

December 16, 2024

Dear Historic Districts Review Board and City Staff,

I, Rachel Heydemann, the owner of the property at 1525 Upper Canyon Road, am submitting this application to replace the home's existing windows and doors to honor and protect its historic significance, its Old Santa Fe design standard. I am also applying to conduct a re-stucco in the same buckskin color: El Rey Buckskin Stucco Finish.

There are nine windows in the home. I will replace eight of the nine with exact replicas – equal dimensions, in the precise divided light patterns currently represented, refurbished exterior frames in white, matching the current pattern and type of window. Six of the windows are six over six divided light double hung sash windows. In the enclosed porch, there are four repurposed eight lite sash windows arranged in a wood frame and a steel-framed nine lite steel window. I will replace those in the same pattern, in a modern, energy efficient version.

The ninth window is an exception: it is a non-historic window, likely added when a bathroom was installed inside the home (which was not typical at the time the home was built) to provide ventilation for that interior addition. That room will remain a bathroom, thus ventilation is important, however the window is out of character with the historic pattern of the other windows. It is much smaller, single pane casement window, and disruptive to the primary facade in its incongruous design. I propose to replace this window, as shown in the elevations, with an exact match of the other windows on this facade.

I believe this will enhance the facade by creating balance, harmony, and symmetry that currently feels disjointed, haphazard, and unattractive. In that regard, this change meets the intentions of the historic board. When an installation was done in a way that undermines the historical integrity of the neighborhood, whether due to a lack of aesthetic awareness, lack of commitment to the cause of preservation, limited financial resources and use of any available material, or any other reason, our only choice is to attempt to redeem that decision and create integrity and harmony where it was lacking.

All windows will be replaced with aluminum clad.

Additionally, the door on the non-primary north-facing facade will be replaced with a door that is more harmonious than the existing black, metal door. The door will be wood and will feature a consistent divided light pattern to fit in with the vernacular of the home.

~

Brief history:

The Tobias and Gumecinda Lujan house constructed in the 1930's at 1525 Canyon Road is a 980 sq. ft. adobe single family residence. The house faces southeast toward Canyon Road and is simple in its expression. Its walls are thick and without articulation. The unaltered core of the house dates to at least 1948, as discernable in aerial photography. The only significant change is the enclosure and raising of the roof of the northwest porch in 1978.

~

Thank you very much for your service to our community.

Sincerely,

Rachel Heydemann

Historic Districts and Historic Landmarks
Design Standards and Signage Exception Criteria

- (i) Do not damage the character of the district

Response:

Windows A and B need to be addressed to preserve the historic structure. They will be replaced with exact replicas – in like and kind – thus preserving the character of the district.

Note, that though the sills are buried in the wall with a flush concrete sill added to exterior. Since sills are flush it is allowing water to run back into the adobe wall causing damage.

- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Response:

As per the professional opinion of Ra N. Patterson, the current windows are allowing water to run back into the adobe wall, causing significant damage to the structure by deteriorating the adobe wall and compromising its structural integrity. The adobe wall will continue to erode if this issue is not resolved, posing tremendous risk to the overall property with the potential for complete disintegration over time. The windows cannot be preserved nor can the situation continue to be neglected to live safely in the structure and to also ensure the short and long term preservation of the historic property with integrity.

The windows need to be replaced in order to protect the structure to mitigate this drainage issue. As Ra. Patterson detailed, the windows *need* to be replaced.

“The windows perimeter jamb is also the buck for the opening, meaning the window would be destroyed during removal. Therefore, a new window will need to be made in like and kind for the two windows.”

- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response:

The replacement windows for A + B will strengthen the unique heterogeneous character by remaining contiguous with the existing design while also protecting the overall structure of the historic home from continuous and inevitable disintegration. Granting this exception is an act of integrity to the mission of this board in service of preserving historic structures by allowing me to invest in the protection of this cultural and historical asset. With each passing year left neglected, it becomes more difficult if not impossible to maintain this house for posterity.



