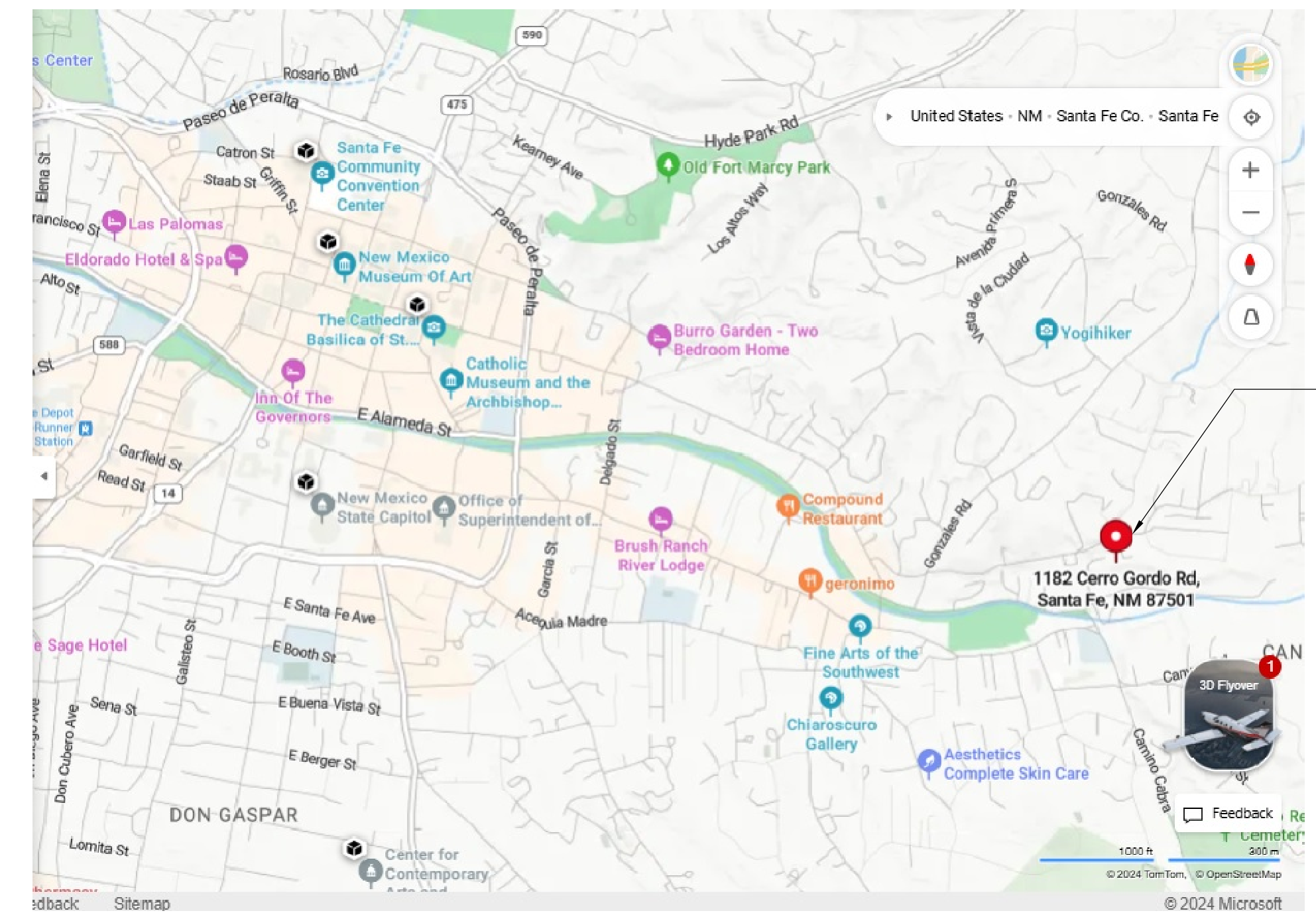
DIRECTORY

OWNER / PROPERTY
LANALEE L. LEWIS
1182 CERRO GORDO RD
SANTA FE NM
87501

CONTRACTOR
OWNER/ BUILDER

DRAWING INDEX
A1.0 SITE PLAN / EXISTING
A1.1 SITE PLAN PROPOSED / DETAILS
A4.1 ELEVATIONS
A4.2 ELEVATIONS

FOR 1182 CERRO GORDO SANTA FE NM 87501 SEPT 24 2024



4 VICINITY MAP



Buyer: Lanalee L. Lewis ILR No. 250-0721
Seller: Zoe Danae Falliers

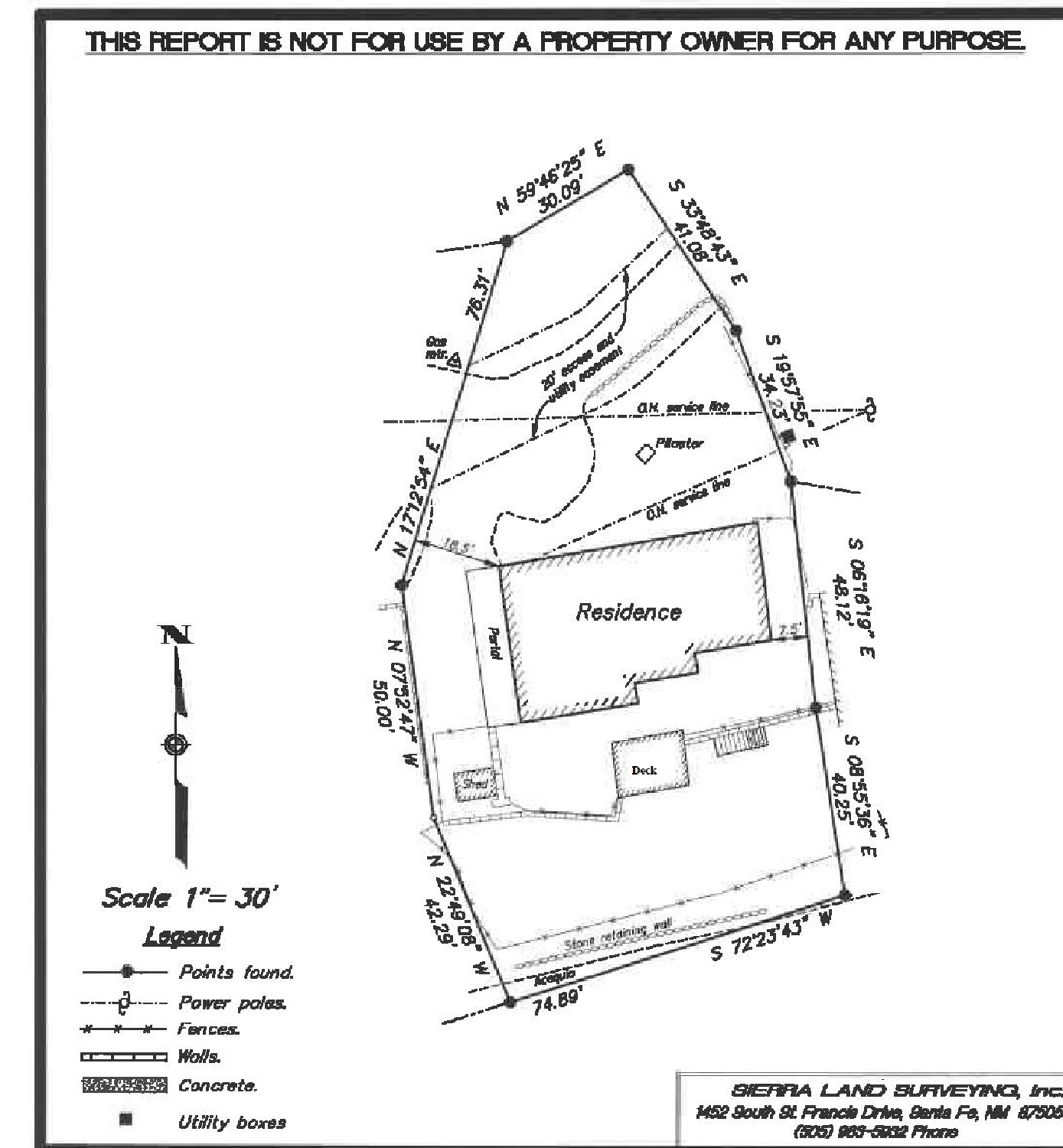
IMPROVEMENT LOCATION REPORT

IMPROVEMENT LOCATION REPORT

THIS IS TO CERTIFY,
To Title Co.: Prima Title, LLC
To Underwriter:
To Lender:
that on July 27, 2021 I made an inspection of the premises situated at 1182 Cerro Gordo, Santa Fe, Santa Fe County, New Mexico, briefly described as: Lot 2

PLAT REFERENCE: Hearings, distances and/or curve data are taken from the following plat:
Plat of Boundary Survey for Zoe Danae Falliers...
recorded in Plat Book 639, Page 010.

NOTE: The error of closure is one foot for every 20,000 feet along the perimeter of the legal description as provided. Easements shown hereon are as listed in Title Commitment No. 21-0740 as provided by Title Company.



