

City of Santa Fe, New Mexico

memo

DATE: June 23, 2026

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, AICP Planning & Land Use Department Director
Maggie Moore, Assistant Land Use Director *MM*
Gary Moquino, Historic Preservation Division Manager GM

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LJM*

2026-012572-HDRB. 1563 Delora Estates. Historic Review District. Infinity Builders, agent for John De Lora, owner, proposes to construct a 4,173 sq. ft. residence to a height of 22'-7", where the maximum allowable is 26'-0" on a vacant lot. An exception is requested to section 14-4.6(F)(2)(IV) for a pitched roof where one is not allowed.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: height/pitch calculation
parameter

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [exception criteria]

STAFF RECOMMENDATION:

Staff finds that the exception criteria to section 14-4.6(F)(2)(IV) for a pitched roof where one is not allowed have not been met and recommends denial of the pitched roof. Staff recommends denial of the other elements of the application as they do not comply with 14-5.2(D) General Design Standards for all Historic Districts, and 14-4.6(G)(3) Historic Review Historic District Design Standards.

Sample motions:

- a. In case 2026-012572-HDRB, for 1563 Delora Estates, approve/deny the exception to 14-4.6(F)(2)(IV) to construct a pitched roof, finding that the exception criteria have/have not been met
- b. In case 2026-012572-HDRB, for 1563 Delora Estates, approve/deny the elements of the project that do not require an exception.

Should the Board deny the exception request, the applicant shall return with an alternative proposal for review and approval before proceeding to a building permit.

The property lies within the Suburban Archaeological Review District. See Chapter 14, SFCC, Article 14-14-4.2(D). There may be archaeological concerns associated with this project, and archaeological clearance may be required.



Figure 1: 1563 Delora Estates Location

BACKGROUND & SUMMARY:

Streetscape:

Delora Estates is a small subdivision located southeast of St John's College and near the intersection of Wilderness Meadow and Wilderness Gate Road. It is located in the Historic Review Historic District and consists of a total of four properties, only two are currently addressed. These include 1563 and 1571 Delora Estates. The property at 1571 Delora Estates is the only developed property at Delora Estates and was developed in 2002. The other neighboring lots are on Wilderness Gate Road to the west and south of the Estates. The developed neighboring lots were constructed in 1989, 1993, 2003, and 2011. The property to the northeast of the Delora Estates properties is undeveloped. The neighboring structures are all flat roofed, Spanish Pueblo Style homes except for one pitched ranch style home.

Site Description:

1563 Delora Estates is a 2.26-acre vacant lot that is mostly covered in vegetation. It is the second property on Delora Estates to request development. Due to the location of the property it is not under the jurisdiction of the height calculation of section 14-4.6(F). Therefore, the maximum allowable height for buildings on the property is 26'-0" which is the maximum allowable zoning height for the R1 zoning district. Per section 14-4.6(F)(2)(IV) no pitch is allowed because there are no residences with which to do a pitch calculation.

PREVIOUS CASE SUMMARIES:

ARC:

No archaeological clearance has been issued for the property.

HDRB:

No Historic Districts Review Board cases are on file for the property.

ADMINISTRATIVE:

No administrative approvals are on file for the property.

APPLICANT'S REQUEST:

The applicant proposes to:

- 1) Construct a 4,173 sq. ft. residence with garage and portals in a Northern New Mexico style. The residence is planned at 22'-7" where the maximum allowable height is 26'-0".
 - a. The heated living area of the residence is 2,470 sq. ft. The garage is 618 sq. ft. and the portals total 1,085 sq. ft. with the rear at 780 sq. ft. and the front at 305 sq. ft.
 - b. The roof is a pitched roof with an overall rise of six over twelve (please see figure 2 below). An exception to section 14-4.6(F)(2)(IV) is requested for the roof.
 - c. The roof is pro-panel metal but in burnished slate.
 - d. The windows are single-lite throughout the residence. The windows are wood-clad in black.
 - e. Window openings have 2" x 6" stuccoed exterior sills.
 - f. The doors are ¾ lite with wood panels.
 - g. The garage door is a metal roll up door.
 - h. The front and rear portals are pitched roofs with beamed gable ends, boxed stone columns with wood posts.
 - i. The residence houses a single chimney.
 - j. The residence is designed with sharp corners and no inset windows as is typical of this design.
 - k. The residence will be stuccoed in synthetic stucco in "Buckskin".