South Side – Residence Front Elevation



East Side - Residence Elevation

1525 U Canyon Rd.

Heydemann Residence

4-12-2024



North Side – Residence Rear Elevation



West Side - Residence Elevation

1525 U Canyon Rd. Heydemann Residence

4-12-2024



South Side - Shed / Garage Front Elevation



East Side – Shed / Garage Elevation



North Side – Shed / Garage Rear Elevation



West Side – Shed / Garage Elevation

1525 U Canyon Rd.

Heydemann Residence

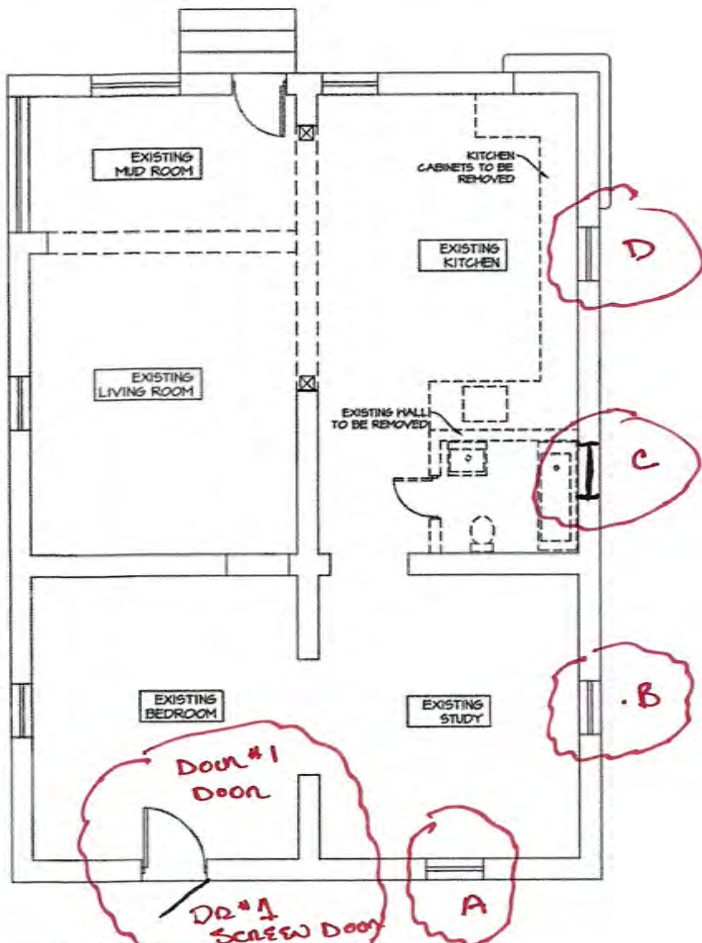
4-12-2024



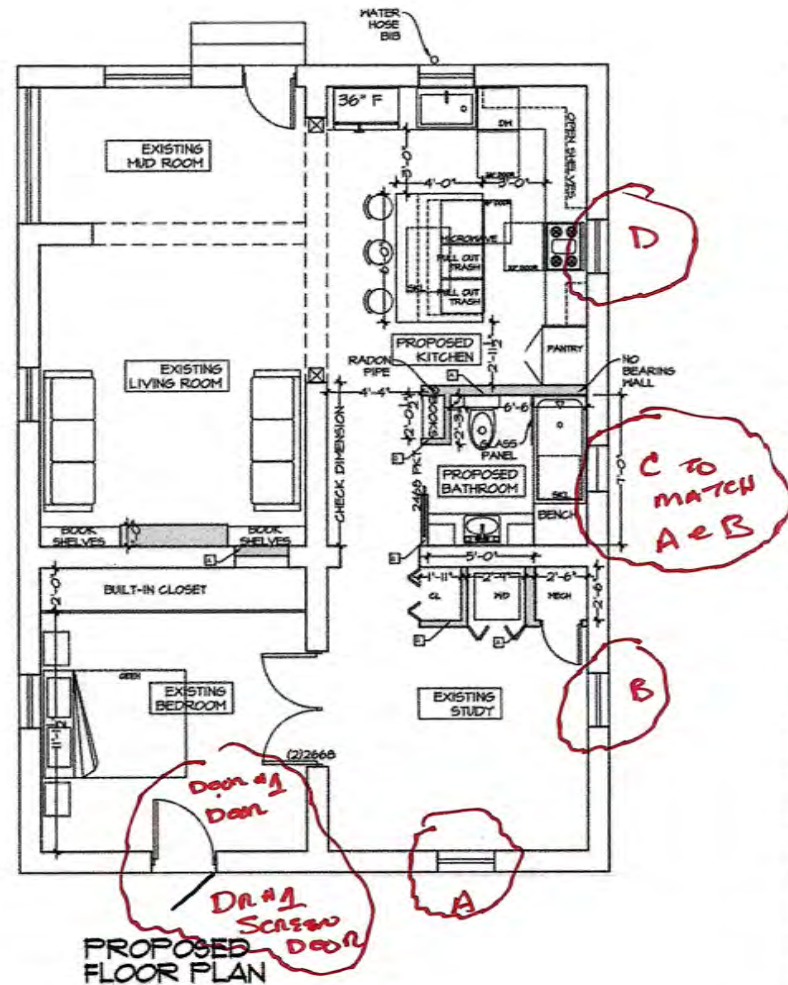
Street View – Looking East - U Canyon Rd.



Street View – Looking West - U Canyon Rd.



EXISTING FLOOR PLAN - DEMO PLAN



PROPOSED FLOOR PLAN

WALL KEY

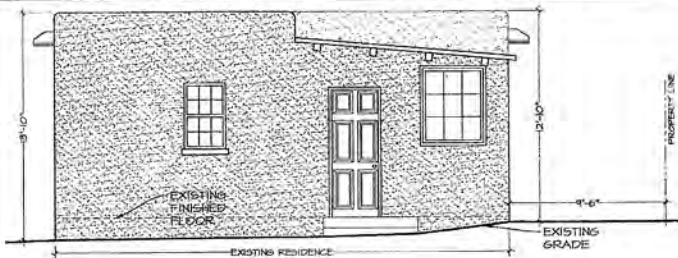
<p>A INTERIOR WALL - 2X6 WOOD STUD @ 16" O.C. WITH BLOWN CELLULOSE INSULATION, 7/16 GYPSUM WALL BOARD ON EACH SIDE.</p>	<p>7/16 DRYWALL - 2X6 STUD - R13 BLOWN INSULATION 7/16 DRYWALL</p>
<p>B INTERIOR WALL - 2X4 WOOD STUD @ 24" O.C. 7/16 GYPSUM WALL BOARD WITH TEXTURE FINISH ON EACH SIDE.</p>	<p>7/16 DRYWALL - 2X4 STUD 7/16 DRYWALL</p>

REVISIONS:

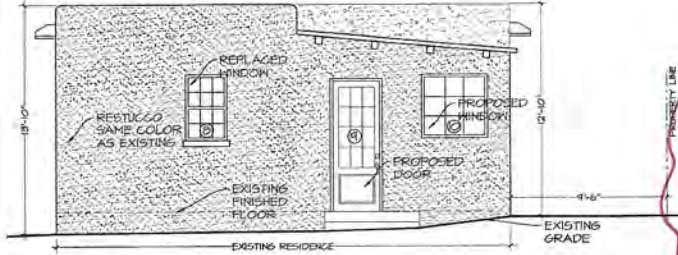
NO.	DATE	DESCRIPTION
1		FLOOR PLAN
2		MECH. ROOM
3		NEW KITCHEN
4		NEW MECH ROOM

DATE: _____
DRAWN BY: _____
CHECKED BY: _____

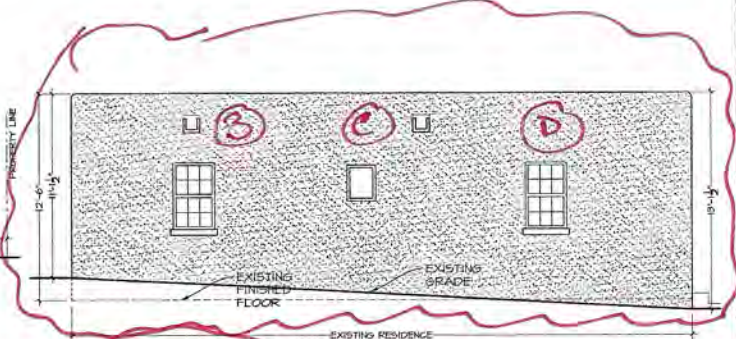
SHEET TITLE
PROPOSED FLOOR PLAN
SCALE
1/4" = 1'-0"



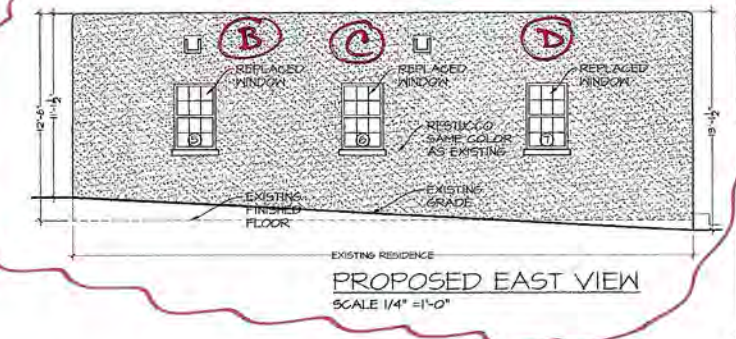
EXISTING NORTH VIEW
SCALE 1/4" = 1'-0"



PROPOSED NORTH VIEW
SCALE 1/4" = 1'-0"



EXISTING EAST VIEW
SCALE 1/4" = 1'-0"



PROPOSED EAST VIEW
SCALE 1/4" = 1'-0"

