

Date: 11/25/2024

Paul Duran
Senior Planner, Historic Preservation Division
Planning and Land Use Department
City of Santa Fe
P.O. Box 909, Santa Fe, NM 87504

Re: Historic Review Submission for 829-A W Manhattan Ave, Santa Fe, NM 87501

Dear Paul,

On behalf of Brenda Baletti, the Owner of the above mentioned property, we are submitting this Application for Historic Board Review for the project. Attached is the application packet for Historic Review for the following scope of works:

1. A new 160 sf entry portal constructed of wood posts, beams and rafters with a corrugated metal roof.
2. The proposed stucco color for stucco repairs will be El Rey BUCKSKIN.
3. The proposed sheet metal roof color will be RED to match existing windows.
4. The proposed wood stain will be Dark WALNUT.

This application packet includes:

1. This proposal letter.
2. Historic Review Application Form.
3. Warranty deed and recorded plat.
4. Drawings including:
 - a. Existing and Proposed site plans
 - b. Existing and Proposed floor plans
 - c. Existing and Proposed exterior elevations
5. Photographs of the exterior of the existing house.
6. Proposed colors for stucco and the wood stain.
7. PZR approval.

We request the following exceptions to the code for approval:

14-5.2(D)(2)(c) Additions are not permitted to primary facades.

(i) Do not damage the character of the district;

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare; and

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary façade.

JUICEKITCHEN DESIGN WORKSHOP LLC

1219 Cerro Gordo Road
Santa Fe, NM 87501
505 920 9128

ju@juicekitchendesignworkshop.com

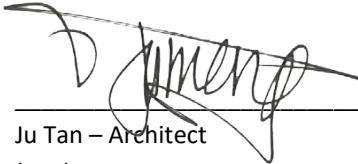
- (i) Do not damage the character of the district;*
- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare; and*
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

To the above exceptions, we feel that:

1. In both exceptions, the proposed entry portal does not damage the character of the district and in fact is keeping aesthetically with existing structures. There is precedent at the neighboring property of 409 Juanita Street of wood portals and colored sheet metal roofs. Other neighboring properties with sheet metal pitched roofs include but are not limited to 830 and 848 W Manhattan Ave. Hence we do feel that the aesthetics of the proposed entry portal is in keeping and does indeed strengthen the character of the neighborhood.
2. An Entry Portal was felt necessary to the property in order to protect users the entry sequence to the front entry door from the elements. In addition, the existing front entry door is unprotected and is suffering from extreme wear and tear. There is no alternative location for an entry portal.
3. The existing front entry door is 4'-0" from the designated primary façade of the contributing portion of the house. Hence there is no alternative to locate an entry portal a minimum of 10'-0" away as required by 14-5.2(D)(2)(d).

Please feel free to contact me with any further questions. Thank you.

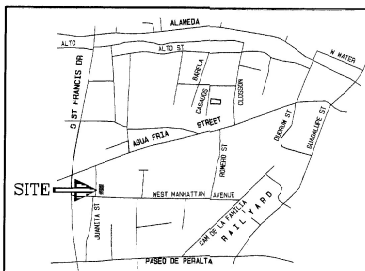
Sincerely yours,



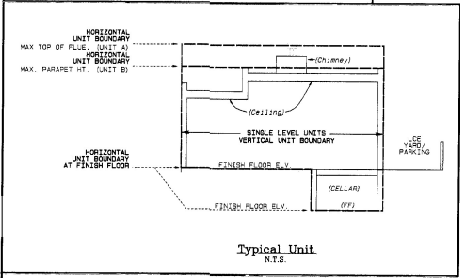
Ju Tan – Architect
(505) 920 9128

Email: ju@juicekitchendesignworkshop.com

Cc: Brenda Baletti (Homeowner)



Vicinity Map
N.T.S.



Typical Unit
N.T.S.

- LEGEND**
- FOUND POINT
 - SET POINT (1/2" REBAR) (COURSE NO. 1045) UNLESS OTHERWISE INDICATED
 - WATER METER
 - ⊕ ELECTRIC METER
 - ⊕ GAS METER
 - ⊕ HARD WIDENING
 - ⊕ CLEAN OUT
 - ⊕ SEWER MANHOLE
 - ⊕ PORTAL
 - ⊕ CURB & GUTTER
 - ⊕ CURB CUT
 - ▨ CONCRETE SURFACE
 - ▨ RESERVED DEVELOPMENT RIGHT AREA (RDRA)
 - ▨ UNIT "A" LIMITED COMMON ELEMENT
 - ▨ UNIT "B" LIMITED COMMON ELEMENT
 - COVOTE FENCE
 - FENCE LINE
 - BLOCK OR ROCK WALL
 - UTILITY POLE AND OVERHEAD LINES
 - LCE LIMITED COMMON ELEMENT
 - COMMON ELEMENT
 - PARADET
 - FINISH FLOOR ELEVATION
 - SEE PLAT OF NOTE NUMBER
 - UNIT TIE POINT

UNIT BOUNDARY DATA

UNIT "A"

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| UA1 | N02°47'23"E | 20.0 |
| UA2 | S88°18'00"E | 20.0 |
| UA3 | S01°10'18"W | 20.0 |
| UA4 | N89°56'10"W | 6.9 |
| UA5 | S01°15'18"W | 23.7 |
| UA6 | N88°18'00"W | 20.1 |
| UA7 | N01°42'00"E | 18.8 |
| UA8 | S88°18'00"E | 20.8 |
| UA9 | N02°47'23"E | 18.0 |
| UA10 | N87°32'37"W | 3.1 |

UNIT "B"

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| UB1 | S88°57'40"E | 15.2 |
| UB2 | S01°02'20"W | 13.0 |
| UB3 | S88°19'35"E | 16.8 |
| UB4 | S01°02'20"W | 23.8 |
| UB5 | N88°19'35"W | 33.0 |
| UB6 | N01°02'20"E | 42.7 |

UNIT AREA

| UNIT | UNIT SQ. FT. |
|------|-----------------|
| "A" | 1144.90 SQ. FT. |
| "B" | 3256.90 SQ. FT. |

UNIT TIES

| UNIT | BEARING | DISTANCE |
|------|-------------|----------|
| "A" | N87°07'42"E | 48.5 |
| "B" | N87°37'33"E | 112.0 |

LCE AREA

| UNIT | LCE SQ. FT. |
|------|-----------------|
| "A" | 2376.30 SQ. FT. |
| "B" | 3256.90 SQ. FT. |

LCE LINE DATA

| LINE | CHORD BEARING | CHORD | RADIUS | DELTA | ARC |
|------|---------------|-------|--------|-----------|------|
| L1 | N88°08'27"W | 46.43 | | | |
| L2 | N02°10'24"E | 0.80 | | | |
| L3 | N88°03'37"W | 41.04 | | | |
| C1 | S88°32'49"W | 8.42 | 7.95 | 81°51'03" | 8.94 |

PLAT OF SURVEY FOR THE "829 WEST MANHATTAN CONDOMINIUM" AT TRACT "A"

WITHIN PROJECTED SECTION 23 T 17 N. R 8 E. N.M.P.M. 829 & 829-A WEST MANHATTAN AVENUE CITY AND COUNTY OF SANTA FE, NEW MEXICO Tract A Containing 0.180 Acres ±

825033

NOTES

- REFER TO A "PLAT OF BOUNDARY SURVEY PREPARED FOR MARCELLA WHEELER, VIOLA ORTIZ, ROMEO SANCHEZ, ALBERT SANCHEZ AND JOE LAMET... PREPARED BY PAUL A. SHRAIDER, P.S. 13824, DATED AUGUST 13, 2008. RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE AS DOCUMENT NO. 1873.994 IN PLAT BOOK 768, PAGES 43-44, ON 8/24/2008. DATA FROM SAID PLAT SHOWN IN SINGLE (1) PARENTHESES.
- BASES OF BEARINGS TAKEN FROM GPS OBSERVATION NMS 84.

FLOOD NOTE:

829 & 829-A W. MANHATTAN AVENUE LIE WITHIN ZONE X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. REFER TO FEMA FIRM NO. 82040C 0412E, DATED 12/04/2010.