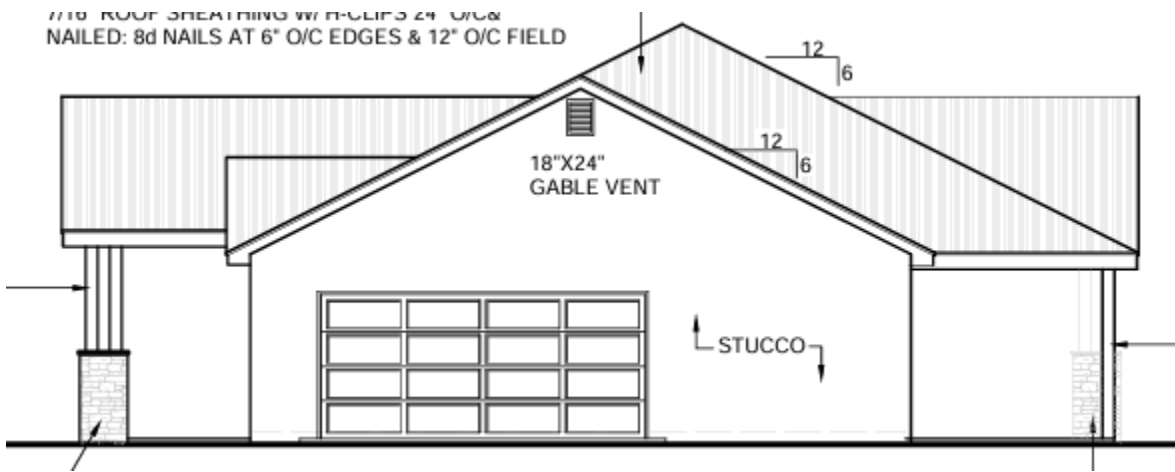


Figure 4: North Elevation

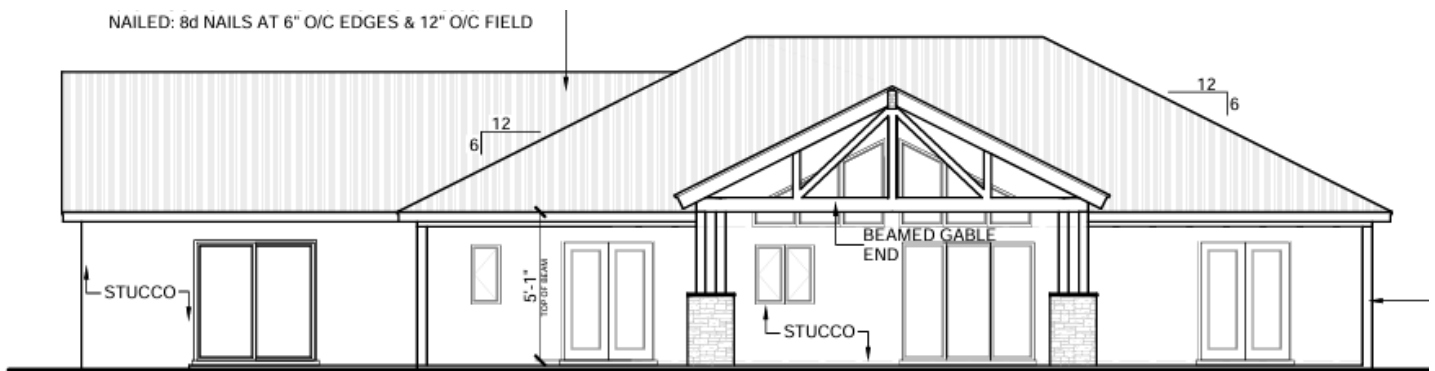


Figure 5: East Elevation

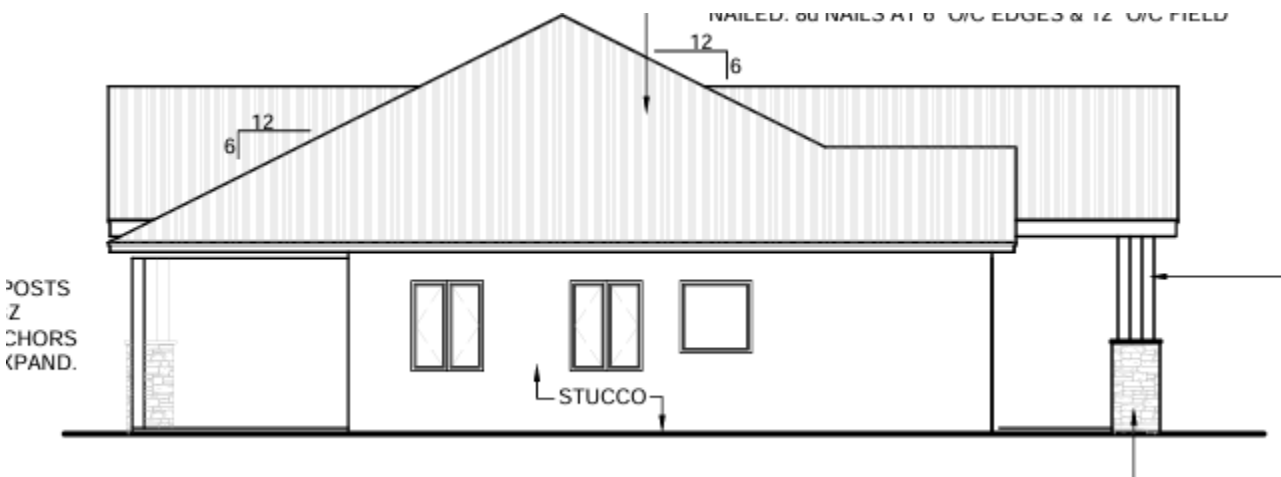


Figure 6: South Elevation

EXCEPTION CRITERIA AND RESPONSES:

Exception to section 14-4.6(F)(2)(IV): The applicant requests an exception to have a pitched roof where one is not allowed.

(i) *Do not damage the character of the district*

Applicant Response: The proposed pitched roof will not damage or detract from the character of the streetscape. Numerous homes within the surrounding neighborhood already incorporate pitched roof forms, making the proposed design consistent with existing development patterns. The roof pitch, scale, and massing have been designed to complement neighboring properties and maintain visual harmony within the district.

Staff Response: Staff find that this criterion is not met. Starting at the intersection of Wilderness View and Wilderness Gate Road and going south one-half of a mile to the intersection of Wilderness Cove and Wilderness Gate there are 20 developed properties. Of those 20 properties only two have a pitched roof. With only ten percent of the structures in a half mile of strip of road, a pitch is not standard in this development area.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The requested exception will allow construction of a durable and functional roof system that provides improved drainage and long-term performance. Denial of the request would create unnecessary design constraints without providing a corresponding public benefit. Approval of the exception will not create any injury to the public welfare and will allow the project to proceed in a practical and efficient manner.

Staff Response: Staff find that this criterion is not met. Flat roofed houses are constructed durably and with functional roof systems and have survived for hundreds of years as is indicative of our historic districts. It is a feasible design standard for Santa Fe and our historic districts.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Santa Fe's historic districts contain a variety of architectural styles and roof forms. The proposed pitched roof contributes to that diversity while remaining compatible with the surrounding neighborhood. Approval of this request supports thoughtful residential development and allows property owners reasonable flexibility in designing homes that meet modern needs while respecting historic context.

Staff Response: Staff find that this criterion is not met. Starting at the intersection of Wilderness View and Wilderness Gate Road and going south one-half of a mile to the intersection of Wilderness Cove and Wilderness Gate there are 20 developed properties. Of those 20 properties only two have a pitched roof. With only ten percent of the structures in a half mile of strip of road, a pitch is not standard in this development area. Please see Figure 7 below.