DK
design
construction
DANIEL KALOGERIN
330 7865765
kalogerindesign@gmail.com

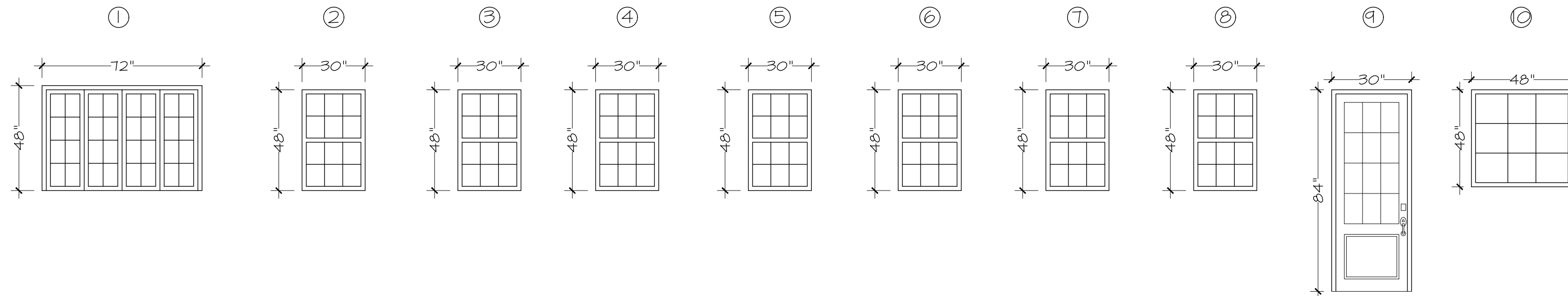
EXTERIOR WINDOWS & DOORS REPLACEMENT
1525 UPPER CANYON RD.
SANTA FE, NM

NO.	REVISIONS	DATE
1	NEW FLOOR PLAN	
2	PERM. RIGHT	
3	NEW KITCHEN	

SHEET TITLE: **ELEVATIONS**
SCALE: **1/4" = 1'-0"**

A201
12.12.24

WINDOWS & DOOR SCHEDULE			
ITEM	OVERALL SIZE	LOCATION	TYPE
1	72"x48"	MUDROOM	ALUMINIUM CLAD, TRUE DIVIDE LITE.
2	30"x48"	LIVING ROOM	DOUBLE HANG, ALUMINIUM CLAD, TRUE DIVIDE LITE.
3	30"x48"	BEDROOM	DOUBLE HANG, ALUMINIUM CLAD, TRUE DIVIDE LITE.
4	30"x48"	BEDROOM	DOUBLE HANG, ALUMINIUM CLAD, TRUE DIVIDE LITE.
5	30"x48"	STUDY	DOUBLE HANG, ALUMINIUM CLAD, TRUE DIVIDE LITE.
6	30"x48"	BATHROOM	DOUBLE HANG, ALUMINIUM CLAD, TRUE DIVIDE LITE.
7	30"x48"	KITCHEN	DOUBLE HANG, ALUMINIUM CLAD, TRUE DIVIDE LITE.
8	30"x48"	KITCHEN	DOUBLE HANG, ALUMINIUM CLAD, TRUE DIVIDE LITE.
9	36"x84"	BACK DOOR	WOOD DOOR, WITH 12 TRUE DIVIDE LITE .
10	48"x48"	MUD ROOM- REAR SIDE	ALUMINIUM CLAD, DIVIDE LITE.



REVISIONS:

DATE	DESCRIPTION
1 4/16	FLOOR PLAN
2 4/17	MECH. ROOM
2 4/17	NEW KITCHEN

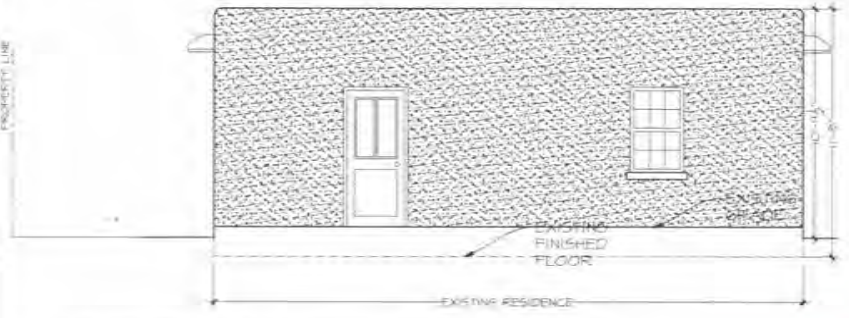
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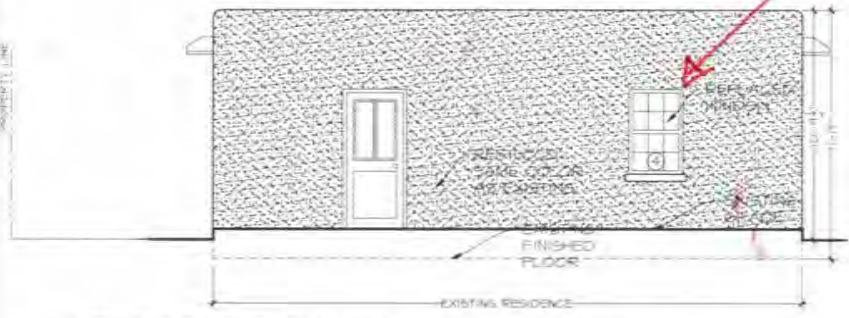
CHECKED BY:

SHEET TITLE
**WINDOWS & DOOR
SCHEDULE**
SCALE

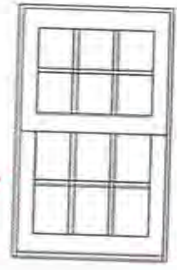
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EXISTING SOUTH VIEW - FRONT
SCALE 1/4" = 1'-0"



PROPOSED SOUTH VIEW-FRONT
SCALE 1/4" = 1'-0"

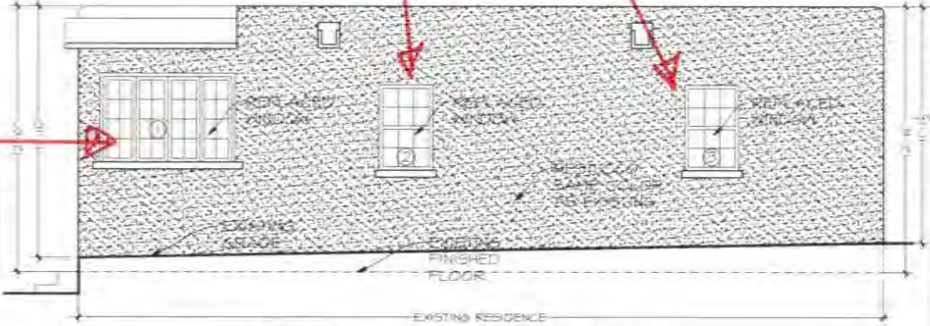


RO: 28"x45 1/2"
Jamb: 4 9/16"
Loc: LIVING ROOM
Sym: 2

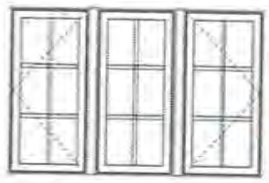
3. BEDROOM
4. Study



EXISTING WEST VIEW
SCALE 1/4" = 1'-0"



PROPOSED WEST VIEW
SCALE 1/4" = 1'-0"



RO: 73 1/2"x48 3/4"
Jamb: 4 9/16"
Loc: MUDROOM
Sym: 1














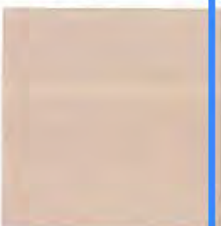













Locator
on Applicator Locator

Color Charts

*COLOR SELECTED TO MATCH EXISTING

Premium Stucco Finish Colors

				
Cameo 102 (67)	Colonial White 100 (76)	Madera 212 (24)	Candlelight 90 (75)	Hacienda 127 (52)
				
Cream 128 (70)	Ivory 129 (70)	La Morena 197 (19)	Soapstone 30 (66)	Fawn 117 (45)
				
Palomino 119 (55)	Navajo White 101 (71)	Sandalwood 121 (56)	Straw 122 (42)	Buckskin 106 (35)
				
Kokanee 108 (54)	Sand 103 (52)	Denim 107 (44)	Sahara 135 (35)	Adobe 116 (24)
				
Suede 118 (38)	Bamboo 105 (47)	Ash 110 (64)	Soft Rose 80 (60)	Cottonwood 115 (32)

DK

design
construction

DANIEL
KALOGERINI
330 7865765
kalogerini@gmail.com

DO NOT RE-SCALE DRAWINGS
CONTRACTOR SHALL VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS- NOTIFY DESIGNER
OF ANY DISCREPANCIES
PRIOR TO BEGINNING
CONSTRUCTION.