THIS REPORT IS NOT FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE. THIS IS NOT A BOUNDARY SURVEY AND MAY NOT BE SUFFICIENT FOR THE REMOVAL OF THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY.

I/We hereby acknowledge receipt of a copy of the surveyor's report showing the boundaries and the improvements located on the described property.
Date _____ Signed _____

I FURTHER CERTIFY as to the existence of the following at the time of my last inspection:

- Evidence of rights of way, old highways or abandoned roads, lanes, trails or driveways, sewer, drains, water, gas or oil pipe lines on or crossing said premises.
As shown.
- Springs, streams, rivers, ponds or lakes located, bordering on or through said premises.
Acequia crossing through property as shown.
- Evidence of cemeteries or family burial grounds located on said premises.
None noted.
- Overhead utilities, poles, anchors, pedestals, wires or lines overhanging or crossing said premises and serving other properties.
As shown.
- Joint driveways or walkways, joint garages, party walls of rights of support, steps or roofs in common.
None noted.
- Apparent encroachments of building, projections or cornices thereof, or signs affixed thereto, fences or other indications of occupancy appear to encroach upon or overhang adjoining property, or the like appear to encroach upon or overhang inspected premises.
Deviation of walls and fences from lot lines as shown.
- Specific physical evidence of boundary lines on all sides.
As shown.
- Is property improved?
Yes.
- Indications of recent building construction, alterations or repairs.
None noted.
- Approximate distance of structure from lot line or building setback lines.
As shown.



David E. Cooper NMPS No. 9052
SURVEYOR

Improvement location is based on previous property surveys or documents. No monuments were set. This tract is subject to all easements, restrictions and reservations of record which pertain. This report is not to be relied on for the establishment of fences, buildings or other future improvements. This Improvement Location Report is based on boundary information taken from previous survey documents and is prepared and issued to the Title, Abstract or Escrow Company or Lending Institution listed and is for their exclusive use only. This is not a boundary survey and the information shown may not reflect that which may be disclosed by a boundary survey.

This report has been prepared by:
SIERRA LAND SURVEYING, Inc.
1452 South St. Francis Drive
Santa Fe, New Mexico 87505
505-983-5932 (Phone)
Email: sls@sierralandsurveying.com

SPECIAL WARRANTY DEED

LANALEE L. LEWIS, a single person, for consideration paid, grants to LANALEE LEWIS, Trustee, or her successors in trust, of the LANALEE LEWIS REVOCABLE TRUST AGREEMENT dated May 23, 2019, whose address is 1182 Cerro Gordo Road, Santa Fe, New Mexico 87501, the following described real property located in Santa Fe, New Mexico 87501, with the address of 1182 Cerro Gordo Road, Santa Fe, New Mexico 87501:

Lot 2, as shown and delineated on plat of survey entitled "Plat of Boundary Survey for Zoe Danae Falliers, Lot 2 of Lot Split for Hollands, LLC, located at 1182 Cerro Gordo Road, Santa Fe, County of Santa Fe, New Mexico", recorded October 31, 2006, in Plat Book 39, Page 010 as #1457047, records of Santa Fe County, New Mexico.

Subject to: Exhibit "A" attached hereto and made a part hereof.

with Special Warranty Covenants.

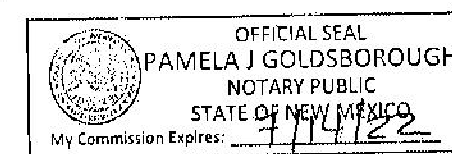
Dated this 9th day of March, 2022.

Lanalee L. Lewis
LANALEE L. LEWIS

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

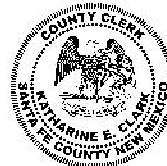
The foregoing instrument was acknowledged before me on March 9, 2022, by Lanalee L. Lewis.