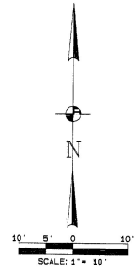
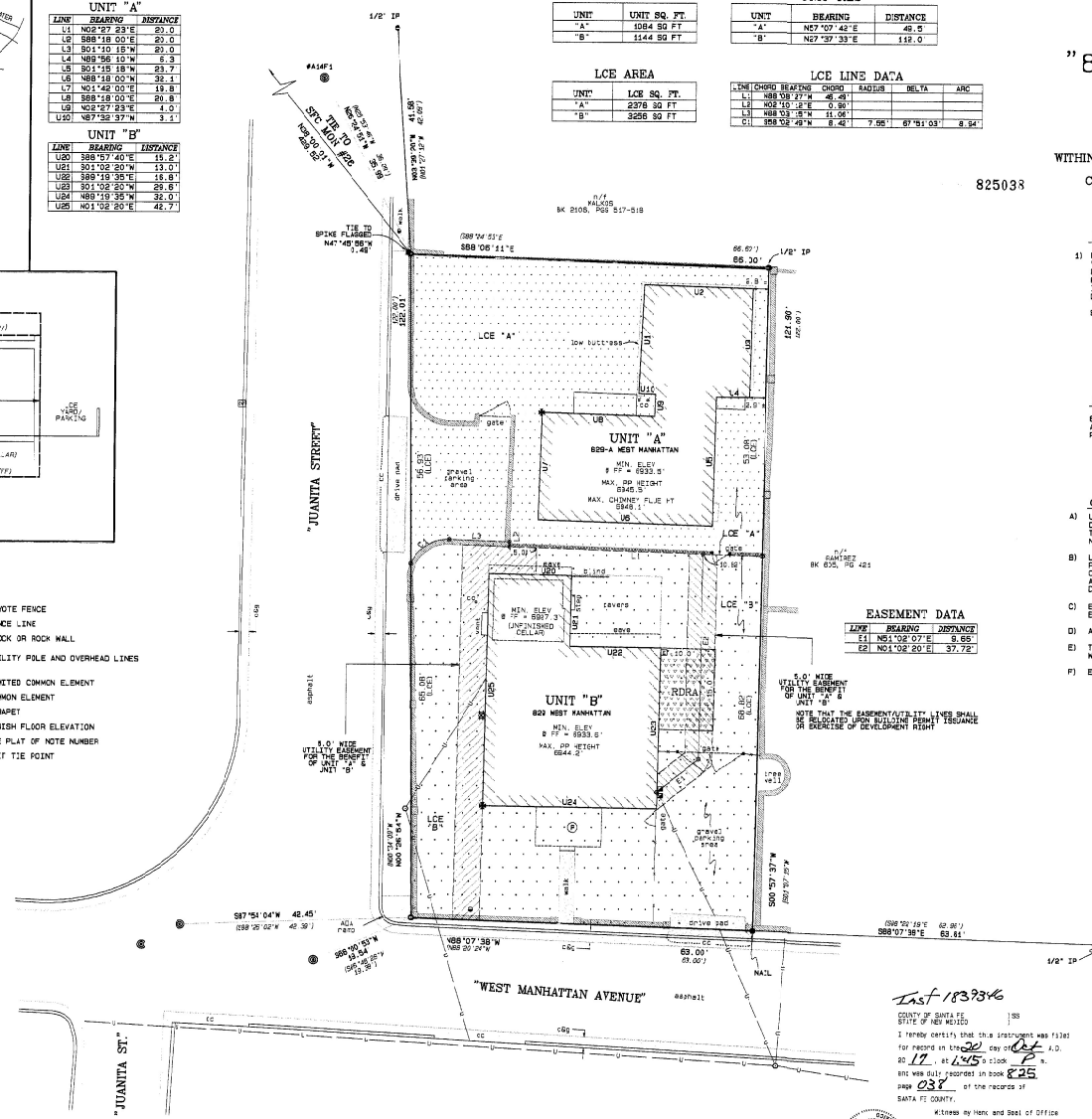
CONDOMINIUM NOTES

- UNIT IS DEFINED BY EXTERIOR DIMENSIONS AS SHOWN. SEE CONDOMINIUM DECLARATION FOR THE "829 WEST MANHATTAN CONDOMINIUM" FILED AT THE SANTA FE COUNTY CLERK'S OFFICE OFFICE AS DOCUMENT NO.
- LCE DENOTES LIMITED COMMON ELEMENT. RDRA DENOTES RESERVED DEVELOPMENT RIGHT AREA. CE DENOTES COMMON ELEMENT. AREAS NOT DESIGNATED AS UNIT, LIMITED COMMON ELEMENT OR RESERVED DEVELOPMENT RIGHT AREA ARE COMMON ELEMENT.
- ELEVATION BENCHMARK IS FROM SANTA FE CONTROL MONUMENT #26; ELEV 8882.885'; NAD 83/08.
- ALL UNITS ARE TIED TO THE NORTHEAST PROPERTY CORNER A 1/2" IRON PIPE.
- THERE IS A RESERVED DEVELOPMENT RIGHT AREA FOR A BUILDING ADDITION WITHIN UNIT "B" LCE, AS SHOWN.
- EASEMENTS ARE LIBERALLY GRANTED AS SHOWN.

EASEMENT DATA

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| E1 | N51°02'07"E | 8.55 |
| E2 | N01°02'20"E | 37.72 |

NOTE: THAT THE EASEMENT/UTILITY LINES SHALL BE RELOCATED UPON BUILDING PERMIT ISSUANCE OR EXERCISE OF DEVELOPMENT RIGHT.



Surveyors Certificate
I HEREBY CERTIFY THAT THIS PLAT AND THE NOTES SHOWN HEREON WERE PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION AND ARE A TRUE AND ACCURATE REPRESENTATION OF A FIELD SURVEY WHICH WAS COMPLETED ON 8/28/2017 TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF. THIS PLAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO AND CONTAINS ALL INFORMATION REQUIRED BY SECTION 47-7B-9, N.M.S.A., 1978.

DEAN L. SHRAIDER NEW MEXICO PROFESSIONAL SURVEYOR NO. 12451

PUBLIC NOTICE:
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. THE CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUEST SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

Last 183946
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE CITY OF SANTA FE, NEW MEXICO, ON 12-11-2025 BY DEAN L. SHRAIDER, SURVEYOR, AND WAS FULLY RECORDED IN BOOK 825 PAGE 237 OF THE RECORDS OF SANTA FE COUNTY.

Witness My Hand and Seal of Office
SHERIDANE BELLOSO
County Clerk, Santa Fe County, N.M.
Shraider

INDEXING INFORMATION FOR COUNTY CLERK

UPC P's UNIT A: 1-053-069-487-167, UNIT B: 1-053-090-477-170

| OWNER | SECTION | TOWNSHIP | RANGE | STREET NAME |
|-------|-----------|----------|-------|-----------------------|
| LAMET | PROG. 829 | T 17 N | R 8 E | WEST MANHATTAN AVENUE |

HIGH DESERT SURVEYING, INC.
PROFESSIONAL SURVEYING

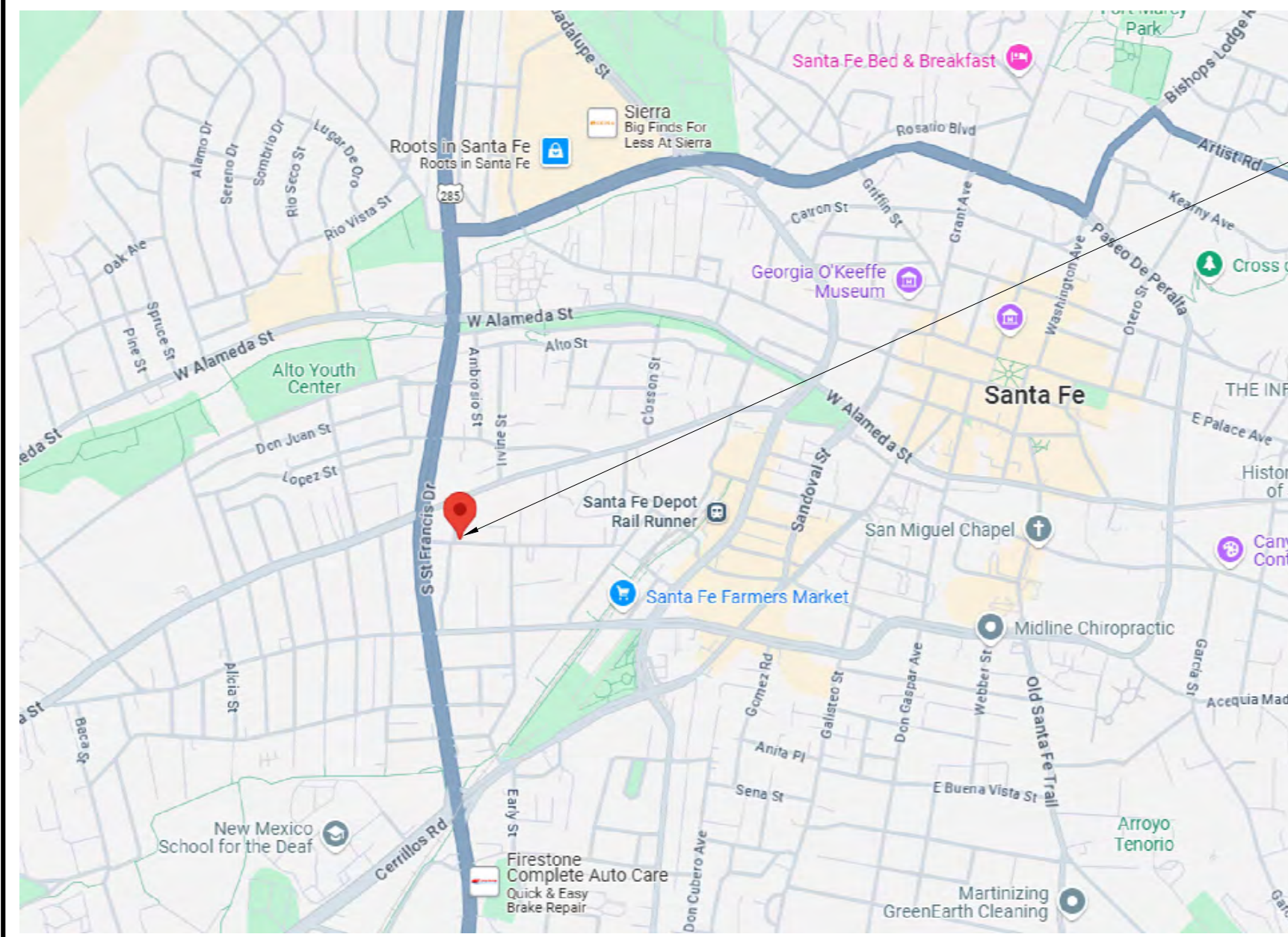
1925 ASPEN DRIVE, SUITE 401
SANTA FE, NM 87505
PHONE: (505) 438-0094
FAX: (505) 434-1708