DATE REVISION
REVISIONS:

PROJECT TITLE:

HOME
REMODELING

1525 UPPER
CANYON RD.
SANTA FE

OWNER'S NAME

DATE

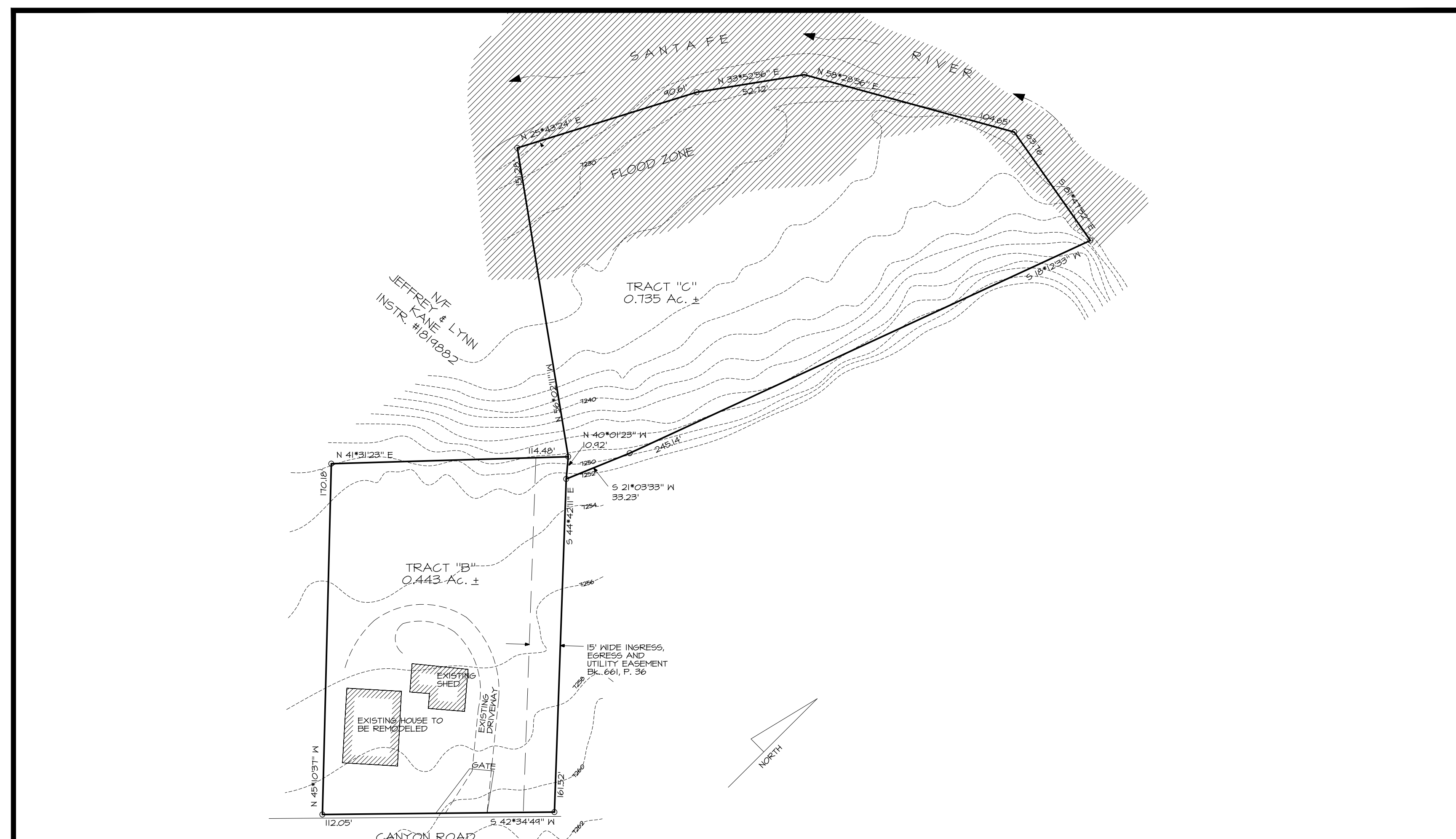
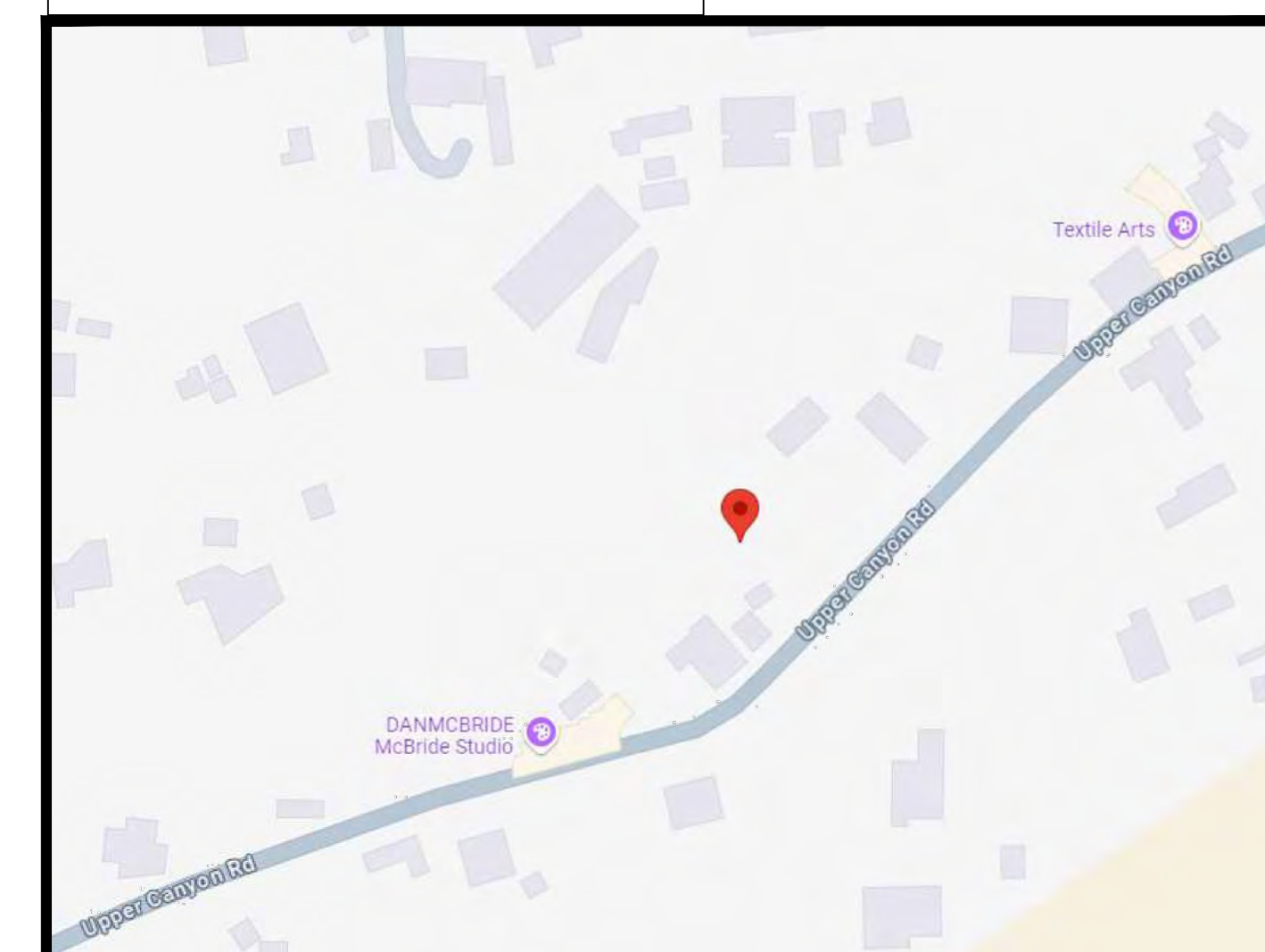
DATE

TITLE SHEET

COVER
SHEET

CS

VICINITY MAP :



SITE PLAN

GENERAL NOTES

THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO REQUIRE AND TO INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR THE WORK. THE CONTRACTOR SHALL INSPECT AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, DETAILS, UTILITY SERVICES, AND ACCESS TO THE SITE. IF ANY DISCREPANCIES ARE FOUND, REPORT IMMEDIATELY TO THE OWNER OR HIS DESIGNATED REPRESENTATIVE.

DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL PERTINENT CODES GOVERNED BY THE JURISDICTION IN WHICH THIS PROJECT IS BEING CONSTRUCTED.

OWNER AND DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS, OR FOR CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN STRICT ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

ALL QUESTIONS SHALL BE DIRECTED TO THE OWNER OR HIS DESIGNATED REPRESENTATIVE.

IT IS INTENDED THAT THE WORK SHOWN AND SPECIFIED CONSTITUTE A FINISHED, FULLY WORKABLE PROJECT. EACH CONTRACTOR IS RESPONSIBLE TO PROVIDE A COMPLETE JOB WHETHER OR NOT EACH SHALL BE CONSULTED WHEN ANY QUESTION ARISES RELATIVE TO MATERIALS NOT SPECIFICALLY SHOWN OR SPECIFIED.