David E. Cooper
Notary Public
Commission No. 0109907



COUNTY OF SANTA FE } SPECIAL WARRANTY DEED
STATE OF NEW MEXICO } ss. PAGES: 2

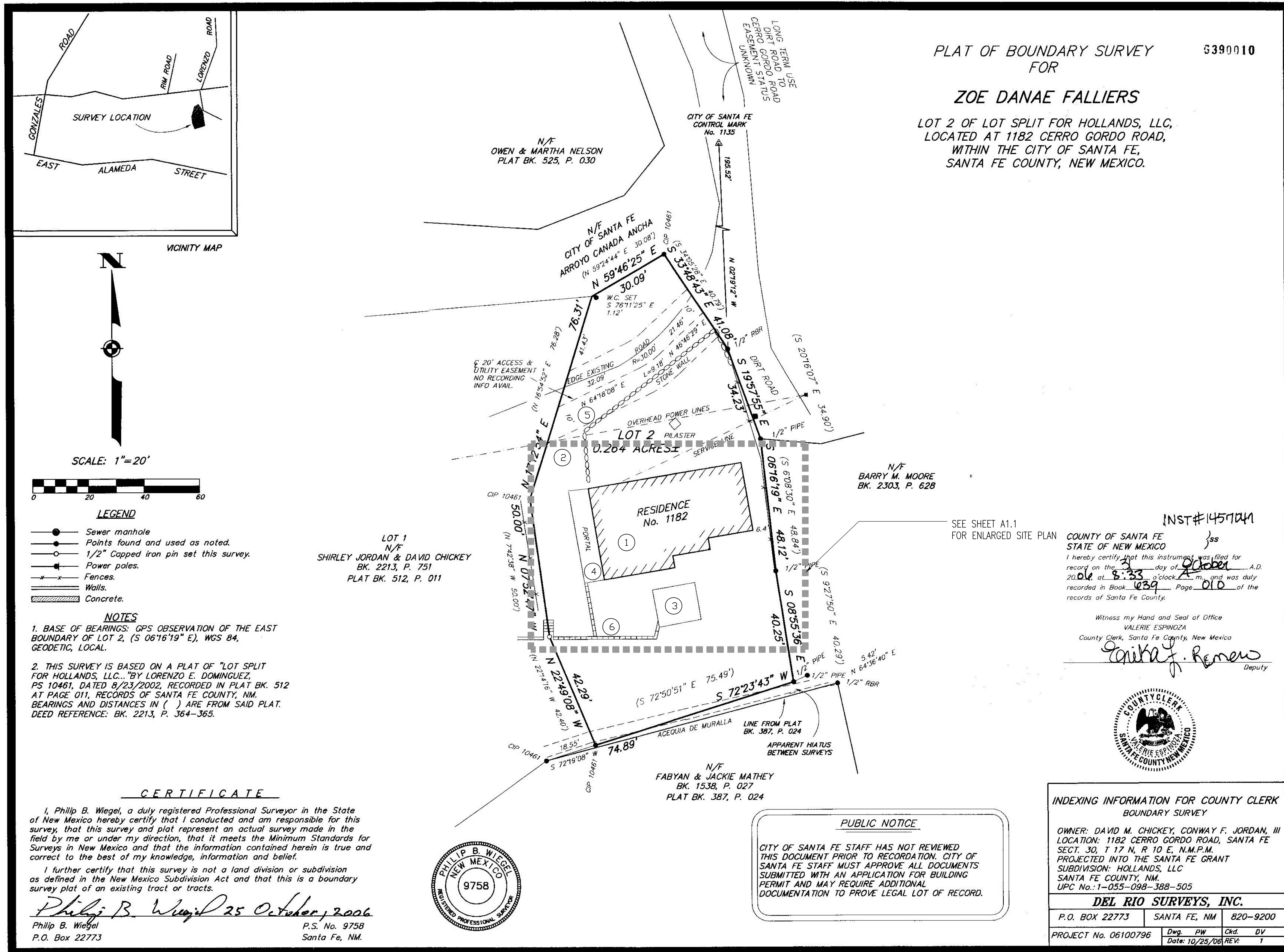
I hereby Certify That This Instrument Was e-Recorded for Record On The 9TH Day Of March, A.D., 2022 at 03:28:47 PM And Was Duly Recorded as Instrument # 1982616 Of The Records Of Santa Fe County.



Witness My Hand And Seal Of Office
Katherine F. Clark
Deputy - CLERK County Clerk, Santa Fe, NM

NOTES

- ① EXISTING HOUSE
- ② EXISTING DRIVE
- ③ EXISTING SHED WITH DECK
- ④ EXISTING PORTAL
- ⑤ EXISTING COYOTE FENCE
- ⑥ EXISTING YARD WALL