DRG. NAME: 829 WEST MANHATTAN CONDOMINIUM PROJECT No. 17108

Land Records Corp. AT ALB13426 SF 1839346.001

GENERAL PROJECT DATA

LOT SIZE - APPROX. 8000 SQ. FT.
 EXISTING ROOFED AREA - APPROX. 2244 S.F. TOTAL
 UNIT A - APPROX. 1100 S.F.
 UNIT B - APPROX. 1144 S.F.
 PROPOSED NEW ROOFED AREA - APPROX. 130 S.F.
 PROPOSED TOTAL ROOFED AREA - APPROX. 2404 S.F.
 EXISTING LOT COVERAGE - 28%
 PROPOSED LOT COVERAGE - 30% (<40%, OK)
 ZONING DISTRICT - R-21
 HISTORIC DISTRICT: WESTSIDE GUADALUPE
 CODES: INCLUDING BUT NOT LIMITED TO THE 2021 IBC, 2021 IRC,
 ALLOWABLE MAX. HT. OF STRUCTURE - 24' OR AS DETERMINED BY THE HISTORIC PRESERVATION BOARD.
 MAXIMUM HEIGHT OF PROPOSED STRUCTURE - N/A
 REQUIRED SETBACKS PER NM LAND USE CODE TABLE 14-12-1 AND SECTION 14-12(D):
 1. FRONT - 1 FT
 2. SIDE - 5 FT
 3. REAR - 5 FT
 RAINWATER RETENTION:
 PROPOSED ADDITIONAL ROOFED AREA - 130 S.F.
 REQUIRED RETENTION - 0.16 X 130 S.F. = 21 C.F. OR 160 GALLONS
 RETENTION POND PROVIDED - (1) 5' X 6' X 1' DEEP (30 C.F.) PROVIDED



829-A W MANHATTAN AVE
 SANTA FE, NM 87501

**JUICEKITCHEN
 DESIGN
 WORKSHOP**
 1219 CERRO GORDO RD.
 SANTA FE, NM 87501
 505.920.9128
 JU@JUICEKITCHENDESIGNWORKSHOP.COM

REV #1 - 2023/025 - PERMIT REVISIONS



SCALE - AS NOTED
 DATE - 12/17/2024

7 PROJECT DATA

GENERAL SCOPE OF WORKS

- REMOVAL OF EXISTING CONCRETE SLAB AT FRONT ENTRY DOOR.
- NEW APPROX. 130 SF ENTRY PORTAL AT NORTH FACING SIDE OF HOUSE WITH WOOD POSTS, BEAMS AND CORRUGATED SHEET METAL ROOF.
- NEW CONCRETE SLAB UNDER PORTAL.
- STUCCO REPAIR AS NECESSARY TO MATCH EXISTING.
- NO PLUMBING AND ELECTRICAL WORKS PROPOSED.

GENERAL NOTES

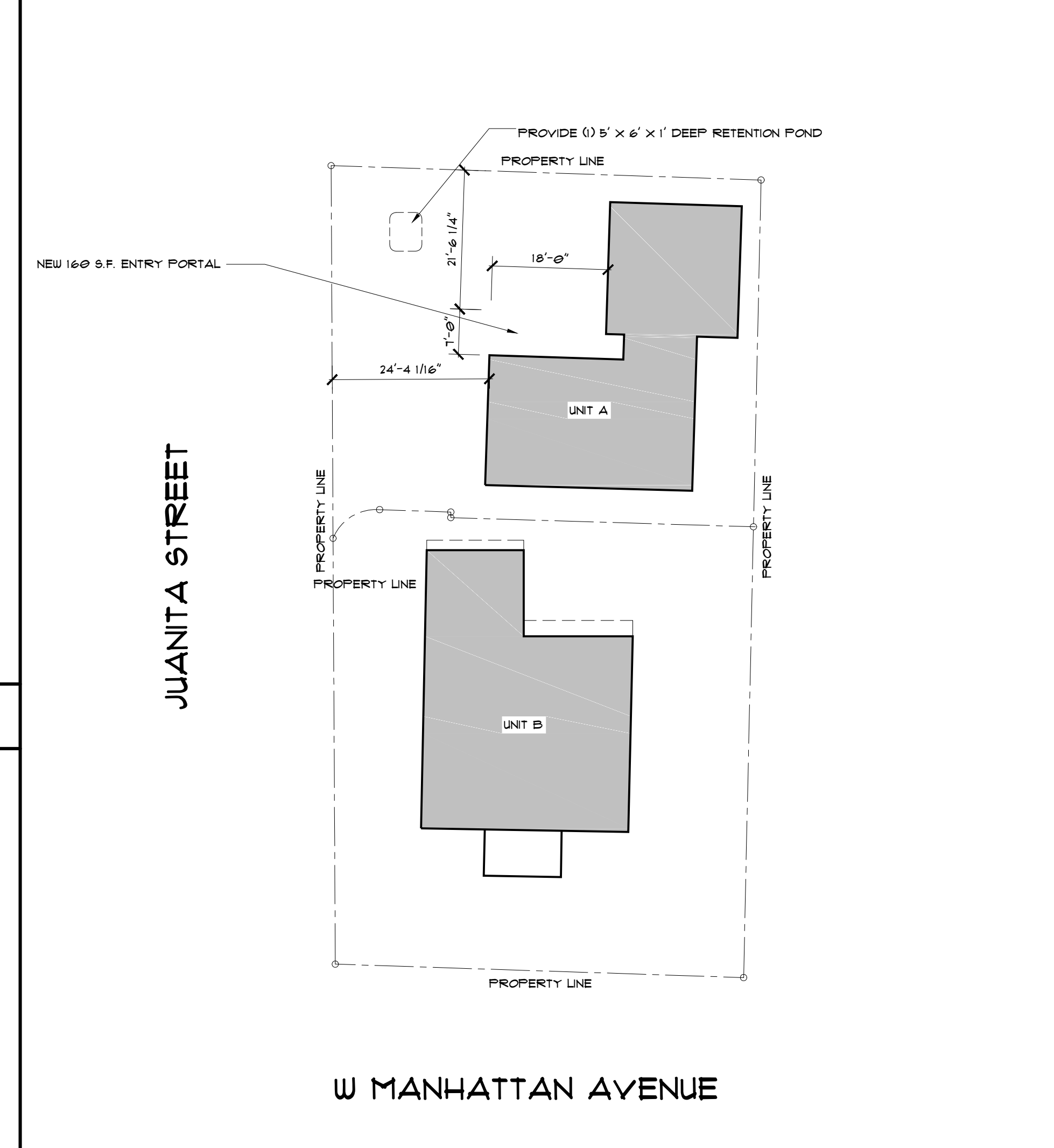
- THESE DRAWINGS ARE THE PROPERTY OF JUICEKITCHEN DESIGN WORKSHOP LLC (JKDW) AND MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF JKDW.
- ALL CONSTRUCTION SHALL CONFORM TO ALL RELEVANT CODES REFERENCED BY SANTA FE COUNTRY, NM, INCLUDING BUT NOT LIMITED TO IBC 2021, IRC 2021.
- IF THERE ARE ANY DISCREPANCIES WITH THE CODES REFLECTED IN THE DRAWINGS, THE CONTRACTOR IS TO INFORM THE JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR/SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE REPORTED TO JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- CONTRACTORS SHALL MAINTAIN A SAFE AND ORGANIZED WORKING ENVIRONMENT ON THE SITE. DAILY CLEANING, ORGANIZATION AND PROTECTION OF MATERIALS SHALL BE PERFORMED AS NECESSARY. CONTRACTORS SHALL BE RESPONSIBLE FOR MAINTAINING JOB RELATED SAFETY STANDARDS.
- ALL EXISTING STRUCTURAL ELEMENTS OF EXISTING BUILDINGS SHALL NOT BE MODIFIED BEYOND THE SCOPE OF THIS PROJECT WITHOUT THE CONSENT OF THE OWNER, JKDW AND A QUALIFIED STRUCTURAL ENGINEER (IF NEEDED).
- THE CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETINGS WITH ALL SUB CONTRACTORS AS NECESSARY TO CLARIFY THE WORK SCOPE AND EXPECTATIONS PRIOR TO COMMENCEMENT OF ANY WORK.
- REGULAR CONSTRUCTION MEETINGS SHALL BE SCHEDULED (AS NECESSARY) WITH ALL RELEVANT PARTIES INCLUDING BUT NOT LIMITED TO RELEVANT SUB CONTRACTORS.
- A CONSTRUCTION SCHEDULE SHALL BE FURNISHED AND ADHERED TO BY THE CONTRACTOR. ANY PROPOSED CHANGES SHALL BE APPROVED BY THE OWNER AND JKDW.
- FINAL PUNCHLIST - AT SUBSTANTIAL COMPLETION, A FINAL PUNCHLIST SHALL BE MADE UP BY JKDW OR THE OWNER. ALL ITEMS ON THE PUNCHLIST SHALL BE PERFORMED BY THE CONTRACTOR WITHIN AN AGREED PERIOD OF TIME BEFORE HANDOVER TO THE OWNERS.
- FINAL GRADING - ENSURE THAT ALL GRADE SURROUNDING THE NEW ADDITION SLOPES AWAY FROM THE BUILDING A MINIMUM OF 1/4" / FT FOR A MINIMUM OF 48".
- FINAL CLEANING - THE CONTRACTOR SHALL PERFORM FINAL CLEANING TO ALL AFFECTED AREAS TO "MOVE IN" CONDITION BEFORE HANDING OVER TO THE OWNERS.
- MAKE ARRANGEMENTS WITH THE OWNERS REGARDING USE OF TOILET OR PROVIDE A PORTABLE TOILET ON SITE.
- WARRANTY - THE CONTRACTOR SHALL WARRANT ALL WORK FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION.