COORDINATE WORK OF ALL DISCIPLINES (DESIG., STRUCT., ELECT., ETC.) WITH EXISTING CONDITIONS, SPECIAL REQUIREMENTS, CONSTRUCTION SCHEDULE AND OTHER CONTRACTORS PERFORMING WORK AT SITE.

CONTRACTOR SHALL DESIGN AND PROVIDE ALL TEMPORARY SHORING, BRACING, ETC. AS NEEDED FOR THE WORK SO AS TO NOT ENDANGER ANY EXISTING STRUCTURAL INTEGRITY.

FINISHED DOOR OPENINGS SHALL BE A NOMINAL 2- 1/4" FROM FINISHED CORNER OF ROOM EXCEPT WHERE DIMENSIONED OTHERWISE.

NO UTILITIES MAY BE DISCONNECTED OR OTHERWISE INTERRUPTED WITHOUT PRIOR APPROVAL OF OWNER OR HIS DESIGNATED REPRESENTATIVE.

STRUCTURAL WOOD

ROOF FRAMING
DO NOT NOTCH OR DRILL JOISTS, BEAMS, OR LOAD BEARING STUDS WITHOUT PRIOR APPROVAL OF STRUCTURAL ENGINEER OR DESIGNER. PROVIDE 2X SOLID BLOCKING AT SUPPORTS OF ALL JOISTS. DOUBLE UP STUDS AT JAMBS AND UNDER BEAMS IN BEARING WALLS. PROVIDE MID-HEIGHT BLOCKING. ALL NAILINGS OF JOISTS SHALL BE COMMON OR SMOOTH BOX NAILS, ALL DIAPHRAGM ATTACHMENTS SHALL BE ASSUMED AS COMMON NAILS WITH ACCEPTABLE ALTERNATIVES AS SHOWN IN ICB REPORT #2403 FOR THE SAME ALLOWABLE LATERAL STRENGTH.

WALL FRAMING - PER PLANS

HARDWARE
ALL HARDWARE CONNECTIONS PER SIMPSON FRAMING CATALOG. ALL TRUSS MEMBERS @ 24" O.C. (I.N.O.) MULTIPLE STUDS OR POSTS EACH SIDE BEAMS AND HEADERS TO WIDTH OF BEAM. CONTRACTOR TO VERIFY AND CONFIRM ALL FIELD CONDITIONS PRIOR TO TRUSS FABRICATION. ALL BLOCKING PER TRUSS MANUFACTURER SPECS AND RECOMMENDATIONS. DO NOT DEVIATE FROM DESIGN WITHOUT WRITTEN CONSENT FROM DESIGNER. DO NOT SUBSTITUTE HARDWARE WITHOUT WRITTEN CONSENT FROM DESIGNER.

TRUSS INSTALLATION PER MANUFACTURER SPECS.-SUBMIT SHOP DRAWINGS TO DESIGNER PRIOR TO FABRICATION.
LOADS: FLAT ROOFS: LIVE LOAD 25 PSF DEAD LOAD 15 PSF LATERAL - SEISMIC: CATEGORY D o R_w = 5.5, WIND: 90mph, EXPOSURE 'C'

WOOD
SAWN LUMBER- FRAMING LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY. JOISTS, LEDGERS, BEAMS, ETC., SHALL HAVE THE FOLLOWING MINIMUM BASE DESIGN PROPERTIES OF DOUGLAS FIR-LARCH:
DIM LUMBER #2 875 95 1,600,000
BEAMS > 4" WIDE #1 1350 85 1,600,000
POSTS > 5" x 5" #1 1200 85 1,600,000
STUDS 2X4 15 1,600,000

**SHEATHING @ WOOD TO WOOD - ALL SHEATHING SHALL BE APA RATED SHEATHING, EXPOSURE 1 SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. LAY UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER JOINTS. ALL NAILING COMMON NAILS. ALL SHEATHING SHALL BE OF THE FOLLOWING THICKNESS, SPAN / INDEX RATIO AND SHALL BE NAILED AS FOLLOWS:
USE THICK'S 5/16" RATIO EDGE INTERM ROOF 5/8" T46 32/16 AS ON DWG 65 8D AT 12"**

STRUCTURAL NOTES

DESIGN CRITERIA
GRAVITY LOADS:
ROOF DEAD LOAD (PSF) LIVE LOAD (PSF)
= 25 PSF = 20 PSF
MECHANICAL - AS NOTED ON DRAWINGS
SEISMIC FOR NON-STRUCTURAL COMPONENTS: ASCE 7-05

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

SEE ARCHITECTURAL DRAWINGS FOR THE FOLLOWING:
- SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS, EXCEPT AS NOTED.
- SIZE AND LOCATION OF ALL INTERIOR AND EXTERIOR NONBEARING PARTITIONS.
- SIZE AND LOCATION OF ALL CONCRETE CURBS, FLOOR DRAINS, SLOPES/DEPRESSED AREAS, CHANGES IN LEVER, CHAMFER, GROOVES/INSERTS, ETC.
- SIZE AND LOCATION OF FLOOR AND ROOF OPENINGS EXCEPT AS SHOWN.
- FLOOR AND ROOF FINISHES.
- STAIR FRAMING AND DETAILS (EXCEPT AS SHOWN).
- DIMENSIONS NOT SHOWN ON STRUCTURAL DRAWINGS.

SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR THE FOLLOWING:
- PIPE RUNS, SLEEVES, HANGER, TRENCHES, WALL AND SLAB OPENINGS, ETC., EXCEPT AS SHOWN OR NOTED.
- ELECTRICAL CONDUIT RUNS, BOXES, OUTLETS IN WALLS AND SLABS.
- CONCRETE INSERTS FOR ELECTRICAL, MECHANICAL OR PLUMBING FIXTURES.
- SIZE AND LOCATION OF MACHINE OR EQUIPMENT BASES, ANCHOR BOLTS FOR MOUNTS.

CODE ANALYSIS DATA

APPLICABLE CODES:
2021 NEW MEXICO RESIDENTIAL BUILDING CODE
2021 NM EXISTING BUILDING CODE
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL FIRE CODE
2021 NM ENERGY CONSERVATION CODE