DECK & RAILING REHAB
1182 CERRO GORDO
SANTA FE NM
87501

Issues	No.	Date	Description
	1	07/08/24	

Title
EXISTING SITE PLAN

Scale	Sheet
AS NOTED	A1.0
Job	07-24



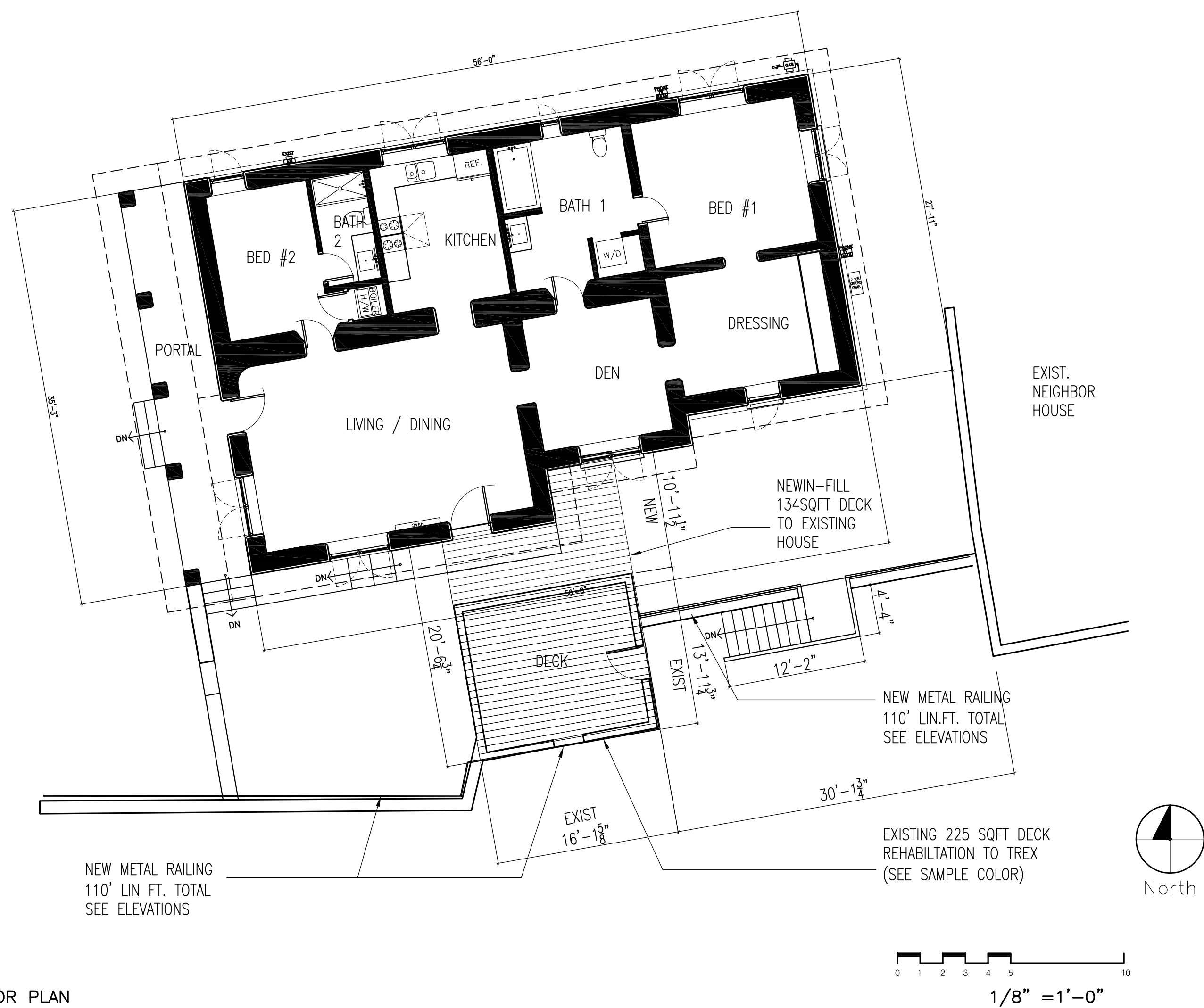