1 LOCATION MAP

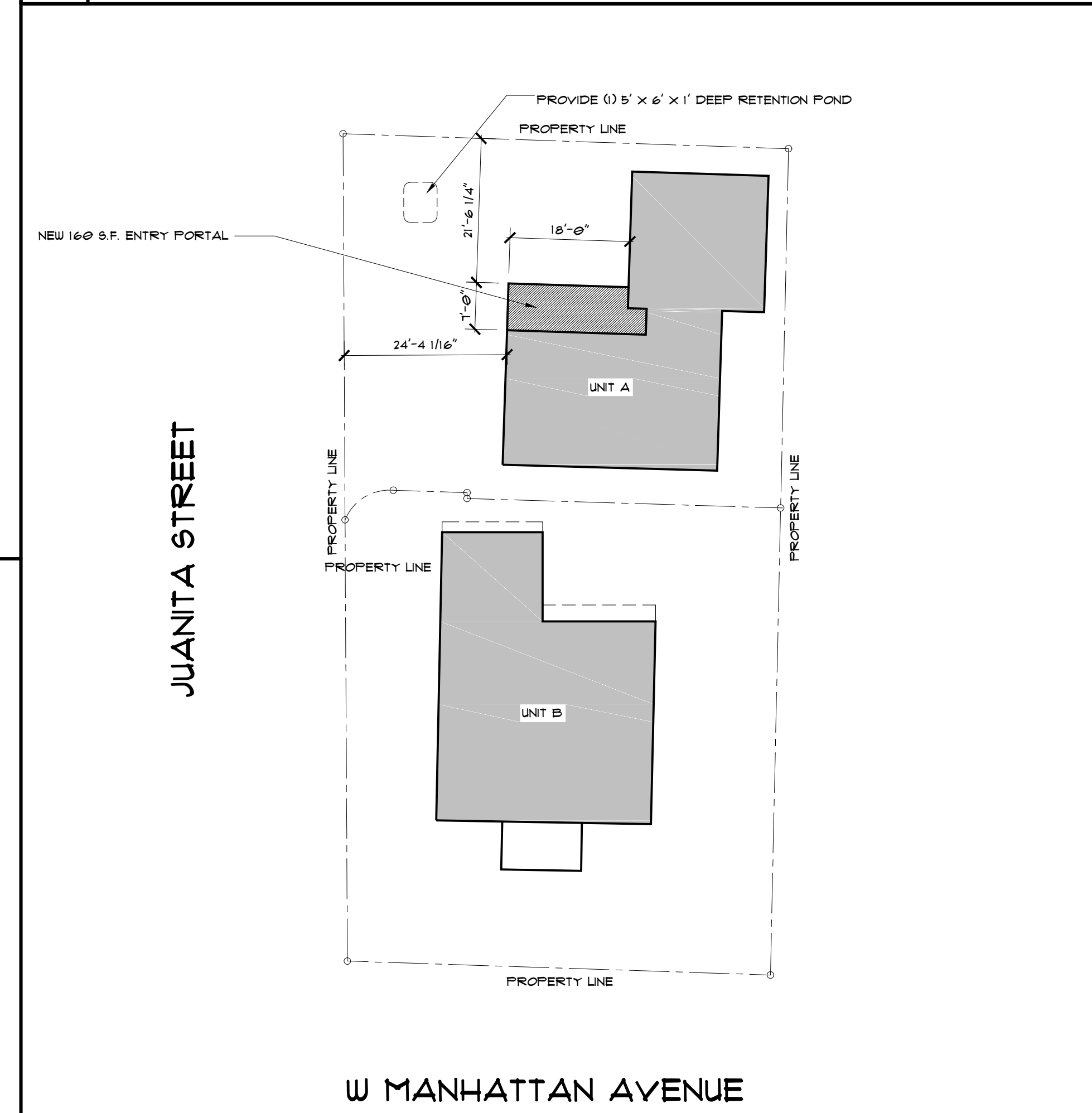
SCALE: NTS

**NEW ENTRY PORTAL TO THE
 BALETTI RESIDENCE
 829-A W MANHATTAN AVE
 SANTA FE, NM 87501**

**HISTORIC REVIEW SET
 12/17/2024**



1 EXISTING SITE PLAN SCALE: 1/16" = 1'-0"



2 PROPOSED SITE PLAN SCALE: 1/16" = 1'-0"

7 PROJECT DATA

COMMON ABBREVIATIONS

- | | | | | | | | | | | | | | | | | | | | | | |
|---------------------------------|--------------------|-------------------|---------------------------|------------------------------|---------------------------|----------------------------|----------------------|---------------------------|------------------|-------------------------------|--------------------------|---|------------------------------|--------------------------------------|-------------------------|---------------------|------------------------|--------------------|------------------|-----------------|----------------|
| • A.F.F. - ABOVE FINISHED FLOOR | • B.O. - BOTTOM OF | • T.O. - TOP OF | • B.O.W. - BOTTOM OF WALL | • T.O.W. - TOP OF WALL | • T.O.P. - TOP OF PARAPET | • V.I.F. - VERIFY IN FIELD | • S.F. - SQUARE FEET | • C.F. - CUBIC FEET | • GAL. - GALLONS | • PSF - PER SQUARE FOOT | • EL. - ELEVATION | • EQ. - EQUAL (USED IN EQUALLY SPACED DIMENSIONS) | • W, H (HT.) - WIDTH, HEIGHT | • O.C. - CENTER TO CENTER DIMENSIONS | • DIMS. - DIMENSIONS | • C.L. - CENTERLINE | • P.L. - PROPERTY LINE | • L.O. - LINE OF | • MAX. - MAXIMUM | | |
| • MIN. - MINIMUM | • TYP. - TYPICAL | • OPNG. - OPENING | • R.O. - ROUGH OPENING | • FIN. FLR. - FINISHED FLOOR | • N.T.S. - NOT TO SCALE | • GUB. - GYPSUM WALL | • BOARD | • G.C.B. - GYPSUM CEILING | • BOARD | • G.D. - WOOD GRAIN DIRECTION | • R.S. - ROUGH SAWN WOOD | • D.S. - DOWNSPOUT | • C.B. - CATCH BASIN | • T.O.C. - TOP OF CONCRETE | • T.O.G. - TOP OF GRADE | • TL - TILE | • WD - WOOD | • DF - DOUGLAS FIR | • PL - PLASTER | • PTD - PAINTED | • ST - STAINED |