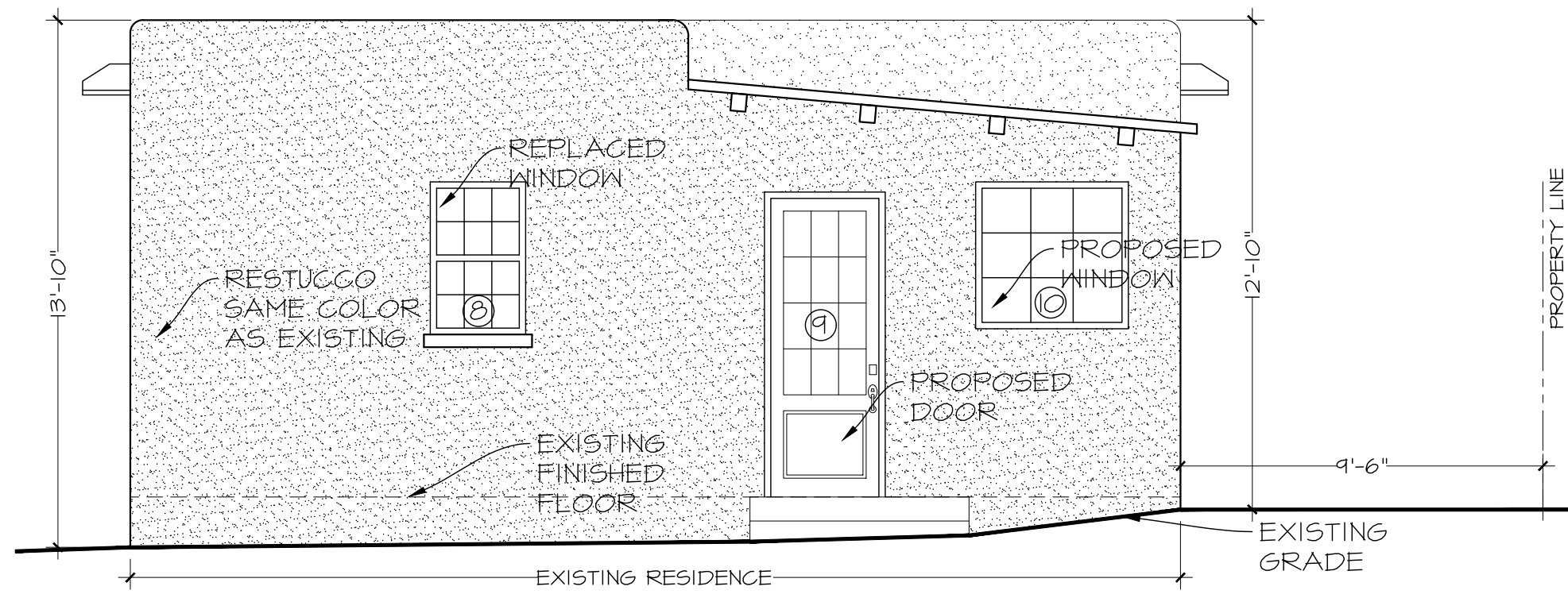
EXISTING AREAS	
HEATED AREA	1,035 SQ. FT
SHED AREA	490 SQ. FT
TOTAL	1,525 SQ. FT

INDEX TO DRAWINGS

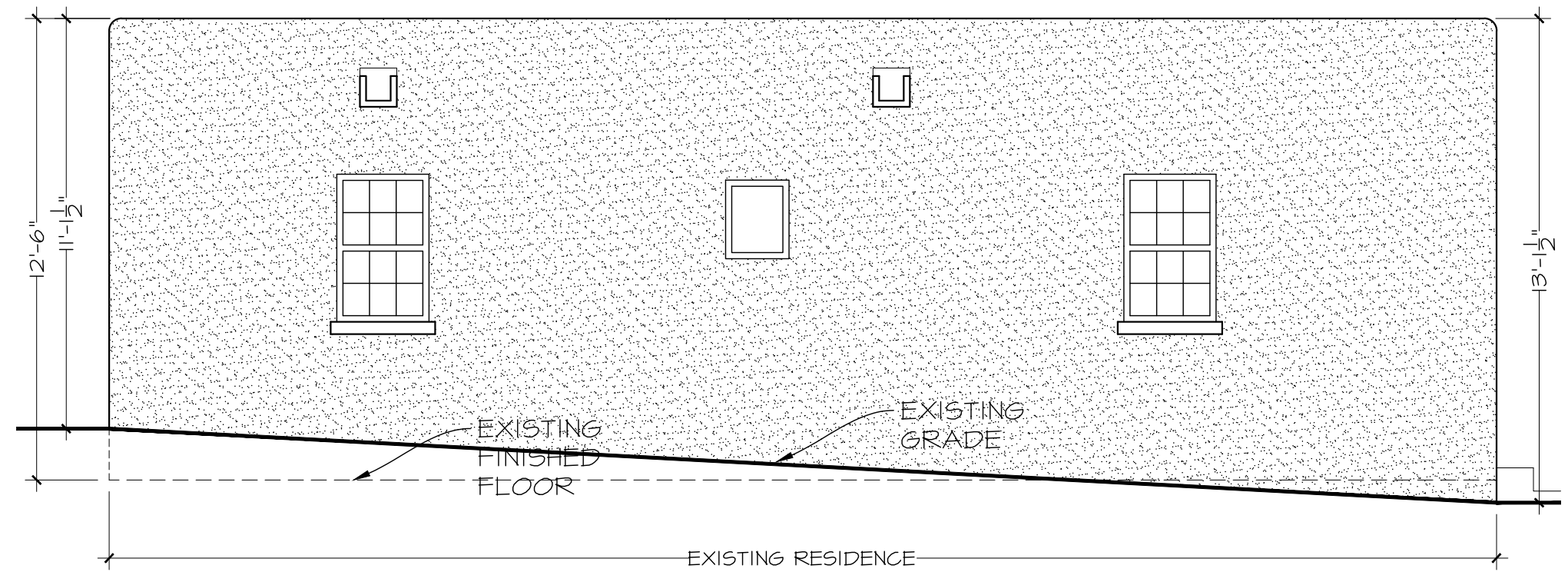
- CS COVER SHEET
- V101 SITE PLAN
- A101 FLOOR PLAN
- A201 ELEVATIONS
- A202 ELEVATIONS
- E101 ELECTRIC PLAN



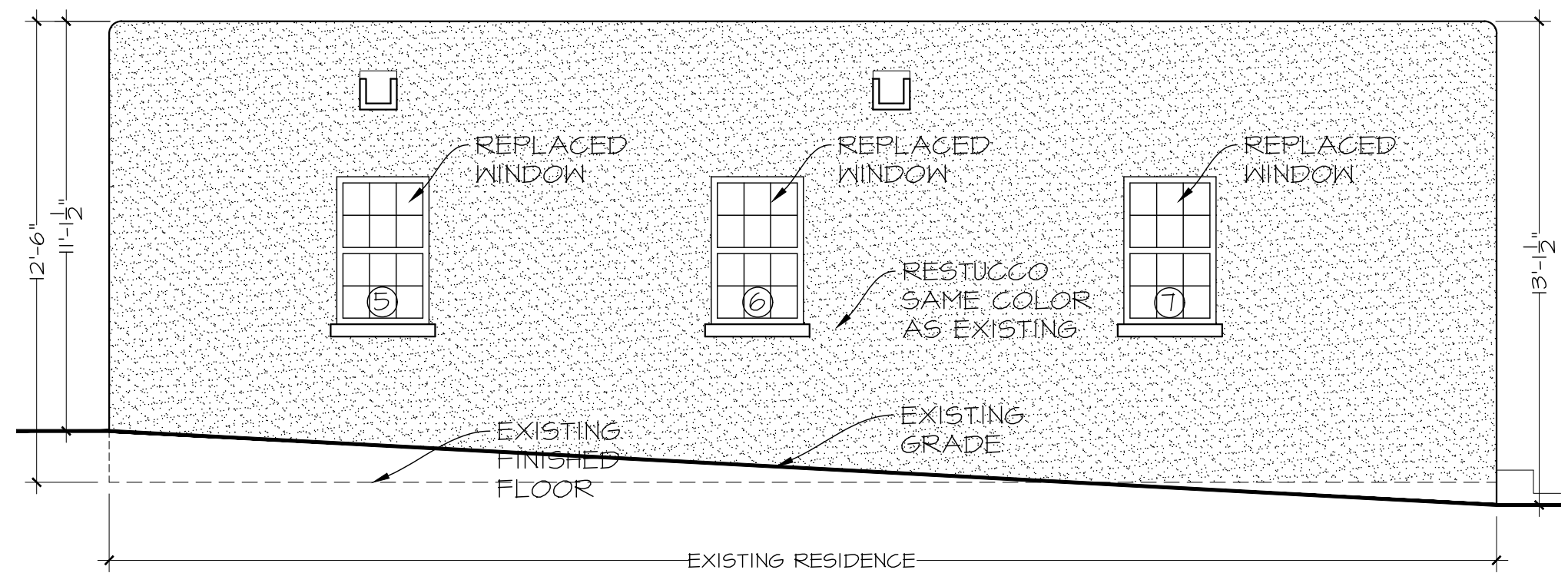
EXISTING NORTH VIEW
SCALE 1/4" = 1'-0"



PROPOSED NORTH VIEW
SCALE 1/4" = 1'-0"