DECK & RAILING REHAB
1182 CERRO GORDO
SANTA FE NM
87501

Issues No.	Date	Description
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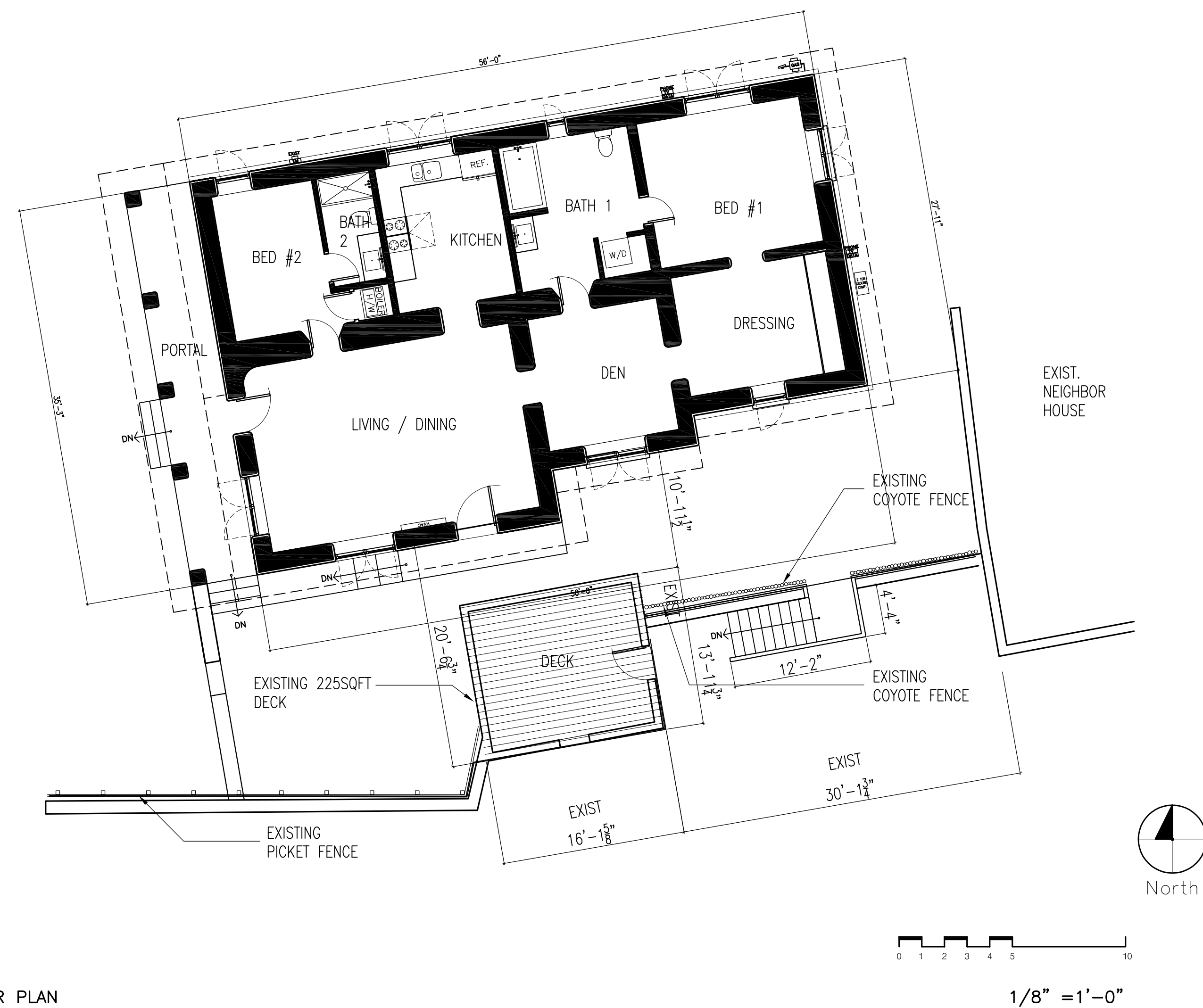
Revisions No.	Date	Description