| NUMBER | DESCRIPTION | SCALE |
|--------|---|--------------|
| CVR | COVER SHEET/SITE PLAN | AS NOTED |
| X100 | EXISTING AND PROPOSED FLOOR PLANS | 1/4" = 1'-0" |
| X101 | EXISTING AND PROPOSED ROOF PLANS | 1/4" = 1'-0" |
| X200 | EXISTING AND PROPOSED EXTERIOR ELEVATIONS | 1/2" = 1'-0" |
| X201 | EXISTING AND PROPOSED EXTERIOR ELEVATIONS | 1/2" = 1'-0" |
| X202 | EXISTING ELEVATIONS (UNCHANGED) | 1/2" = 1'-0" |

COVER SHEET / SITE PLAN

BALETTI RESIDENCE ENTRY PORTAL
 829-A W MANHATTAN AVE., SANTA FE, NM 87501

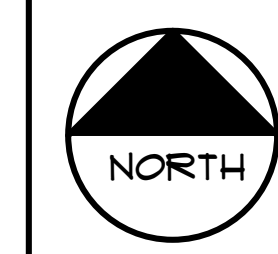


66 GENERAL NOTES

5 COMMON ABBREVIATIONS

2 PROPOSED SITE PLAN SCALE: 1/16" = 1'-0"

REVISION -

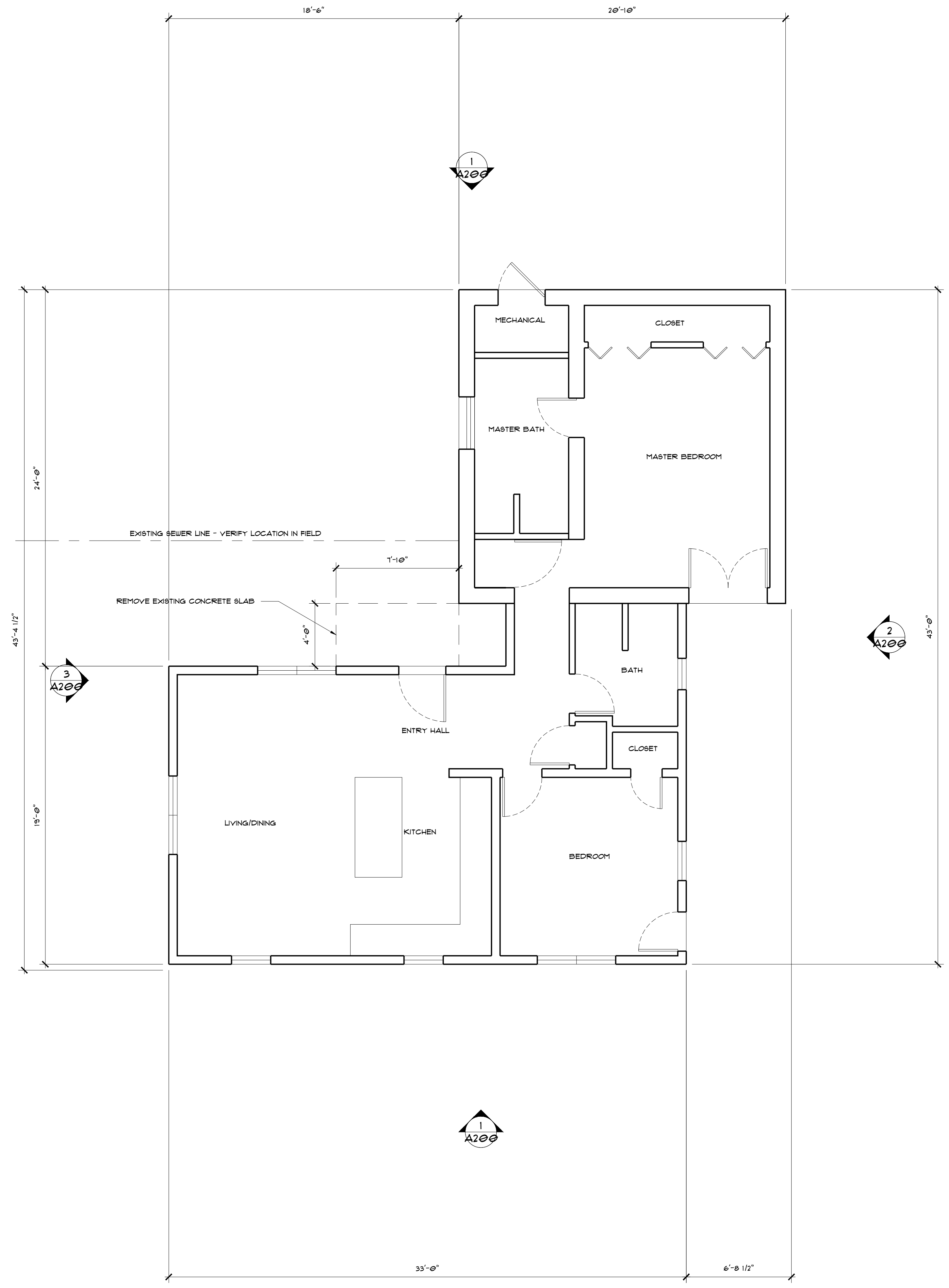
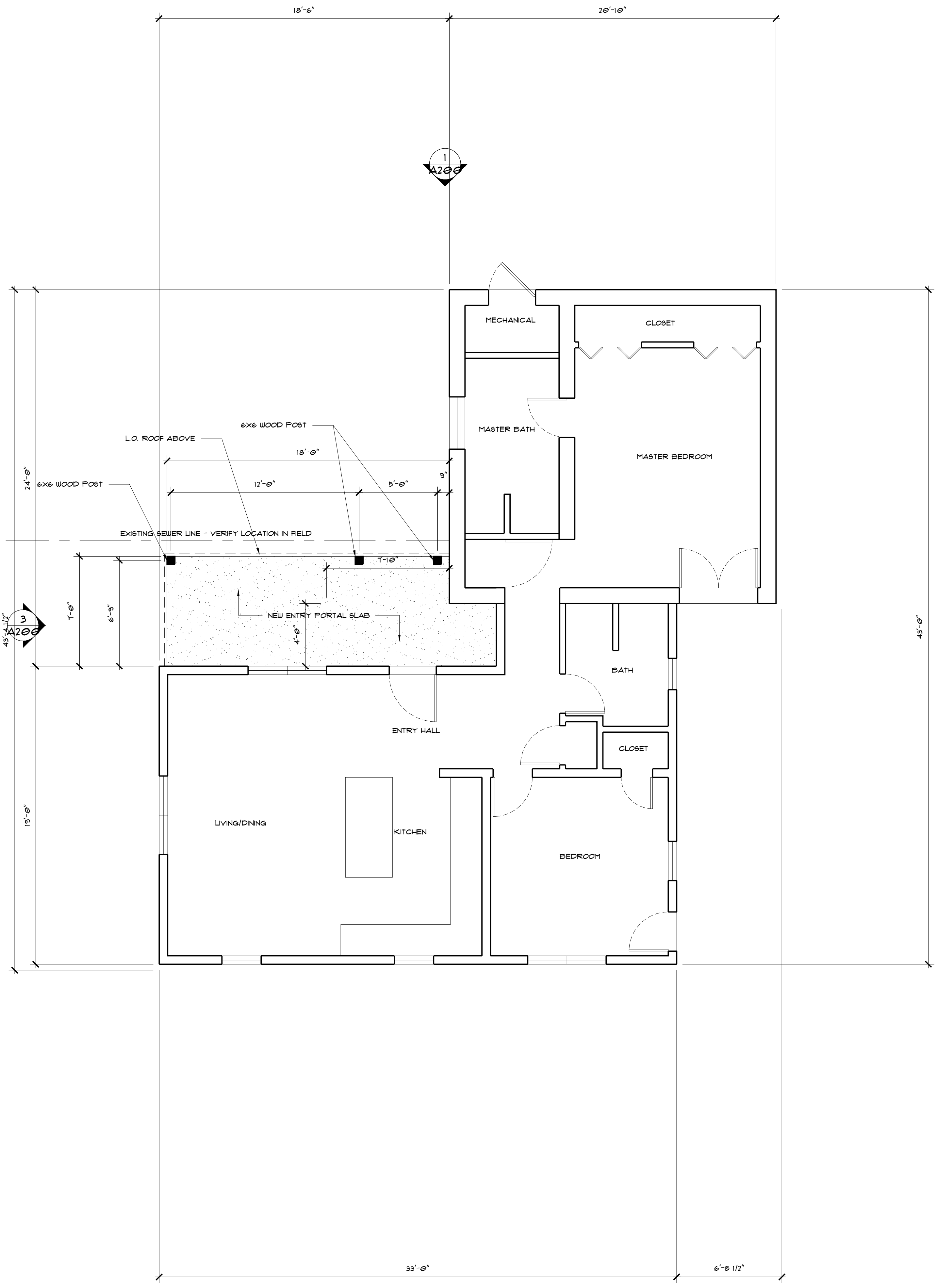