EXISTING EAST VIEW
SCALE 1/4" = 1'-0"



PROPOSED EAST VIEW
SCALE 1/4" = 1'-0"

REVISIONS:

DATE:

1	4/16	FLOOR PLAN
2	4/17	MECH. ROOM
2	4/17	NEW KITCHEN

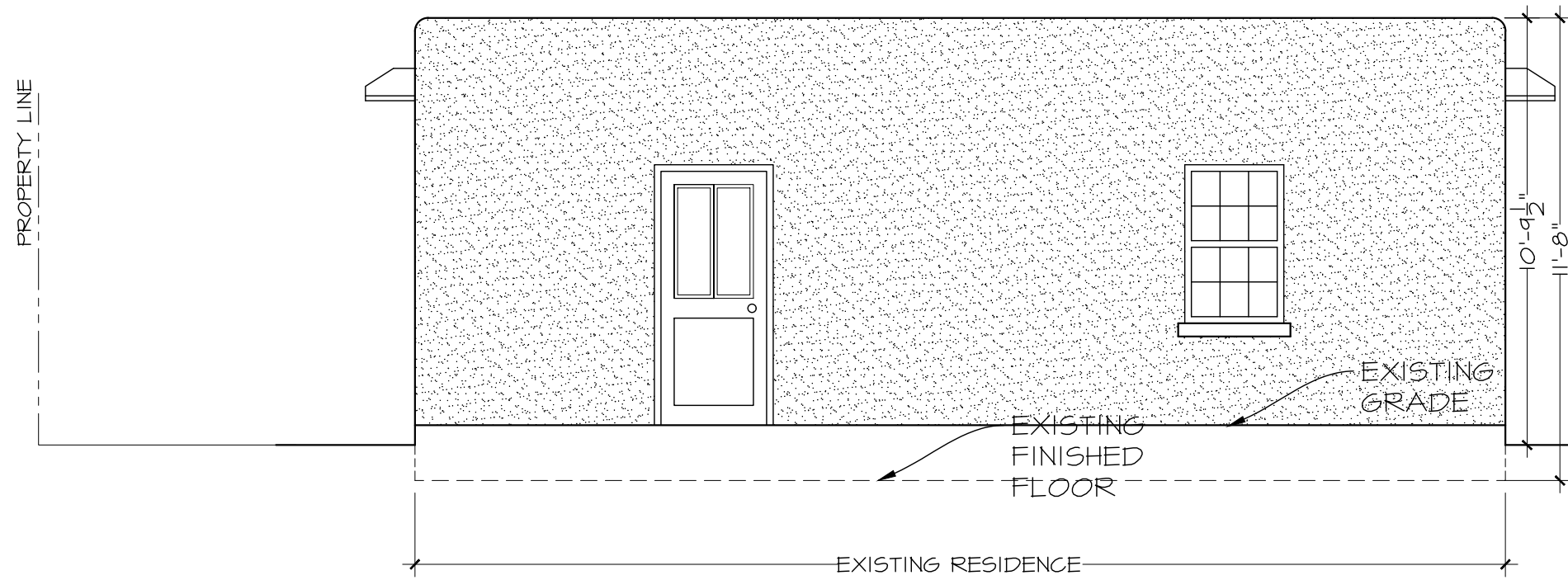
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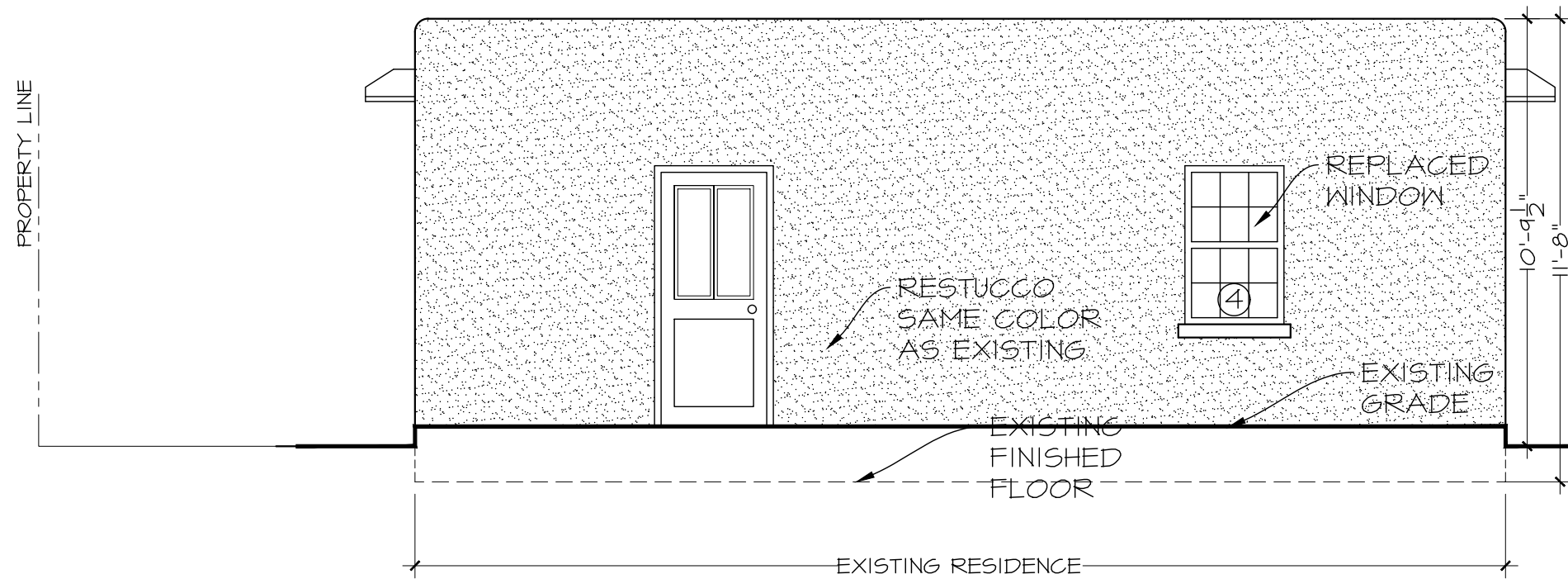
CHECKED BY:

SHEET TITLE

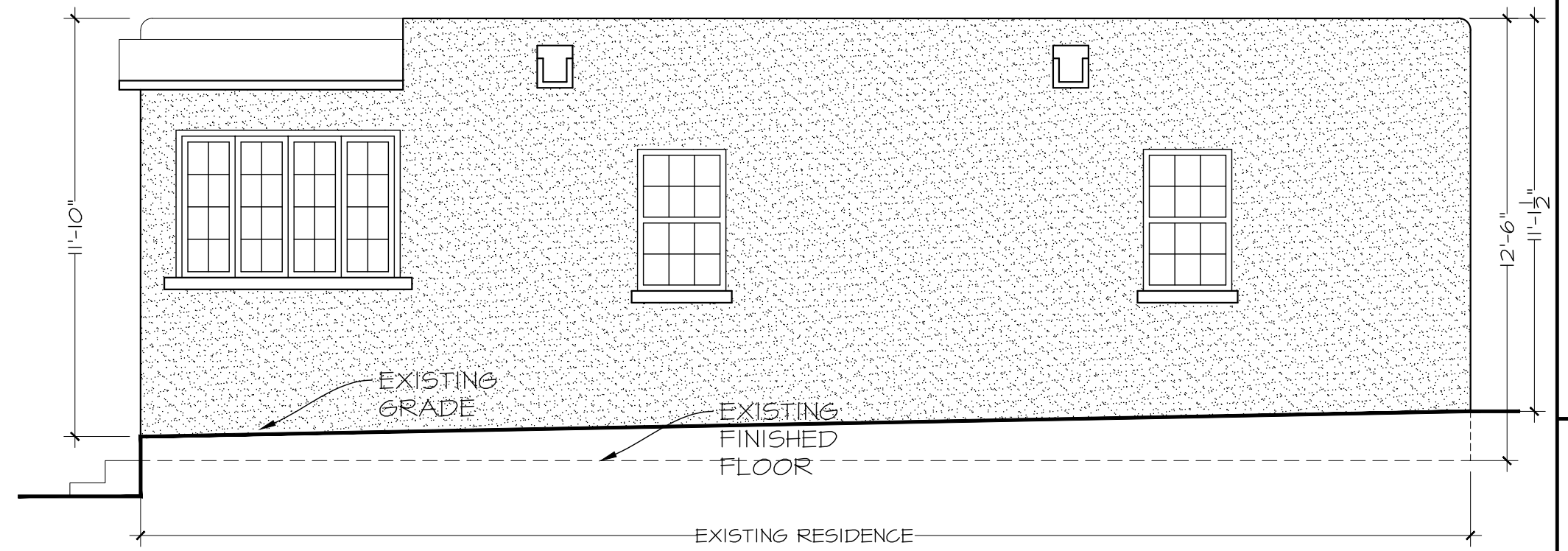
ELEVATIONS
SCALE
1/4" = 1'-0"