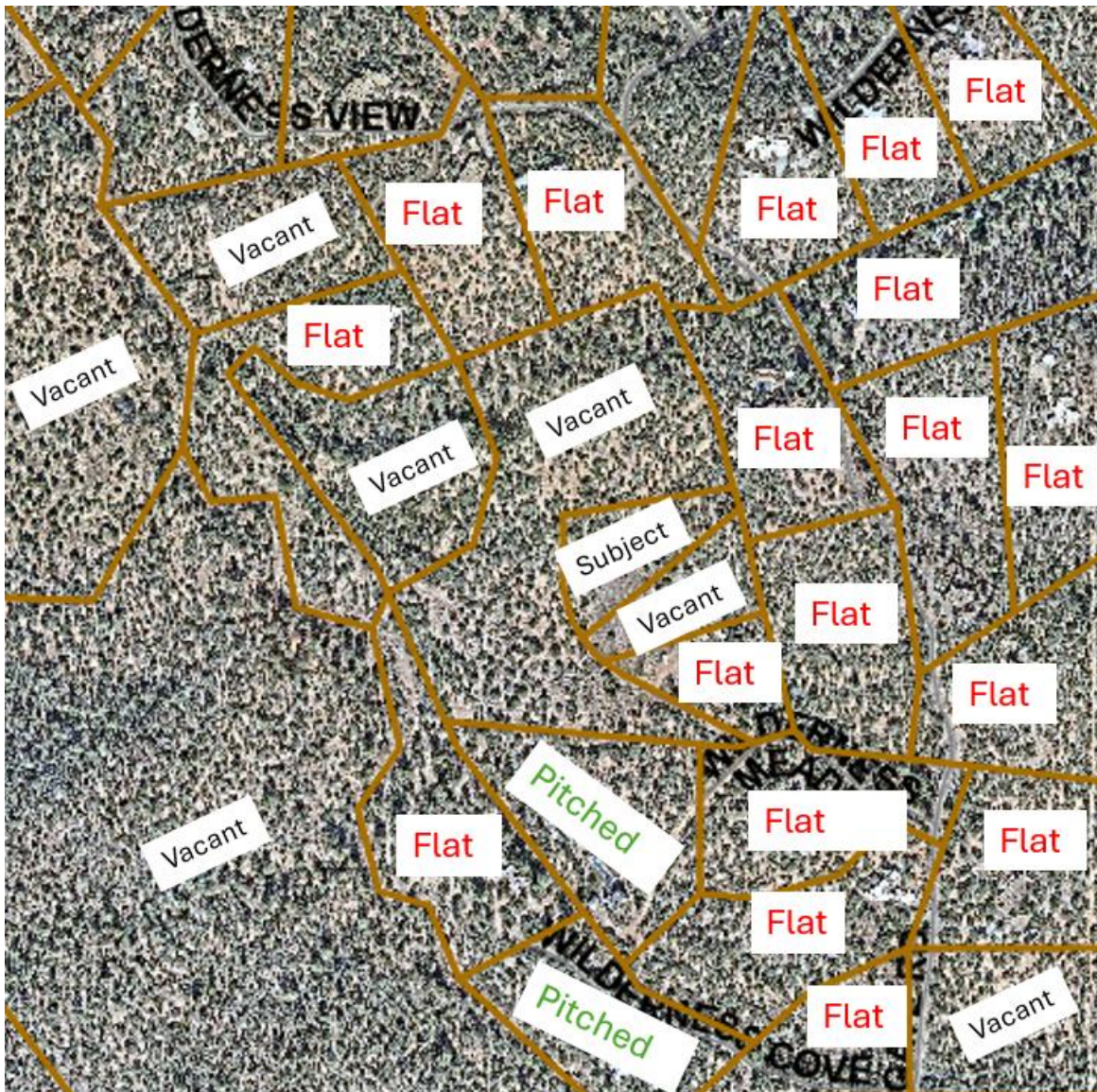


Figure 7: Pitch Roofs in the development area

These criterion were responded to but are not required for this exception request:

- (iv) *Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape;*

Applicant Response: The subject property is surrounded by a mixture of roof forms and architectural styles. The proposed pitched roof has been specifically designed to respond to the site's context, scale, and surrounding development. The request is based on the unique characteristics of this property and its immediate surroundings rather than a generalized request applicable throughout the district.