SCALE - AS NOTED
DATE - 12/17/2024

EXISTING & PROPOSED FLOOR PLANS

BALETTI RESIDENCE ENTRY PORTAL
829-A W MANHATTAN AVE., SANTA FE, NM 87501

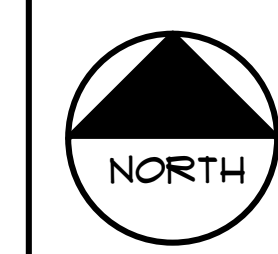
X100



2 PROPOSED FLOOR PLAN SCALE: 1/4" - 1'-0"

1 EXISTING FLOOR PLAN SCALE: 1/4" - 1'-0"

REVISION -



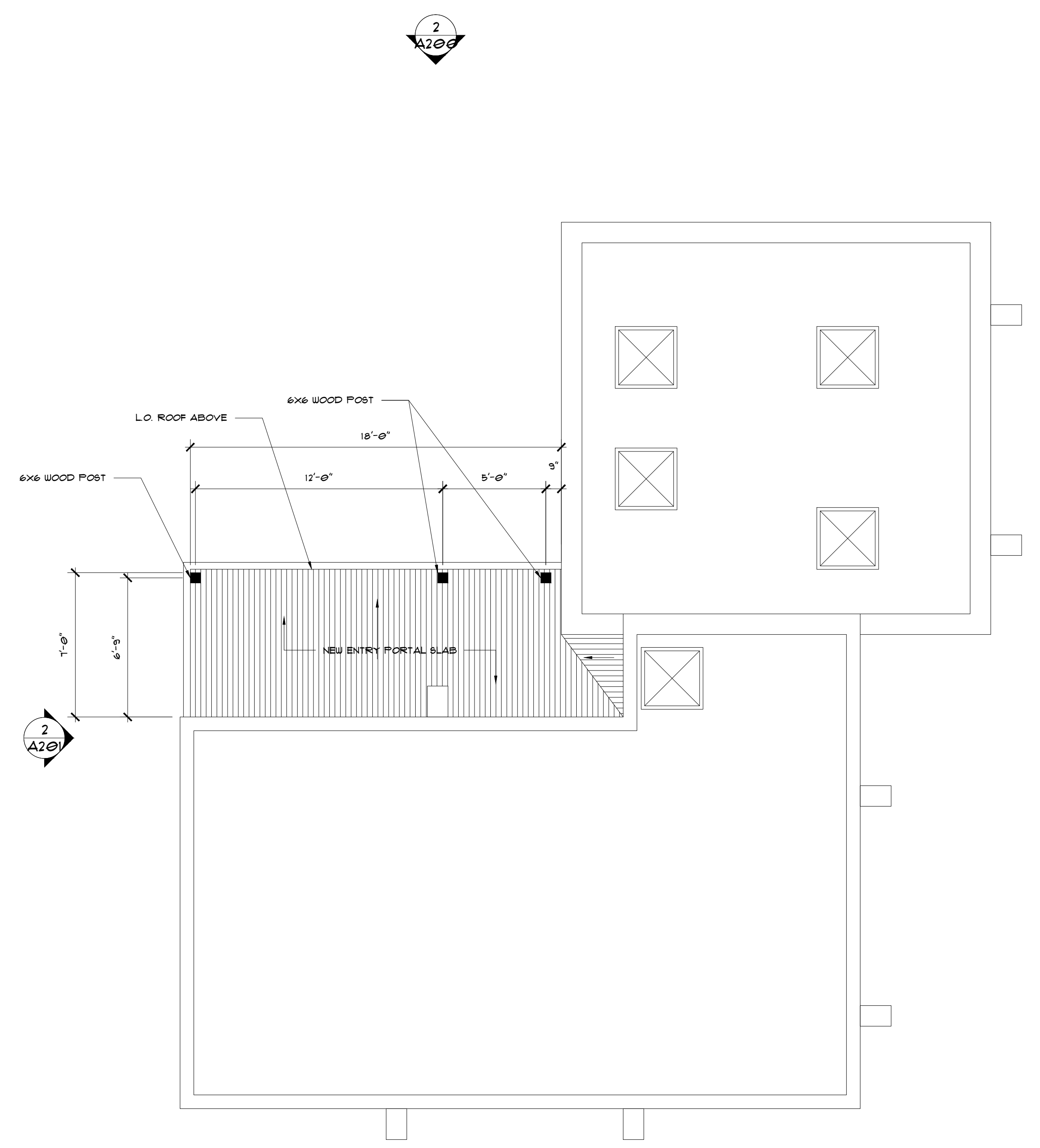
SCALE - AS NOTED

DATE - 12/17/2024

EXISTING & PROPOSED ROOF PLANS

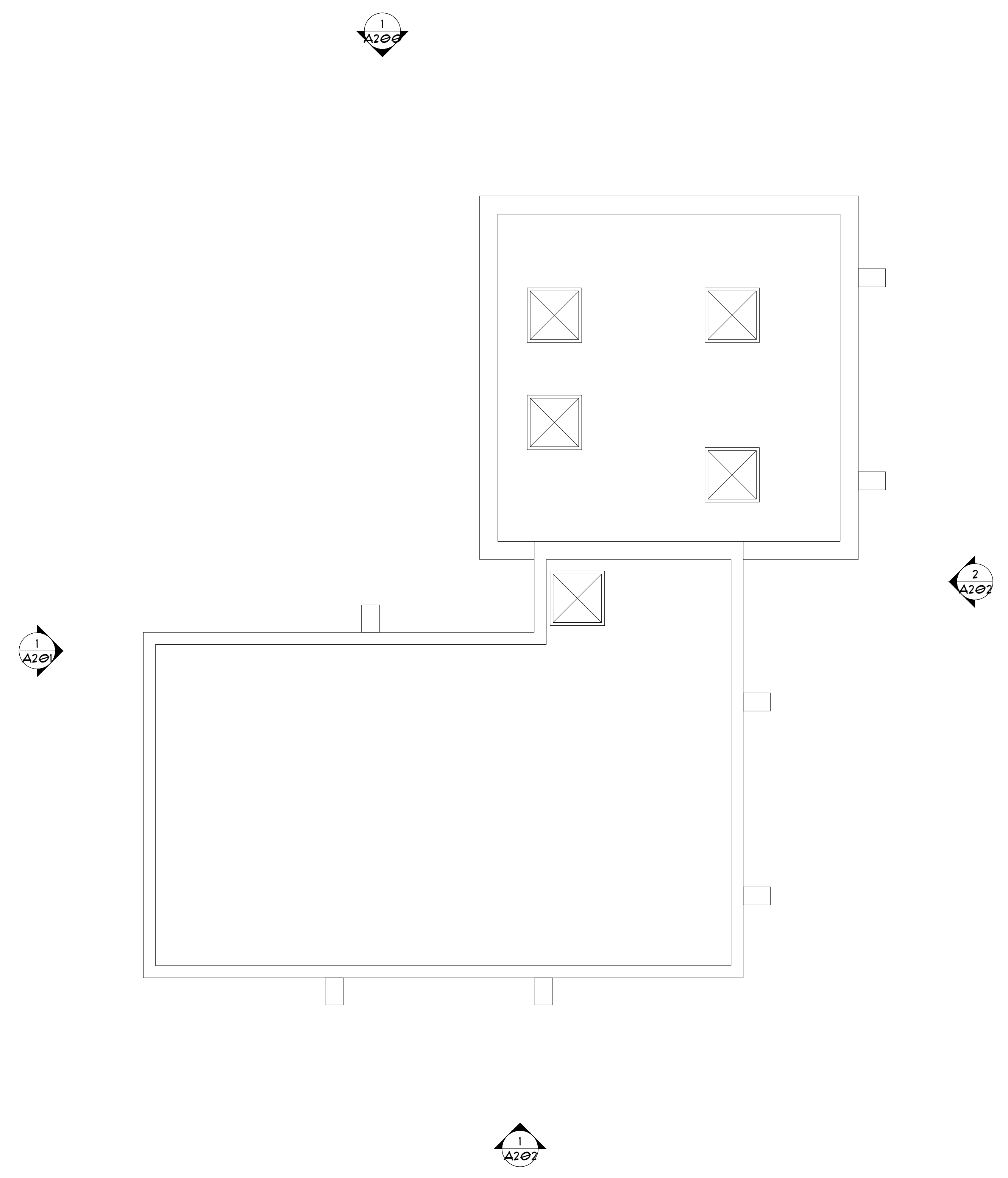
BALETTI RESIDENCE ENTRY PORTAL
829-A W MANHATTAN AVE., SANTA FE, NM 87501

X101