Title
FLOOR PLAN

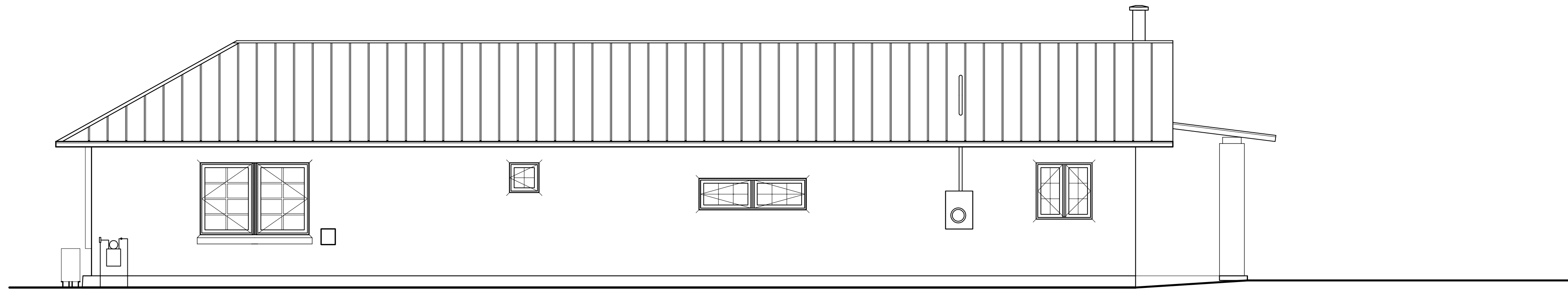
Scale Sheet
AS NOTED
Job OH-24 A1.2



2 PROPOSED FLOOR PLAN

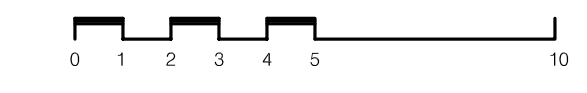


1 EXISTING FLOOR PLAN



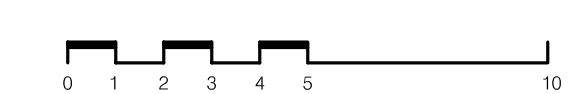
3 EXISTING NORTH ELEVATION (no change)

1/4"=1'-0"



1/4"=1'-0"

2 EXISTING SOUTH ELEVATION



1/4"=1'-0"

1 PROPOSED SOUTH ELEVATION

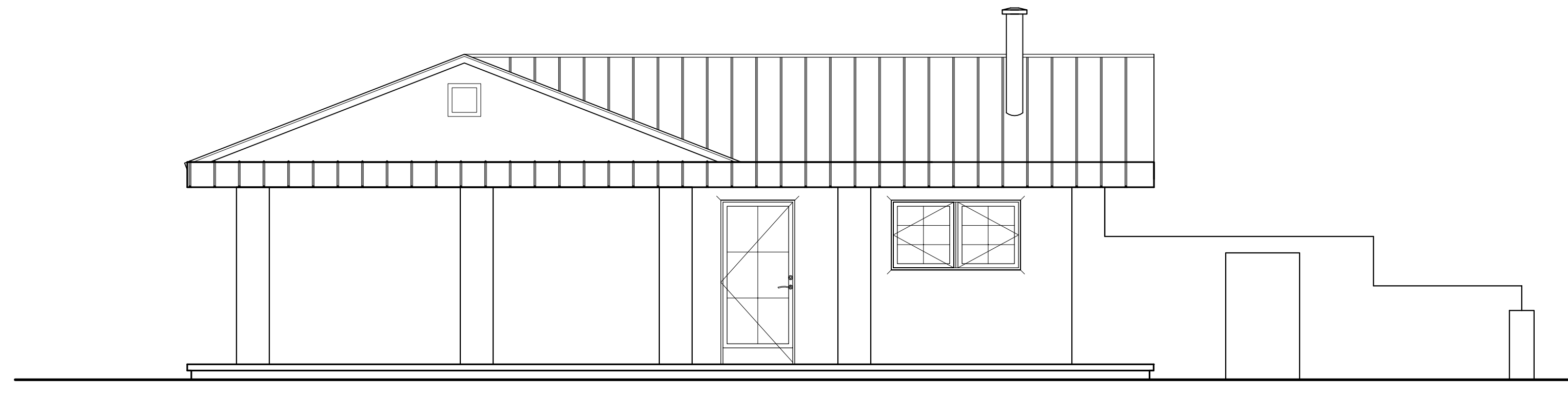
DECK & RAILING REHAB
1182 CERRO GORDO
SANTA FE NM
87501