Staff Response: Staff find that this criterion is not met. Starting at the intersection of Wilderness View and Wilderness Gate Road and going south one-half of a mile to the intersection of Wilderness Cove and Wilderness Gate there are 20 developed properties. Of those 20 properties only two have a pitched roof. With only two percent of the structures in a half mile of strip of road, a pitch is not standard in this development area.

(v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant; and*
Applicant Response: The conditions supporting this request are based upon the existing character of the neighborhood and the established development patterns surrounding the property. These circumstances predate the applicant's involvement and are not the result of any action taken by the applicant.

Staff Response: Staff find that this criterion is not met. Starting at the intersection of Wilderness View and Wilderness Gate Road and going south one-half of a mile to the intersection of Wilderness Cove and Wilderness Gate there are 20 developed properties. Of those 20 properties only two have a pitched roof. With only two percent of the structures in a half mile of strip of road, a pitch is not standard in this development area.

(vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*

Applicant Response: The proposed pitched roof represents the least impactful design solution while maintaining compatibility with the surrounding neighborhood. Because similar roof forms already exist throughout the area, approval of this request will have minimal visual impact and will not undermine the intent of the Historic Preservation Ordinance. The project remains respectful of the district while allowing a practical and context-sensitive architectural solution.

Staff Response: Staff find that this criterion is not met. While the area is not entirely developed, what is developed predominantly has flat roofs. This does have an impact on the district.

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

1. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

C. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General Definitions*. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

V. Restoration of Status

If a property owner makes changes to a structure without the proper City approvals, which result in the lowering of the structure's status, staff or the Board may require the property owner to restore the structure such that its former status is restored.

3. Review by Historic Districts Review Board Required

- I. Except where this chapter provides for review by staff, the HDRB shall review all applications for new construction, alteration, or demolition in the historic districts and of landmark structures throughout the city, based on the standards set forth in this section.
- II. The historic board shall judge any proposed alteration or new structure for harmony

with adjacent buildings, preservation of historical and characteristic qualities, and conformity to the standards for architectural style set forth in this section.

- III. The HDRB may approve, deny, approve with conditions, or, with the consent of the applicant, postpone an application.
 - a. For applications approved with conditions, no permit shall be issued until the HDRB conditions have been met.
 - b. An application that is postponed shall be heard at a date agreed upon by the HDRB and the applicant.
- IV. No permit shall be issued until the time for appeal to the Governing Body has expired.

4. Compliance with General and Specific Design Standards Required

All development located within the historic districts and subject to this section shall comply with all applicable general development standards set forth in Section 14-4.6E), *General Design Standards for All Historic Districts*, as well as any applicable specific development standards set forth in Section 14-4.6G), *Additional District-Specific Design Standards*.

E. General Design Standards for All Historic Districts

These standards shall apply to all additions or alterations to existing structures in the Historic Districts. Contributing, significant, and landmark structures may be subject to specific additional restrictions and district-specific standards in Section 14-4.6(G).

I. General

- I. The historic status of a property with a historic status designation of significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a property to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status is prohibited.
- II. If a proposed alteration or new construction will cause an adjacent property to lose its significant, contributing, or landmark status, the application may be denied.
- III. For the regulations of this subsection, all facades of a significant structure are primary facades.

2. Building Additions

I. Design

- a. Building additions that meet the standards of Section 14-4.6G.2), *Downtown and Eastside Historic District*, shall continue to meet those standards, in addition to the standards set forth in this section.
- b. Building additions shall have similar materials, architectural treatments and styles, features, and details as the existing structure, but shall be distinguishable from and not attempt to duplicate the existing structure.