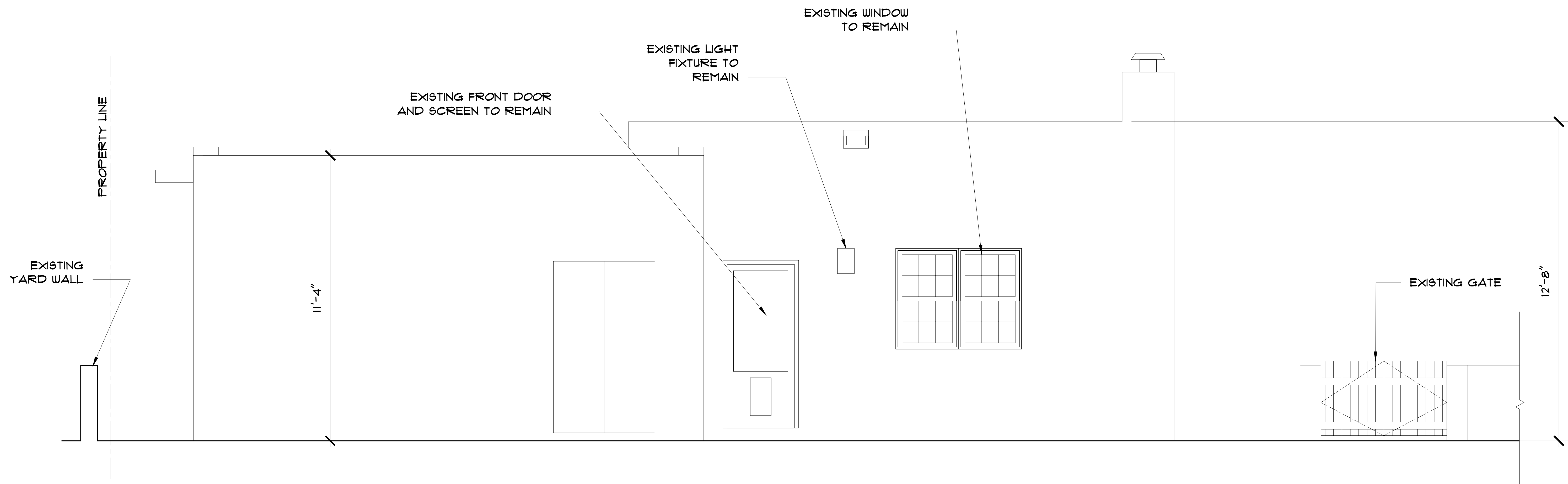
2 PROPOSED ROOF PLAN

SCALE: 1/4" - 1'-0"



1 EXISTING ROOF PLAN

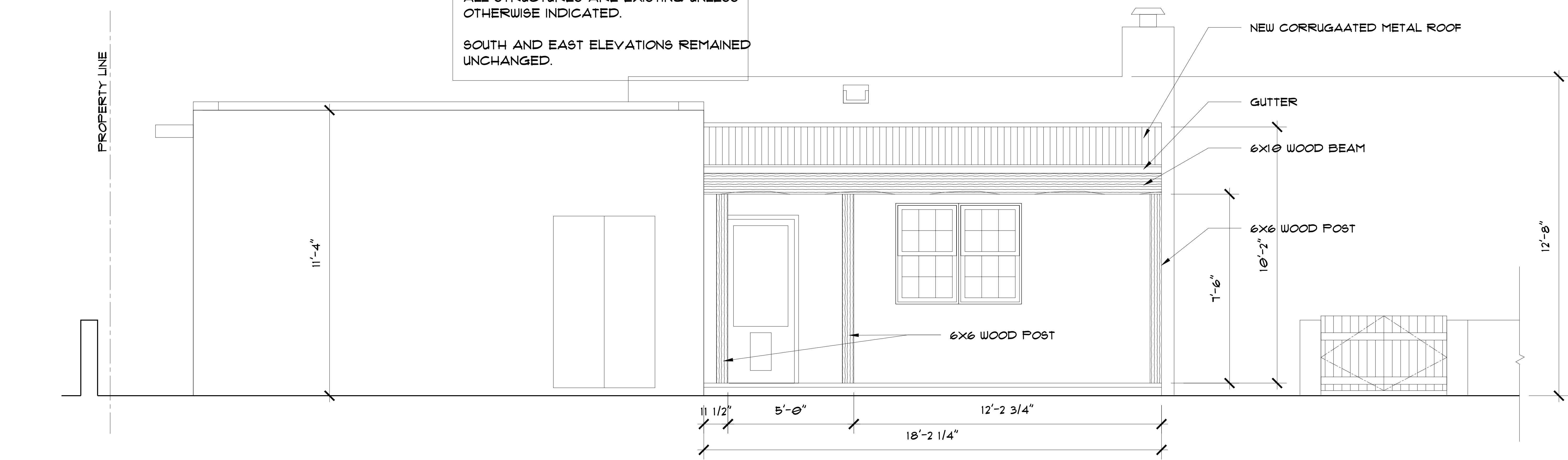
SCALE: 1/4" - 1'-0"



I EXISTING NORTH ELEVATION

SCALE: 1/2" = 1'-0"

NOTE:
ALL STRUCTURES ARE EXISTING UNLESS OTHERWISE INDICATED.
SOUTH AND EAST ELEVATIONS REMAINED UNCHANGED.



5 PROPOSED NORTH ELEVATION

SCALE: 1/2" = 1'-0"

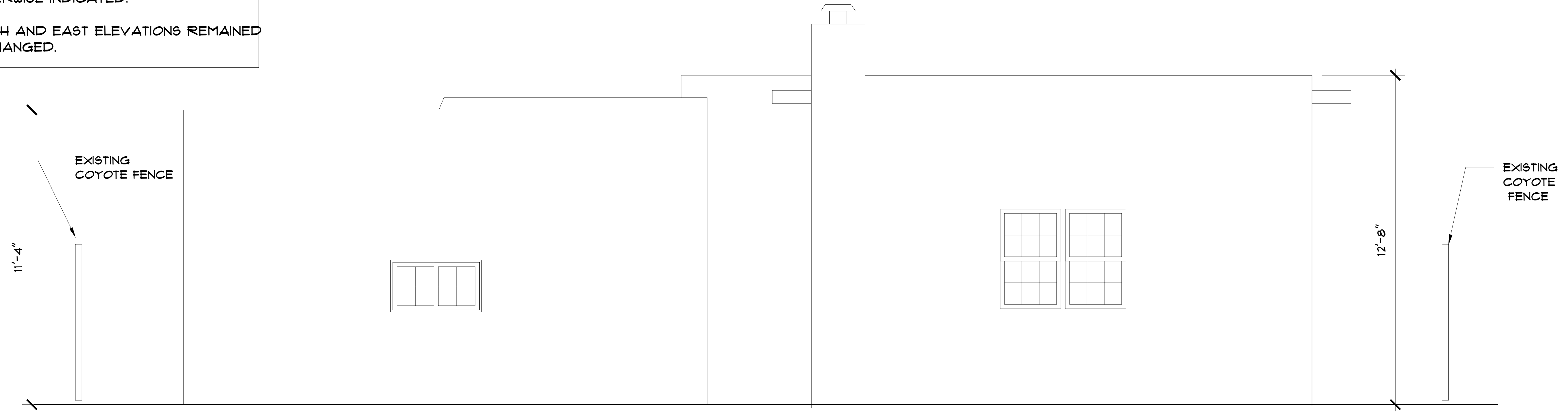
**EXISTING & PROPOSED
EXTERIOR ELEVATIONS**
BALETTI RESIDENCE ENTRY PORTAL
829-A W MANHATTAN AVE., SANTA FE, NM 87501