Issues	No.	Date	Description
	1	10/09/24	

Revisions	No.	Date	Description

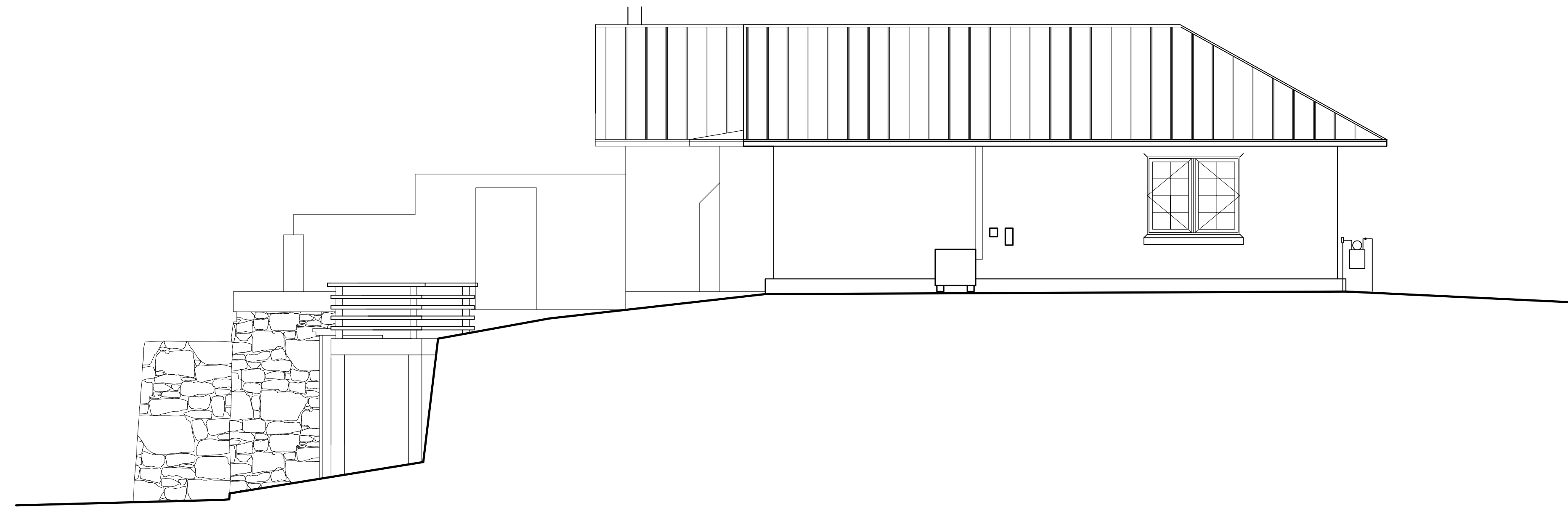
Title
ELEVATIONS

Scale Sheet
AS NOTED
Job OH-24 A4.1



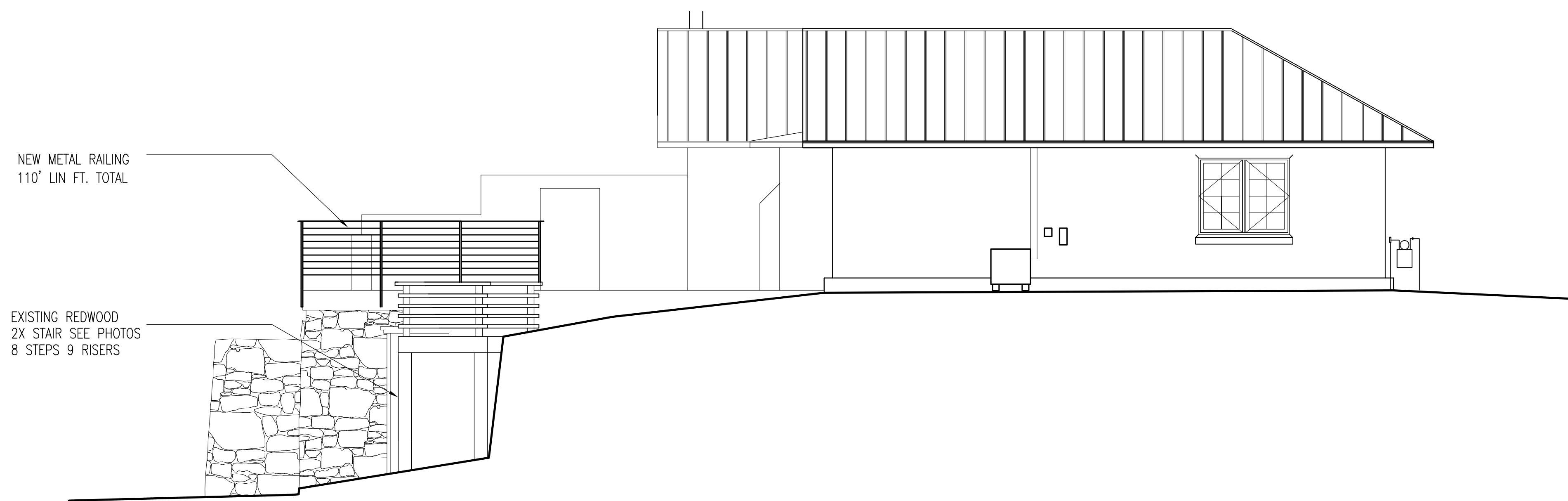
4 EXISTING WEST ELEVATION (no change)

1/4"=1'-0"



2 EXISTING EAST ELEVATION

1/4"=1'-0"



1 PROPOSED EAST ELEVATION

0 1 2 3 4 5 10
1/4"=1'-0"

REMODEL
1518 1/2 CERRO GORDO
SANTA FE NM
87501

Issues	No.	Date	Description
	1	10/09/24	
Revisions	No.	Date	Description

ELEVATIONS

Scale AS NOTED
Job 03-22 Sheet A4.2