- II. Size and Location
 - a. Building additions are not permitted on primary facades.
 - b. All building additions shall be set back a minimum of ten feet from the primary facade.
 - c. Building additions shall not exceed 50 percent of the square footage of the building's historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary facade.
 - d. To the extent architecturally practicable, new building additions shall be attached to any existing non-primary facade of a structure rather than attaching them to the primary facade of a structure.

- III. Height
 - a. The maximum height of building additions to significant and landmark structures shall be at least six inches lower than the parapet or equivalent roof feature of the existing adjacent connecting facade.
 - b. Building additions to contributing structures shall be no more than one additional story higher than the existing structure. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the structure. When an additional story is to be placed upon an existing contributing structure, that footprint may be no greater than fifty percent of the footprint of the existing structure, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional story shall not exceed twelve (12) feet from the existing rooftop to the highest point of that story.

- IV. Remodeling to Increase Height
 - a. For remodeling of an existing significant or landmark structure, no increase in height of the structure is permitted.
 - b. For remodeling an existing contributing structure, a height increase may be permitted through approval of an exception, as described in Section 14-4.6D.

- V. Rooftop Equipment

Rooftop equipment, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, may only be installed on contributing and noncontributing structures and shall not be publicly visible, nor shall a parapet be raised to conceal such equipment.

3. Porches and Portals

Existing porches or portals on significant and landmark structures, and on primary facades of contributing structures, shall not be permanently enclosed.

4. Windows, Doors, and Other Architectural Features

- I. For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - a. Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double-pane glass may be used. No

The height limitations in this subsection F apply:

- a. Within the following historic districts:
 1. Downtown and Eastside;
 2. Don Gaspar Area;
 3. Historic Transition; and
 4. Westside-Guadalupe.
- b. In the Historic Review district, as specified herein.

II. Streetscape Standards

III. Project Location

Planning and Land Use Department staff shall determine the applicability of this section to individual projects and the applicable streetscape

2. Height

I. Official Map of Building Heights in the Historic Districts - Procedures

II. Height Limitations

The HDRB shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

- a. If a proposed building has a parapet, the façade shall not exceed two feet of the average of the height of the façades in the streetscape.
- b. If the proposed building has a pitched roof, the ridge height of the proposed building shall not exceed two feet of the average of the ridge height of the pitched roofs in the streetscape.
- c. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.
- d. The height of any other structure shall be limited to the allowable building height within the applicable streetscape, as defined in this section.
- e. The height and dimension of signage are as set forth in Section 14-7.61), *Sign Regulations in the Historic Districts*.
- f. The HDRB may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two feet. In no case shall the height of a façade exceed four feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building setbacks from the street.

III. Height Measurement

- a. In historic districts, height shall be the vertical distance measured between the highest part of a structure and the existing grade or finished grade, whichever is more restrictive, at the midpoint of the street-facing facade, excluding rooftop appurtenances, the increased height of walls or fences over pedestrian and vehicular openings, and gates (either in open or closed position).
- b. For structures that do not have street frontage, height shall be determined by

the facade that contains the tallest vertical distance measured between the highest part of a structure and the existing grade or finished grade, whichever is more restrictive. The height of walls and fences is measured from the street-facing side of the wall or fence.

IV. Pitch

If the determined streetscape includes over 50 percent buildings with pitched roofs, the proposed building may have a pitched roof. A pitched roof is defined as a gable, shed, or hipped roof. The pitch of the roof shall match the predominant pitch extant in the streetscape.

V. Scale

The height of a proposed building or addition, its façade length, and its roof form and pitch shall appear to be in proportion to the height, façade length, and roof form and pitch of buildings in the applicable streetscape, or the building on which the addition is proposed.

VI. Massing and Floor Step backs

The HDRB may require that upper floor levels be stepped back, to carry out the intent of this section; provided that the HDRB in making such determinations shall take into account whether the height of the proposed building, yard wall, fence, or proposed step back of upper floor levels is in harmony with the massing of the applicable streetscape and preservation of the historic and characteristic visual qualities of the streetscape. The HDRB shall also require that the publicly visible facades of the structure be in conformance with Section 14-4.6G), *Additional District-Specific Design Standards*, and in meeting those requirements, may require that different floor levels be stepped back.