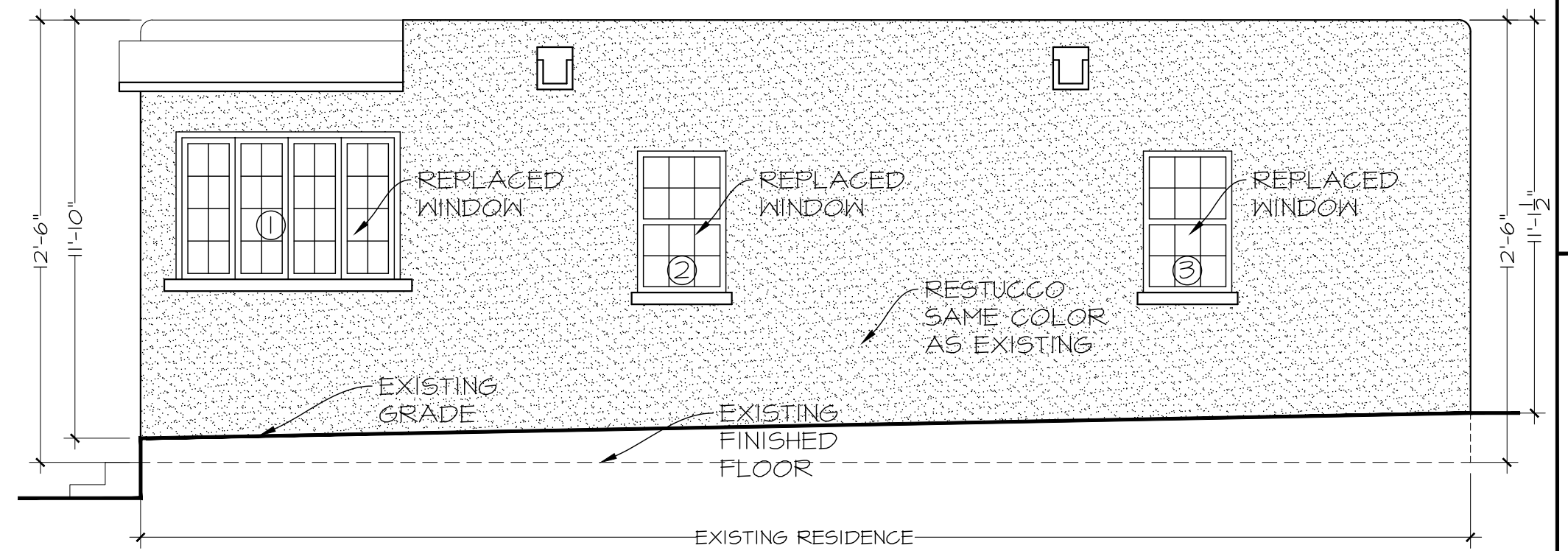
EXISTING SOUTH VIEW - FRONT
SCALE 1/4" = 1'-0"



PROPOSED SOUTH VIEW- FRONT
SCALE 1/4" = 1'-0"



EXISTING WEST VIEW
SCALE 1/4" = 1'-0"



PROPOSED WEST VIEW
SCALE 1/4" = 1'-0"

REVISIONS:

DATE:

1	4/16	FLOOR PLAN
2	4/17	MECH. ROOM
2	4/17	NEW KITCHEN

DATE:

DRAWN BY:

CHECKED BY:

SHEET TITLE

ELEVATIONS
SCALE
1/4"=1'-0"

A202
12.12.24

WARRANTY DEED

Jose E. Lujan

TO

Tobias Lujan

STATE OF NEW MEXICO,)
County of Santa Fe) ss. #35778

I Hereby certify that this instrument was filed for record on the 11 day of July A. D. 1928, at 10 o'clock A.M., and was duly recorded in Book 8, page 24.

M. C. Safford,
County Clerk

M. McNitt,
Deputy

THIS INDENTURE, Made the 9th day of July in the year of our Lord One Thousand, Nine Hundred and twenty-eight between Jose E. Lujan, a single man,

of Santa Fe County, New Mexico

part of the first part, and Tobias Lujan, of Santa Fe, New Mexico,

part of the second part.

WITNESSETH, that the said party of the first part, for and in consideration of the sum of Ten (\$10) Dollars

lawful money of the United States of America, to him

in hand paid by the said party of the second part, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold, remised, conveyed, released, and confirmed, and by these presents doth grant, bargain, sell, remise, convey, release and confirm unto the said party of the second part, his heirs and assigns, forever, all the following described lot or parcel of land and real estate, situate, lying and being in the County of Santa Fe, State of New Mexico, to-wit:

Beginning at a point on the north side of Canyon Road, which point bears S. 56degrees 58' west from a concrete and iron marker located in east line of Santa Fe Grant where it crosses dam of Santa Fe Water & Light Co.; thence N. 42 degrees 55' West along a small acequia 163.93 feet to an old wall, thence in a westerly direction along the line of said old wall 114 1/2 feet, more or less, thence, thence in a southeasterly direction 173 feet, more or less, to the northerly side of Canyon Road, thence N. 45 degrees 23' East 112 1/2 feet, more or less, to the point of beginning; also another tract of land lying to the northeast of the above described tract, and having for its west line the east line of that certain tract conveyed by the grantor in July, 1928, to Bernardino Lujan, and bounded on the north by the Santa Fe River, on the northeast by the Santa Fe River, and on the south and southeast by property of Mrs. Jose F. Trujillo, Higinio Martinez and an old retaining wall separating this tract from the land of Higinio Martinez.

Together with all and singular the lands, tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, claim, or demand whatsoever of the said party of the first part, either in law or equity, of, in, and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD, the said premises above bargained and described, with the appurtenances unto the said party of the second part, his heirs, and assigns forever.

And the said party of the first part, for himself, heirs, executors and administrators, doth covenant, and agree to and with the said party of the second part, his heirs, and assigns, that at the time of the ensembling and delivery of these presents he is well seized of the premises above conveyed as of a good, sure, perfect and indefeasible estate of inheritance in law in fee simple and has good right, full power, and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and incumbrances, of what kind and nature whatsoever; and the above bargained premises, in the quiet and peaceable possession of the party of the second part, his heirs, and assigns, against all and every person or persons lawfully claiming or to claim the whole or any part thereof, the said party of the first part shall and will warrant and forever defend.

IN WITNESS WHEREOF, The said party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in presence of

Jose E. Lujan (L. S.)
(L. S.)
(L. S.)
(L. S.)

STATE OF NEW MEXICO,)
County of Santa Fe) ss.

On this 9th day of July, 1928, before me personally appeared Jose E. Lujan, a single man,

to me known to be the person described in and who executed the foregoing instrument and acknowledged that he executed the same as his free act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(Notarial Seal)

Ida C. Krick

My commission expires Oct. 27, 1929.

Notary Public.