SCALE - AS NOTED
DATE - 12/17/2024

X200

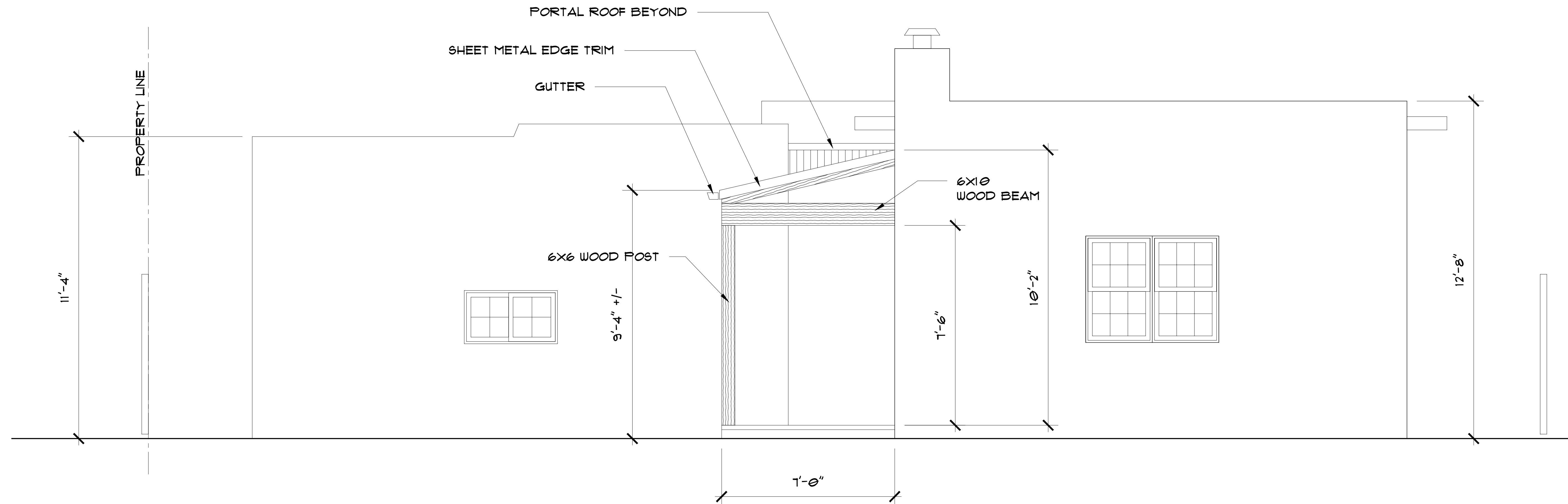
NOTE:
ALL STRUCTURES ARE EXISTING UNLESS OTHERWISE INDICATED.

SOUTH AND EAST ELEVATIONS REMAINED UNCHANGED.



1 EXISTING WEST ELEVATION

SCALE: 1/4" - 1'-0"



2 PROPOSED WEST ELEVATION

SCALE: 1/4" - 1'-0"

**JUICEKITCHEN
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1219 CERRO GORDO RD.
SANTA FE, NM 87501
505.920.9128
JU@JUICEKITCHENDESIGNWORKSHOP.COM

REVISION -

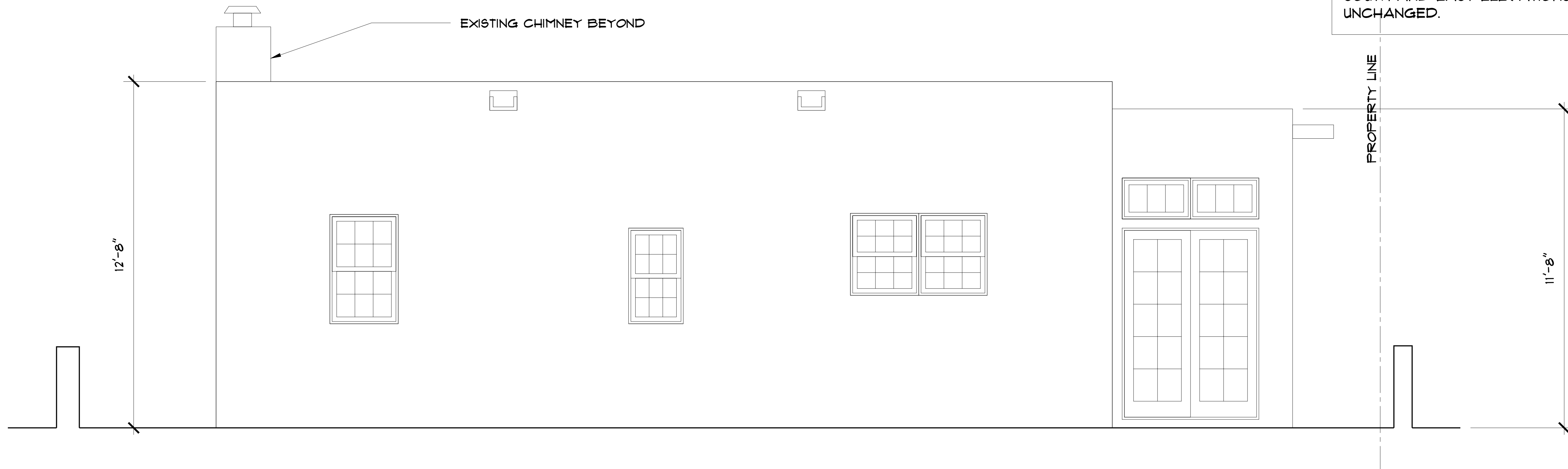
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**EXISTING & PROPOSED
EXTERIOR ELEVATIONS**
BALETTI RESIDENCE ENTRY PORTAL
829-A W MANHATTAN AVE., SANTA FE, NM 87501

X201

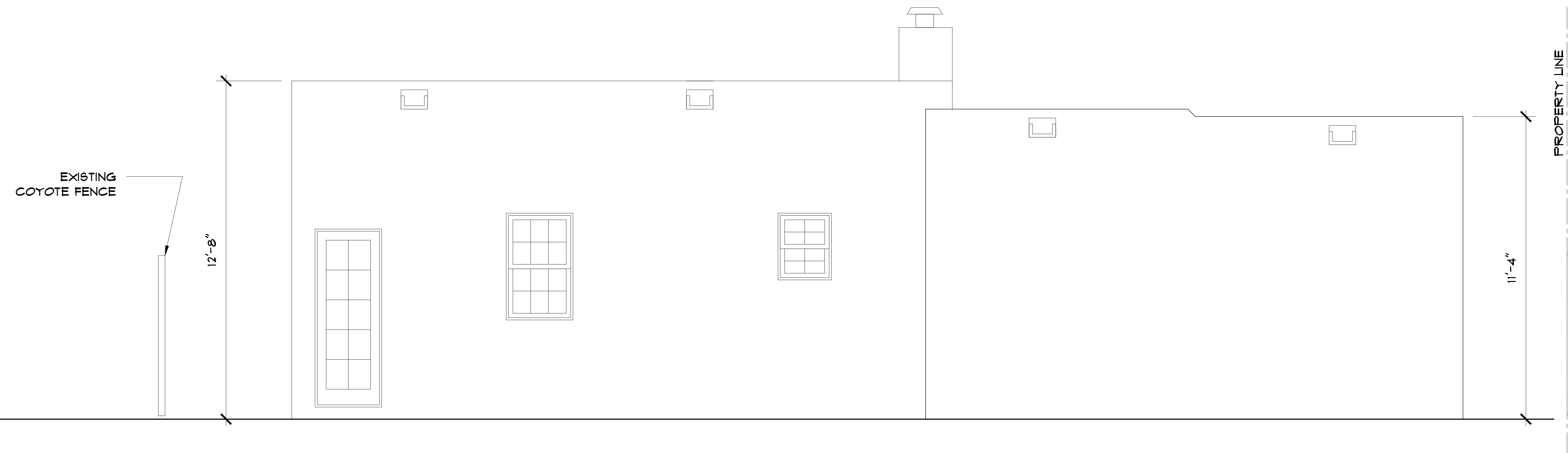
NOTE:
ALL STRUCTURES ARE EXISTING UNLESS
OTHERWISE INDICATED.

SOUTH AND EAST ELEVATIONS REMAINED
UNCHANGED.



1 EXISTING SOUTH ELEVATION (NO CHANGE)

SCALE: 1/2" - 1'-0"



2 EXISTING EAST ELEVATION (NO CHANGE)

SCALE: 1/2" - 1'-0"

**EXISTING & PROPOSED
EXTERIOR ELEVATIONS**

BALETTI RESIDENCE ENTRY PORTAL

829-A W MANHATTAN AVE., SANTA FE, NM 87501

SCALE - AS NOTED

DATE - 12/17/2024