G. Additional District-Specific Design Standards

(2)

I. Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- a. With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns.

Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking

buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved, and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, open slightly ogive, over gateways in freestanding walls.

- b. All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color or have mural decorations.
- c. Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- d. The rules as to flat roofs shall not be constructed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- e. True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible, provided that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and
- f. It is characteristic of Old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

II. Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- a. No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks, or other design elements;
- b. The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- c. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- d. No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for

- building permits;
- e. The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish, and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors, and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic, and
 - f. Flat roofs shall have not more than thirty (30) inches overhang.

3. Historic Review District

I. Applicability

- a. The Planning and Land Use Department shall review and approve or deny all applications for new construction, exterior alteration, and demolition of structures in the historic review district in accordance with the standards set forth in this section.
- b. The Historic Districts Review Board shall review and approve or deny new construction of commercial, residential multi-unit, public structures, and those structures requiring the Board's review as specified in Section 14-4.6F.2). Approval, denial, or referral shall be indicated on the application for the construction permit.

II. Exterior Design Elements and Standards

Compliance with the following structural standards is required when exterior features of buildings and other structures that are visible from any public street, way, or other public place are erected, altered, or demolished.

a. Exterior Wall Finish Materials

- 1. Slump block, stucco, or stone shall be used as exterior wall materials. Wood and other materials may be used for details.
- 2. Aluminum siding, metal panels, mirrored glass, and unstuccoed masonry units or unstuccoed cement shall not be used as exterior wall materials; and
- 3. The color of stuccoed buildings shall predominantly be brown, tan, yeso, or local earth tones. Stone surfaces shall be in the natural color. Entries and portals may be emphasized by the use of white or other colors or materials. Painting buildings with bold repetitive patterns or using buildings as signs is prohibited.

b. Roofs and Building Massing

- 1. Buildings shall be designed to be "wall-dominated," which means that the building's geometry is more defined by walls than by roofs.
- 2. In order to emulate traditional Santa Fe architecture and construction

traditions, structures shall be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure. Structures shall be wall-dominated, except under portals.

3. The mass elements that make up the building composition shall appear as single blocks. Buildings with ground coverage of over 20,000 square feet and over one story shall be designed to appear more as an aggregation of smaller "building blocks" rather than a single large box or block.
4. Buildings with flat, gabled, shed, and hipped roofs can be designed as "wall-dominated" solutions and are allowed. However, gabled, shed, and hipped roofs are only allowed if sufficient evidence is provided by the applicant showing that there are pitched roofs within the related streetscape, as viewed when standing in the public street in front of the site.
5. The height of the roof above the wall shall be no greater than the height of the walls.
6. Folded plate, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tones are preferred.
7. Roof-mounted mechanical, electrical, and telephone equipment and other obtrusive structures shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problem.

c. Solar Energy Systems

The use of solar and other energy-collecting and conserving strategies is encouraged. The use of large, glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:

1. Raising the parapet to a maximum of two feet;
2. Setting back from the edge of the roof;
3. Framing the collector with wood;
4. In pitched roofs, by integrating the collector into the pitch.
5. In-ground solar collectors by a wall or vegetation;
6. In wall collectors or greenhouses, by enclosing the end or other walls;
7. Other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.

d. Cantilevers

No cantilever or beam, plate, or other projection from a wall that is unsupported at the other end is allowed except over the projecting vigas,

beams, or wood corbels or as part of the roof. The use of arches is discouraged except in free-standing walls.

e. Walls/Fences

Walls and fences visible from the street shall be built of brick, adobe, rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. Walls of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the wall or fence is not visible from the street.

f. Parking

When parking spaces are required for commercial or multi-unit residential buildings, they shall be placed to the rear or side of the building. When parking areas are visible from the street, they shall be screened from view by walls, fences, vegetation, planters, earth berms, or other means.